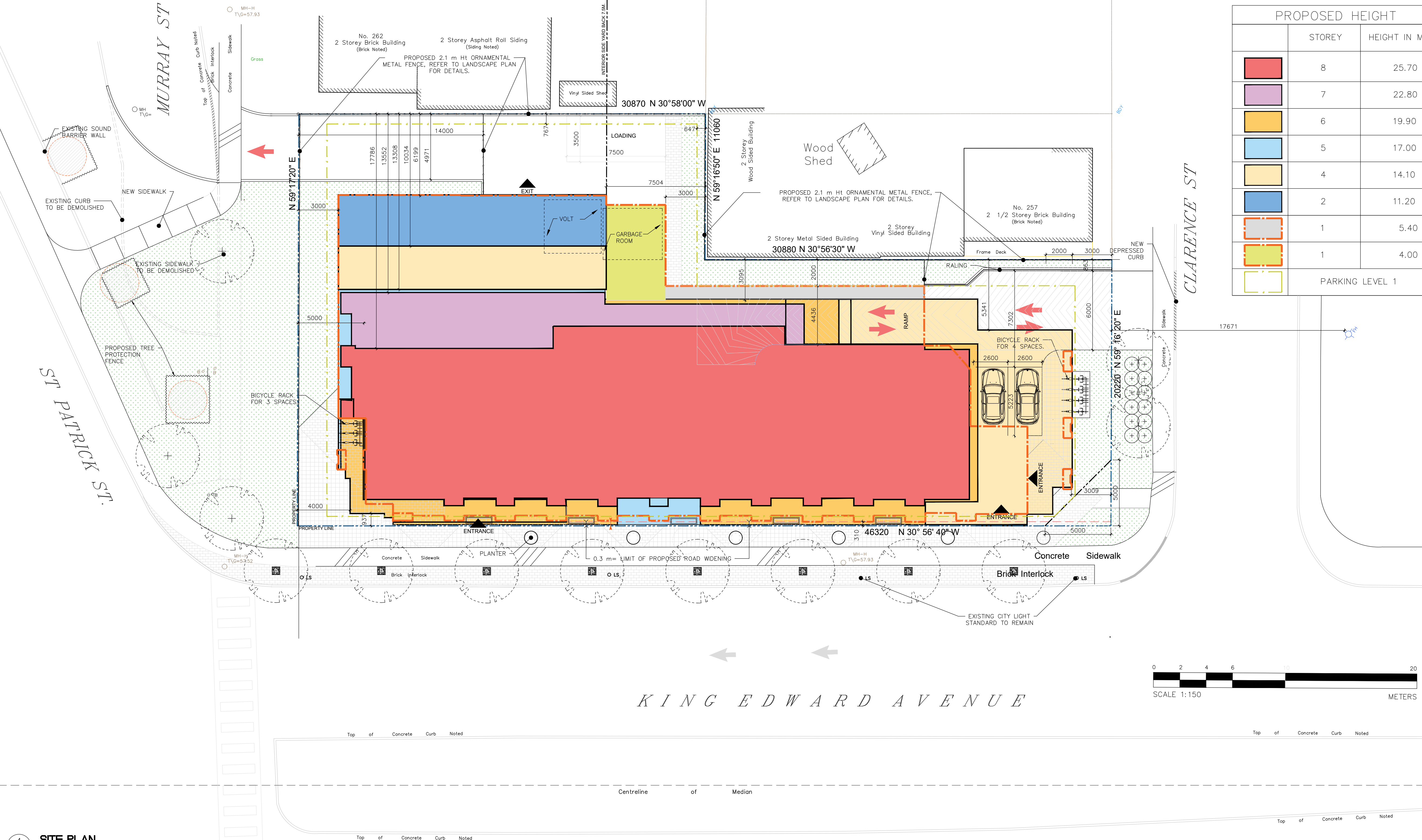


THERE WILL BE NO ONSITE SNOW STORAGE. ALL ACCUMULATED SNOW WILL BE REMOVED FROM THE SITE FOLLOWING EACH SNOWFALL EVENT

ALL SURVEY INFORMATION TAKEN FROM TOPOGRAPHIC SURVEY OF PART OF LOTS B AND 7 NORTH CLARENCE ST. (FORMERLY PARRY ST) REGISTERED PLAN 43586 CITY OF OTTAWA, AS PREPARED BY ANNIS, O'SULLIVAN, VOLLEBEKK LTD.
 ELEVATION NOTE
 1. ELEVATIONS ARE GEODETIC.
 2. IT IS THE RESPONSIBILITY OF THE USER OF THIS INFORMATION TO VERIFY THAT THE JOB BENCHMARK HAS NOT BEEN ALTERED OR DISTURBED AND THAT ITS RELATIVE ELEVATION AND DESCRIPTION AGREES WITH THE INFORMATION SHOWN THE ABOVE REFERENCED SURVEY.

ALL SITE SERVICE, GRADING AND DRAINAGE RELATED ALTERATION, REFER TO CIVIL ENGINEERS DRAWINGS.

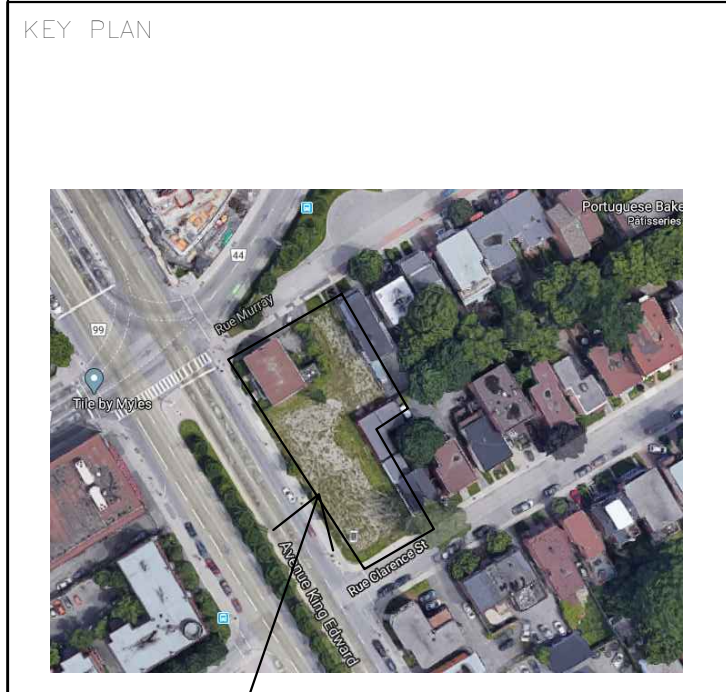


PROPOSED HEIGHT

STOREY	HEIGHT IN M.
8	25.70
7	22.80
6	19.90
5	17.00
4	14.10
2	11.20
1	5.40
1	4.00
PARKING LEVEL 1	

TM and TM12 Zone

By-law Standard	Requirement	Provided	Compliance
Minimum lot area	No minimum	1590 m ²	Yes
Minimum lot width	No minimum	61.76 m	Yes
Max. front yard setback	2 metres	0-2 m	Yes
Interior side yard setback	Maximum - N/A		
Corner side yard setback	Minimum - 3 metres for a non-residential use building or a mixed-use building abutting a residential zone 3 metres, except for any part of a building above 15 metres for which an additional 2 metre setback must be provided	2-3 m 3 m at grade - 2 m setback @ 15 m not provided	No - purpose of rezoning
Minimum rear yard setback	Rear lot line abutting a residential use - 7.5 metres	6.199 m	No - purpose of rezoning
Building height	Maximum - 1) 20 metres but not more than 6 storeys, except where otherwise shown on the zoning maps (2) where the building height is greater than four storeys or 15 metres, at and above the fourth storey or 15 metres whichever is the lesser a building must be setback a minimum of 2 metres more than the provided setback from the front lot line as set out under subsection 197(5) below, and from the corner side lot line (3) no part of a building on a lot with a rear lot line abutting an R1, R2, R3 or R4 Zone may project above a 45 degree angular plane measured at a height of 15 metres from a point 7.5 metres from the rear lot line, projecting upwards towards the front lot line	25.1 m	No - purpose of rezoning to create new height and setback schedule - design does comply with angular plane.
Maximum FSI	No maximum	53.46%	Yes
Minimum width of landscaped area	Abutting a residential zone - 3 m; may be reduced to one metre where a minimum 1.4 metre high opaque fence is provided	2 - 3 m with fence	Yes



ALL CONTRACTORS TO VERIFY ALL DIMENSIONS ON SITE AND TO REPORT ALL ERRORS AND/OR OMISSIONS TO THE ARCHITECT.
 ALL CONTRACTORS MUST COMPLY WITH ALL CODES AND BYLAWS AND OTHER AUTHORITIES HAVING JURISDICTION OVER THE WORK.
 DO NOT SCALE DRAWINGS.
 THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION UNTIL SIGNED BY THE ARCHITECT.
 COPYRIGHT RESERVED.

Parking

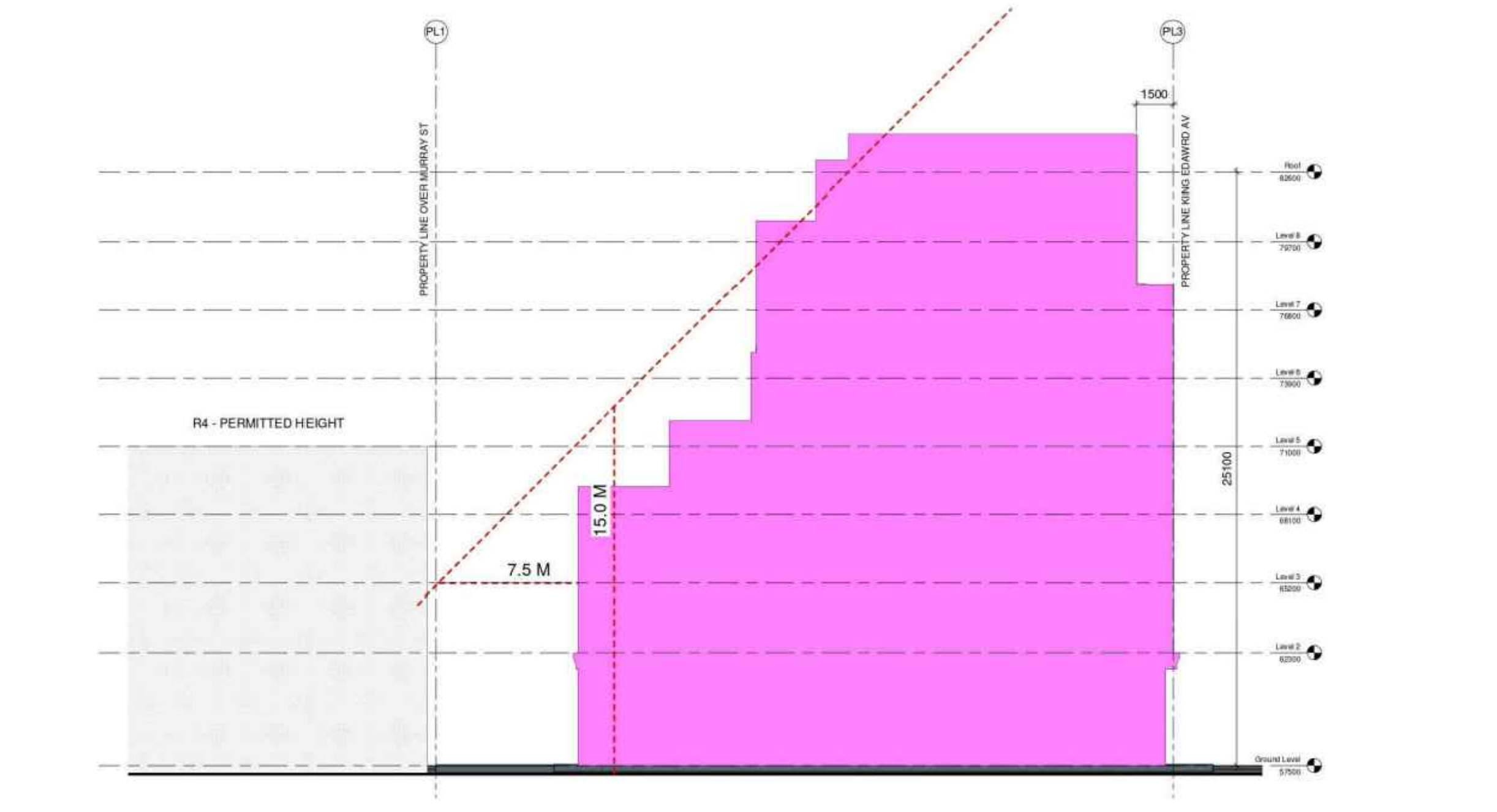
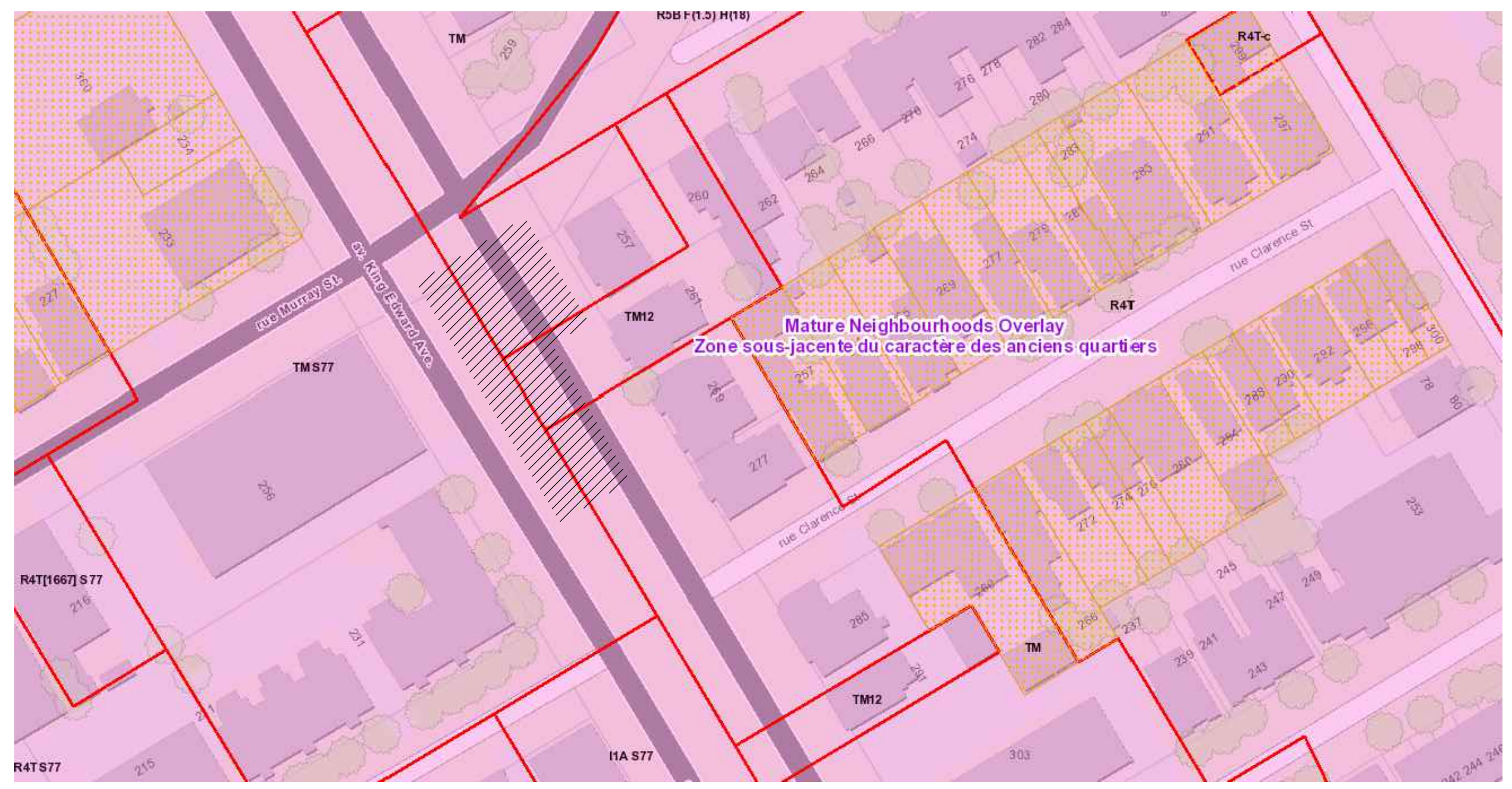
Vehicle - minimums	Hotel	Restaurant	Overall requirement	76 sp.	Yes
1 space/2 guest suites for first 40 suites = 20 spaces	1 space/12 guest suites for balance (81) = 7 spaces	5 spaces/100 m ² for 134 m ² = 8 spaces	Overall requirement: 27 + 8 = 35		
1 space/1000 m ² of GFA = 4888 m ² / 1000 m ² = 5				27 sp. Located on 1 st level of garage with 7 spaces located at grade near entrances.	Yes

LEVEL	BACHELOR	BACHELOR B.F.	ONE BEDROOM	ONE BEDROOM B.F.	TWO BEDROOMS	TWO BEDR. B.F.	TOTAL	
2	16	2	4	0	1	0	23	HOTEL
3	16	2	4	0	1	0	23	
4	16	2	4	0	1	0	23	
5	6	2	4	1	1	0	14	TRAVEL SHARE SUITES
6	6	2	5	1	0	0	14	
7	6	0	7	0	0	1	14	
8	6	0	7	0	0	0	13	
TOTAL	69	10	35	2	4	1	124	

LEVEL	SQ. FT.		SQ. FT.	
	G.F.A.	BUILDING AREA	G.F.A.	BUILDING AREA
1	1,439	10,840	134	1,007
2	9,496	11,609	882	1,079
3	9,496	11,609	882	1,079
4	5,259	10,818	792	1,065
5	6,787	8,268	630	768
6	6,506	8,268	604	768
7	5,892	7,225	529	671
8	4,685	6,062	455	563
TOTAL	53,640	76,695	4,868	6,340

- LEGEND:**
- MANHOLE, REFER TO CIVIL
 - NEW INTERLOCK/PAVERS
 - NEW INTERLOCK/PAVERS
 - NEW PAINTED LINES
 - NEW SOD
 - FIRE DEPARTMENT CONNECTION
 - FIRE HYDRANT, REFER TO CIVIL
 - CATCH BASIN, REFER TO CIVIL
 - BUILDING ENTRANCE
 - BICYCLE RACK
 - DIRECTIONAL ARROW
 - PROPERTY LINE
 - EXISTING CITY LIGHT STANDARD
 - NEW LIGHT STANDARD
 - FIRE ROUTE SIGN
 - STOP SIGN
 - CENTERLINE
 - EXISTING TREES TO BE REMOVED
 - NEW TREE
 - PROPOSED PLANTER

4 SITE PLAN
SP01 1:150



CONSULTANTS:
 STRUCTURAL -
 MECHANICAL -
 CIVIL -
 ELECTRICAL -
 LANDSCAPING -

CLIENT:
165177 CANADA INC
 22 RUE TASCHEREAU - GATINEAU, QC J8Y 2V4

PROJECT
BOUTIQUE HOTEL KING EDWARD
 275 KING EDWARD - OTTAWA, ON K1N 7M2

DRAWING:
SITE PLAN

DATE: 24/09/2020
 SCALE: 1:150
 DRAWN BY: JG
 REVISION BY: RW

PR. NO.: 1969
 DRAWING NO.:
SP01

007-12-21-0126_002-02-21-00950