

Ottawa Community Housing Corporation
GLADSTONE VILLAGE PHASE 1

ISSUED FOR SITE PLAN CONTROL

09/08/2021

ARCHITECTURAL

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A304	West Elevation
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A306	Rebate Elevations
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Architect
Diamond Schmitt Architects
384 Adelaide Street West, Suite 100
Toronto, ON M5V 1R7
T: (416)-862-8800

Structural
Read Jones Christoffersen Ltd.
343 Preston Street, 11th Floor
Ottawa, ON K1S 1N4
T: (343)-291-1081

Electrical
Smith + Andersen (Ottawa)
1600 Carling Avenue, Suite 530
Ottawa, ON K1Z 1G3
T: (613)-230-1186

Civil
Morrison Hershfield
2932 Baseline Rd
Ottawa, ON K2H 1B1
T: (613)-739-7687

Mechanical
Smith + Andersen (Ottawa)
1600 Carling Avenue, Suite 530
Ottawa, ON K1Z 1G3
T: (613)-230-1186

Landscape
Lashley + Associates
950 Gladstone Avenue, Suite 202
Ottawa, ON K1Y 3E6
T: (613)-233-8579

Passive House / Energy Modeling
RDH Building Science Inc.
26 Soho Street, Suite 350
Toronto, ON M5T 1Z7
T: (416)-314-2328

Code
LMDG Building Code Consultants
300 North Queen Street, Suite 206
Toronto, ON M9C 5K4
T: (416)-646-0162

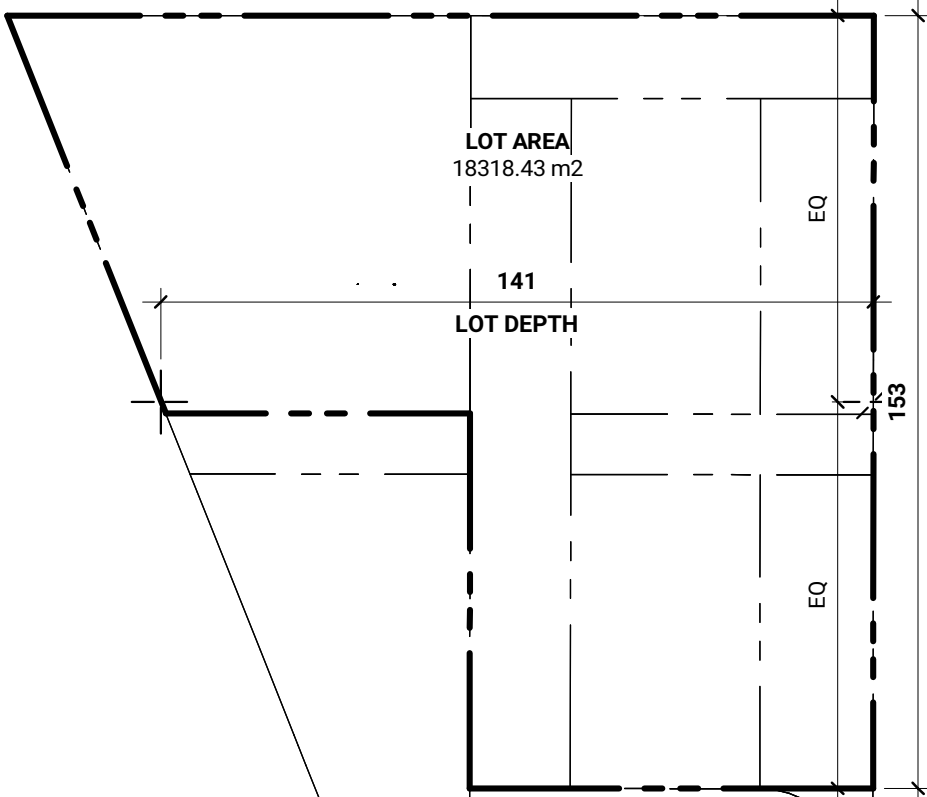
Elevator
Priestman-Neilson & Associates Ltd.
160 Paseo Private
Nepean, ON K2G 4N6
T: (613)-422-0802

Wind
Gradient Wind Engineers & Scientists
127 Walgreen Road
Ottawa, ON K0A 1L0
T: (613)-836-0934

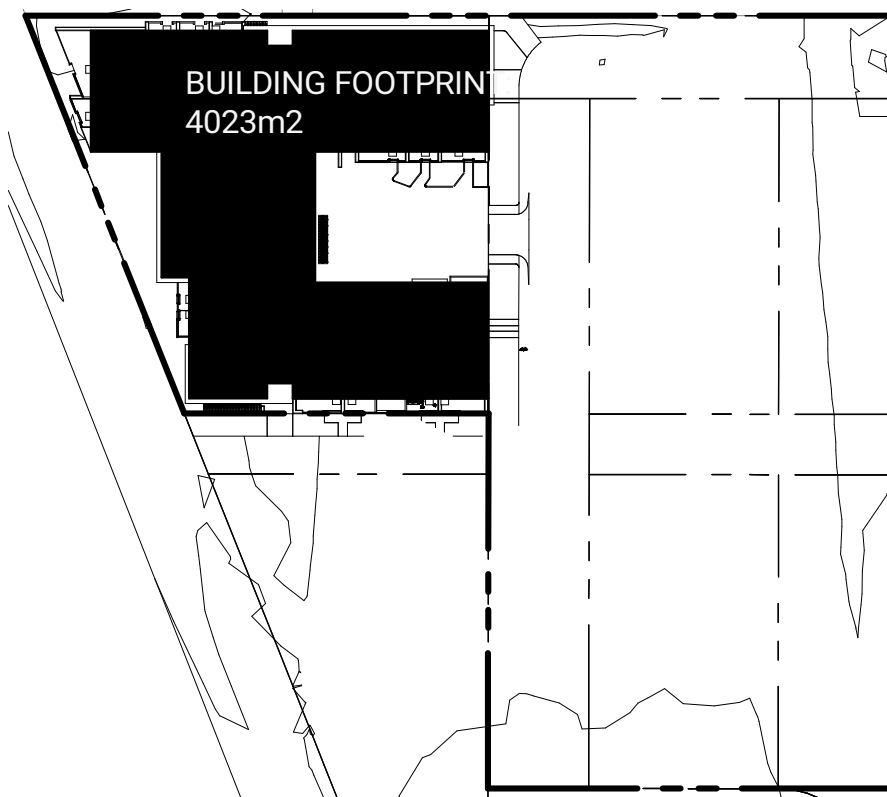
Gladstone Village Phase 1

933 Gladstone Avenue - Phase 1
Ottawa, ON
K1A 0T4
Canada

LOT FRONTAGE, LOT DEPTH, LOT AREA



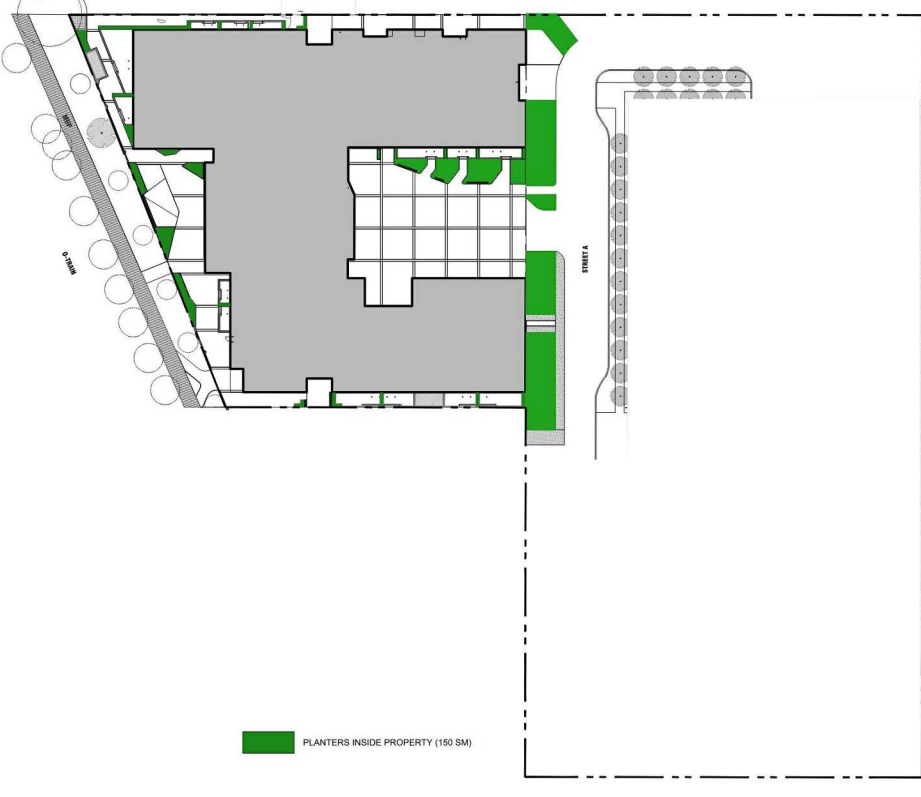
LOT COVERAGE



LOT COVERAGE: BLDG FOOTPRINT/LOT AREA x100
= 4023 m² / 18319 m² x 100
= 21.96%

FLOOR SPACE INDEX: GFA/LOT AREA
= 21753 m² / 18319 m²
= 1.19

LOT OCCUPIED BY VEGETATION



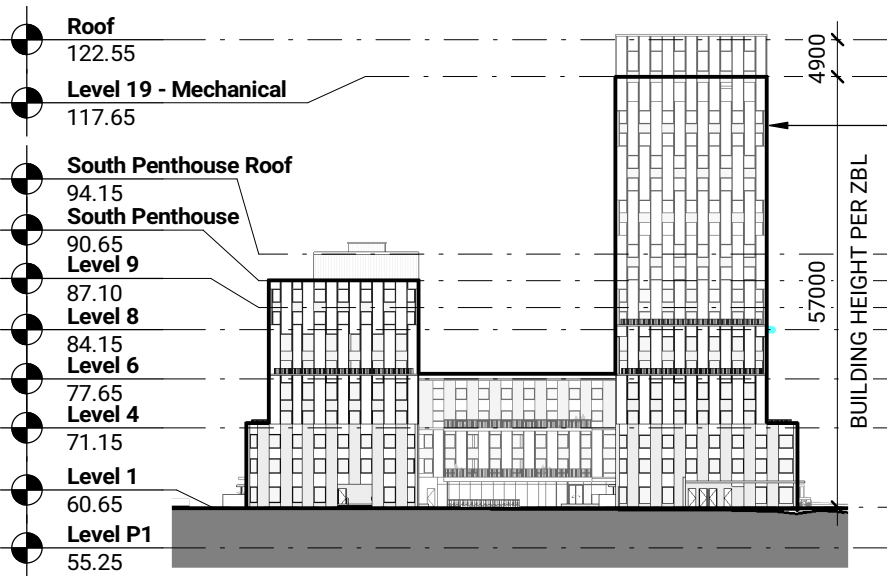
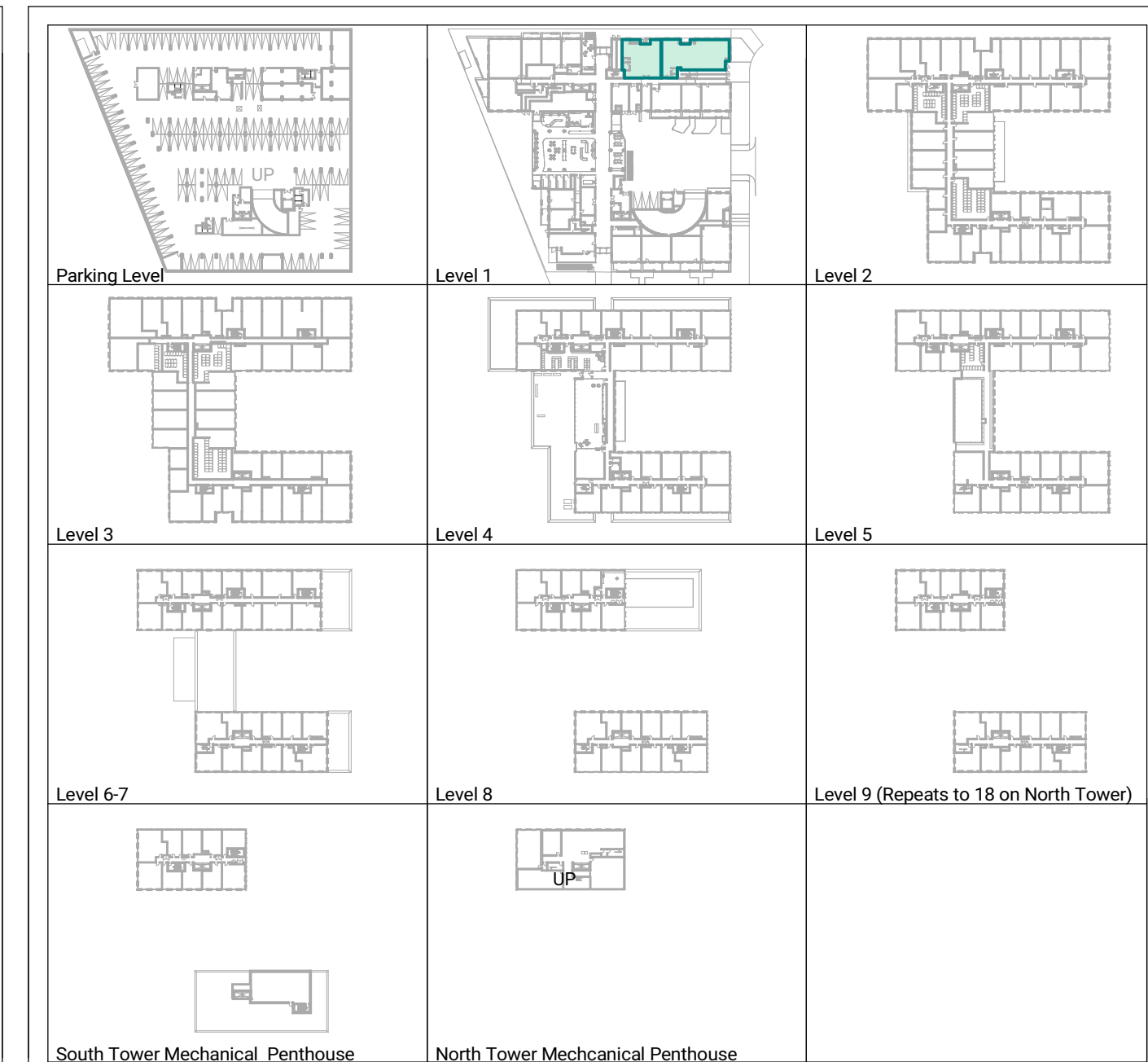
GROSS FLOOR AREA

GFA definition per City of Ottawa ZBL Consolidation 2008-250, Part 1, section 54 and per Site Plan Control By-Law No. 2014-256 as amended by By-Laws No. 2015-142, 2016-271, 2016-355, 2017-320, 2019-39 and 2019-336



GROSS LEASABLE FLOOR AREA

GFA definition per City of Ottawa ZBL Consolidation 2008-250, Part 1, section 54 and per Site Plan Control By-Law No. 2014-256 as amended by By-Laws No. 2015-142, 2016-271, 2016-355, 2017-320, 2019-39 and 2019-336



BUILDING MASSING INDICATED OUTSIDE OF BOLD LINE IS EXEMPT FROM MAX. HEIGHT LIMIT PER SITE SPECIFIC ZONING BY-LAW

MAXIMUM BUILDING HEIGHT: 57m
Per ZBL 2021-91

BUILDING STOREYS: 18 Storeys

UNIT MIX

per OCH Design Guidelines, unit mix based on 811 Gladstone

GVPH1 - Unit Schedule (Main Floor Plan) - By Typical Level						
Level Grouping	No Of Repeated Floors	Studio Count (accounts for repeated floors)	1BD Count (accounts for repeated floors)	2BD Count (accounts for repeated floors)	3BD Count (accounts for repeated floors)	4BD Count (accounts for repeated floors)
Level P1	1	0	0	0	0	0
Level 1	1	5	5	2	2	1
Level 2 (unique)	1	0	1	0	0	0
Level 2-3	2	4	48	8	12	2
Level 3 (unique)	1	0	1	1	0	0
Level 4	1	2	12	9	3	0
Level 5	1	3	16	7	4	0
Level 6-7	2	10	28	12	6	0
Level 8	1	5	10	4	2	0
Level 9 South	1	2	7	2	1	0
Level 9-18 North	10	20	50	20	10	0
South Mech. Pent.	1	0	0	0	0	0
North Mech. Pent.	1	0	0	0	0	0
Total	47	178	69	40	4	0
Percentage of total	13.9%	52.7%	20.4%	11.8%	1.2%	0%
Target percentage (OCH's 811 Gladstone)	13.9%	54.6%	20.4%	11.1%	1.2%	0%

ACCESSIBLE UNITS

per CMHC guidelines

GVPH1 - Accessible Unit Schedule (Main Floor Plan) - By Typical Level						
Level Grouping	No Of Repeated Floors	BF Studio Count (accounts for repeated floors)	BF 1BD Count (accounts for repeated floors)	BF 2BD Count (accounts for repeated floors)	BF 3BD Count (accounts for repeated floors)	BF 4BD Count (accounts for repeated floors)
Level P1	1	0	0	0	0	0
Level 1	1	1	2	0	1	1
Level 2 (unique)	1	0	0	1	0	0
Level 2-3	2	2	17	3	4	1
Level 3 (unique)	1	0	1	1	0	0
Level 4	1	1	4	5	0	0
Level 5	1	2	4	3	0	0
Level 6-7	2	2	5	0	0	0
Level 8	1	2	2	0	0	0
Level 9 South	1	0	2	0	0	0
Level 9-18 North	10	1	0	0	0	0
South Mech. Pent.	1	0	0	0	0	0
North Mech. Pent.	1	0	0	0	0	0
Total per unit type	11	37	13	5	2	0
Target units (21%)	9.0	38.2	14.5	8.4	0.84	0
Target units (31%)	13.3	56.4	21.4	12.4	1.2	0

GVPH1 - GFA (Main Floor Plan) - By Typical Level								
Level Grouping	No Of Repeated Floors	Co O GFA over repeated floors	Exemption A: Mech, Service + electrical (Repeat Levels)	Exemption B: Common Circulation (Repeat Levels)	Exemption C: Parking + Loading (Repeat Levels)	Exemption D: Common Laundry, Storage, WCs for tenants (Repeat Levels)	Exemption E: Common Bldg Storage (Repeat Levels)	Exemption F: Common Amenity + Play (Repeat Levels)
Level P1	1	0.00 m²	565.01 m²	206.01 m²	5123.48 m²	0.00 m²	33.07 m²	0.00 m²
Level 1	1	1523.64 m²	114.64 m²	824.65 m²	464.01 m²	94.77 m²	71.91 m²	589.27 m²
Level 2 (unique)	1	139.91 m²	0.00 m²	0.00 m²	0.00 m²	0.00 m²	0.00 m²	0.00 m²
Level 2-3	2	5668.88 m²	66.58 m²	728.56 m²	0.00 m²	698.83 m²	0.00 m²	0.00 m²
Level 3 (unique)	1	160.14 m²	0.00 m²	0.00 m²	0.00 m²	0.00 m²	0.00 m²	0.00 m²
Level 4	1	1692.57 m²	34.59 m²	390.33 m²	0.00 m²	139.02 m²	0.00 m²	320.48 m²
Level 5	1	1895.23 m²	32.55 m²	434.54 m²	0.00 m²	61.05 m²	0.00 m²	0.00 m²
Level 6-7	2	3297.46 m²	63.23 m²	504.36 m²	0.00 m²	0.00 m²	0.00 m²	0.00 m²
Level 8	1	1181.48 m²	32.06 m²	200.26 m²	0.00 m²	0.00 m²	0.00 m²	50.91 m²
Level 9 South	1	682.85 m²	16.26 m²	107.06 m²	0.00 m²	0.00 m²	0.00 m²	0.00 m²
Level 9-18 North	10	5511.01 m²	157.61 m²	926.51 m²	0.00 m²	0.00 m²	0.00 m²	0.00 m²
South Mech. Pent.	1	0.00 m²	193.34 m²	24.90 m²	0.00 m²	0.00 m²	0.00 m²	0.00 m²
North Mech. Pent.	1	0.00 m²	506.82 m²	48.48 m²	0.00 m²	0.00 m²	0.00 m²	0.00 m²
Total	21	21753.16 m²	1782.68 m²	4395.57 m²	5587.49 m²	993.67 m²	104.97 m²	960.67 m²

Area Schedule (Rentable)				
Level Grouping	No Of Repeated Floors	Area Type	Area Usage	Area
Level 1	1	RETAIL	GLFA	371.85 m²
				371.85 m²

AMENITY REQUIRED:

Amenity definition per City of Ottawa ZBL Consolidation 2008-250, Part 1, section 54. Amenities requirements per Zoning Summary - Gladstone Village Phase 1 Lands (April, 8th 2021 Prepared by T. Beed of Fotenn).

Amenity Standard Requirements	Ratio	Total
Units		
338	6m2/unit	2028m2
Total Required Amenity		2028m2

AMENITY PROVIDED:

Amenity definition per City of Ottawa ZBL Consolidation 2008-250, Part 1, section 54. Amenities requirements per Zoning Summary - Gladstone Village Phase 1 Lands (April, 8th 2021 Prepared by T. Beed of Fotenn).

GVPH1 - Amenity Schedule (Main Floor Plan) - By Typical Level				
Level Grouping	No Of Repeated Floors	Exterior Amenity	Interior Amenity	Total Amenity
Level P1	1	0.00 m²	0.00 m²	0.00 m²
Level 1	1	276.48 m²	589.27 m²	865.75 m²
Level 2 (unique)	1	0.00 m²	0.00 m²	0.00 m²
Level 2-3	2	0.00 m²	0.00 m²	0.00 m²
Level 3 (unique)	1	0.00 m²	0.00 m²	0.00 m²
Level 4	1	689.94 m²	320.48 m²	1010.42 m²
Level 5	1	0.00 m²	0.00 m²	0.00 m²
Level 6-7	2	0.00 m²	0.00 m²	0.00 m²
Level 8	1	209.37 m²	50.91 m²	260.28 m²
Level 9 South	1	0.00 m²	0.00 m²	0.00 m²
Level 9-18 North	10	0.00 m²	0.00 m²	0.00 m²
South Mech. Pent.	1	0.00 m²	0.00 m²	0.00 m²
North Mech. Pent.	1	0.00 m²	0.00 m²	0.00 m²
Total		1075.79 m²	950.67 m²	2026.46 m²

NUMBER OF PARKING SPACES

Parking requirements: per CoO ZBL 2008-250 Consolidation, Part 4: Parking, Queuing and Loading Provisions (section 101); per OPA Corso Italia Station District Secondary Plan, Official Plan Amendment No. 253 to the Official Plan of the City of Ottawa, 5.5, per Zoning Summary - Gladstone Village Phase 1 Lands (April, 8th 2021 Prepared by T. Beed of Fotenn).

Parking Standard Requirements				Proposed Parking Supply	
Type	Factor	Ratio	Count	Type	Count
Retail Parking	371.85m2	3.6 per 100m2*	13.4	Commercial Parking	13
Residential Parking	338 units	no minimum**	0	Residential Parking	102
Visitor Parking	338 units	0.1 per unit***	30	Visitor Parking	30
Total Required Parking			43.4	Total Proposed Parking	145

*per zoning summary
**no min. for residential parking per OPA Corso Italia Station District Secondary Plan, Official Plan Amendment No. 253 to the Official Plan of the City of Ottawa, 5.5.
***visitor parking max. = 30 spaces; no parking is necessary for the first 12 units on a lot (per Zoning Summary prepared by Fotenn)

NUMBER OF BICYCLE PARKING SPACES

*Per ZBL 2008-250, Part 4, 111 (2) retail parking can be provided at a rate of 1 space per 250m2
**Per OPA Corso Italia Station District Secondary Plan, Official Plan Amendment No. 253 to the Official Plan of the City of Ottawa, 5.5.

Bicycle Parking Standard Requirements			Bicycle Parking Proposed Supply			
Type	Factor	Count	Type	Stacking	Count	
Retail Parking	371.85m2	1 per 250m2*	2	P1 - interior	double stacked	100
Residential Parking	338 units	1 per unit**	338	Level 1 - interior	double stacked	198
Visitor Parking	included		30	Level 1 - exterior	single stacked	42
Total Required Parking			340	Total Proposed Parking		340



SITE ZONING Pre 2021-91

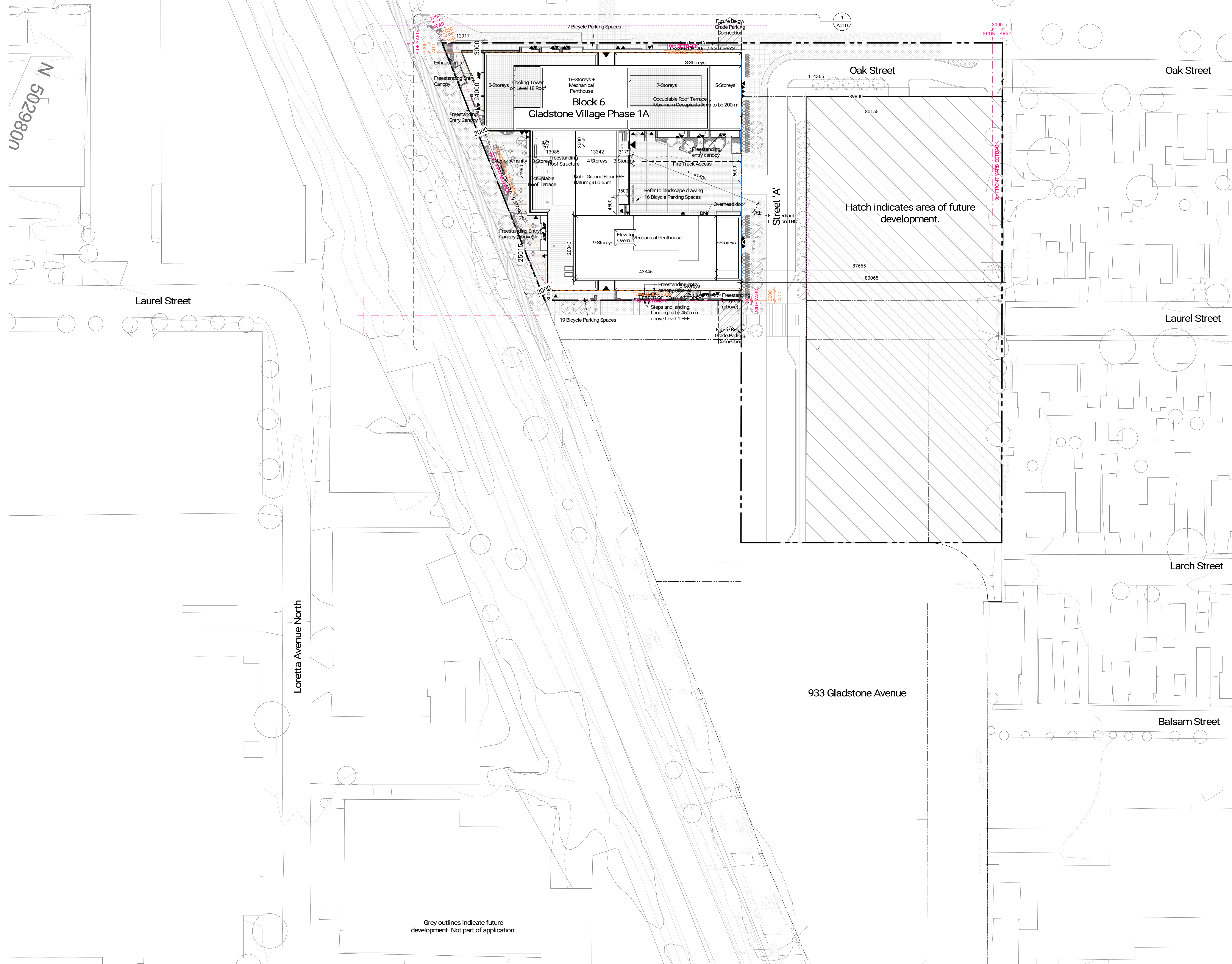
MC F(1.5) zone
NB: Zoning information in the Table below currently governs the site, but is to be superseded per draft Subdivision Plan dated June 24th, 2021, submitted by Ottawa Community Housing and prepared by Fotenn and Stantec.

Provision	Performance Standard
Min Lot Area	No Minimum
Min Lot Width	No Minimum
Max Height:	No Minimum
Min Height:	(i) for all cases within 400 metres of a rapid transit station: 6.7 m (ii) other cases: No minimum
Min Front Setbacks:	(i) abutting a lot in a residential zone: 3 m (ii) abutting the rapid transit corridor: 2 m (iii) other cases: No minimum
Min Rear Setbacks:	(i) rear lot line abutting a lot in a residential zone: 6 m (ii) other cases: No minimum
Min Interior Side Yard Setback:	(i) abutting the rapid transit corridor: 2 m (ii) other cases: No minimum
Min Corner Yard Setback:	(i) abutting a lot in a residential zone: 3 m (ii) abutting the rapid transit corridor: 2 m (iii) other cases: No minimum
Amenity Space:	6m2/unit
Minimum width of landscaped area:	No minimum, except that where a yard is provided and not used for required driveways, alleys, parking, loading spaces or outdoor amenity spaces, the whole yard must be landscaped.
Maximum Floor Space Index:	1.5

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GLADSTONE VILLAGE PHASE 1
933 Gladstone Avenue - Phase 1
211006

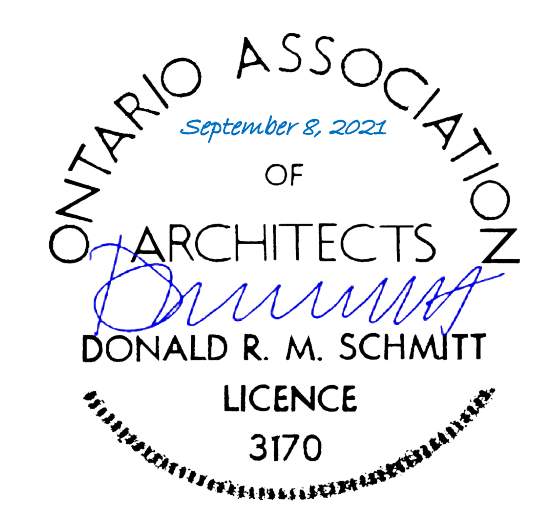


Grey outlines indicate future development. Not part of application.

LEGEND

- Principal Building Entrance
- Building Entry / Egress
- Siamese Connection
- Fire Hydrant

No.	Date	Description	ISSUED
4	08 SEP 2021	ISSUED FOR SITE PLAN CONTROL	



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GLADSTONE VILLAGE
PHASE 1
 933 Gladstone Avenue - Phase 1
 211006

933 Gladstone Ave Site Plan
 As indicated

A009

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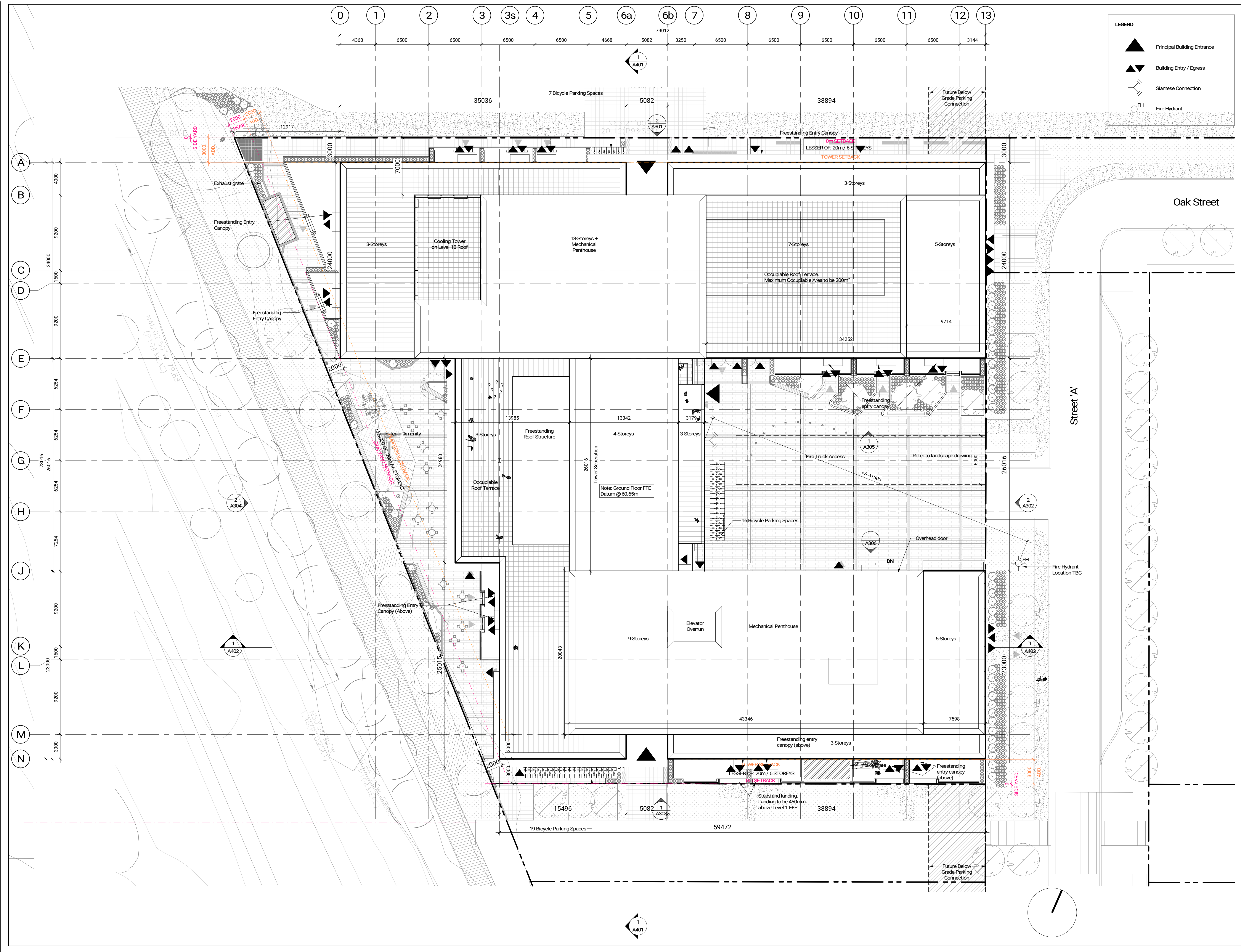
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GLADSTONE VILLAGE
PHASE 1
933 Gladstone Avenue - Phase 1
211006

Site Plan
1 : 200
A010

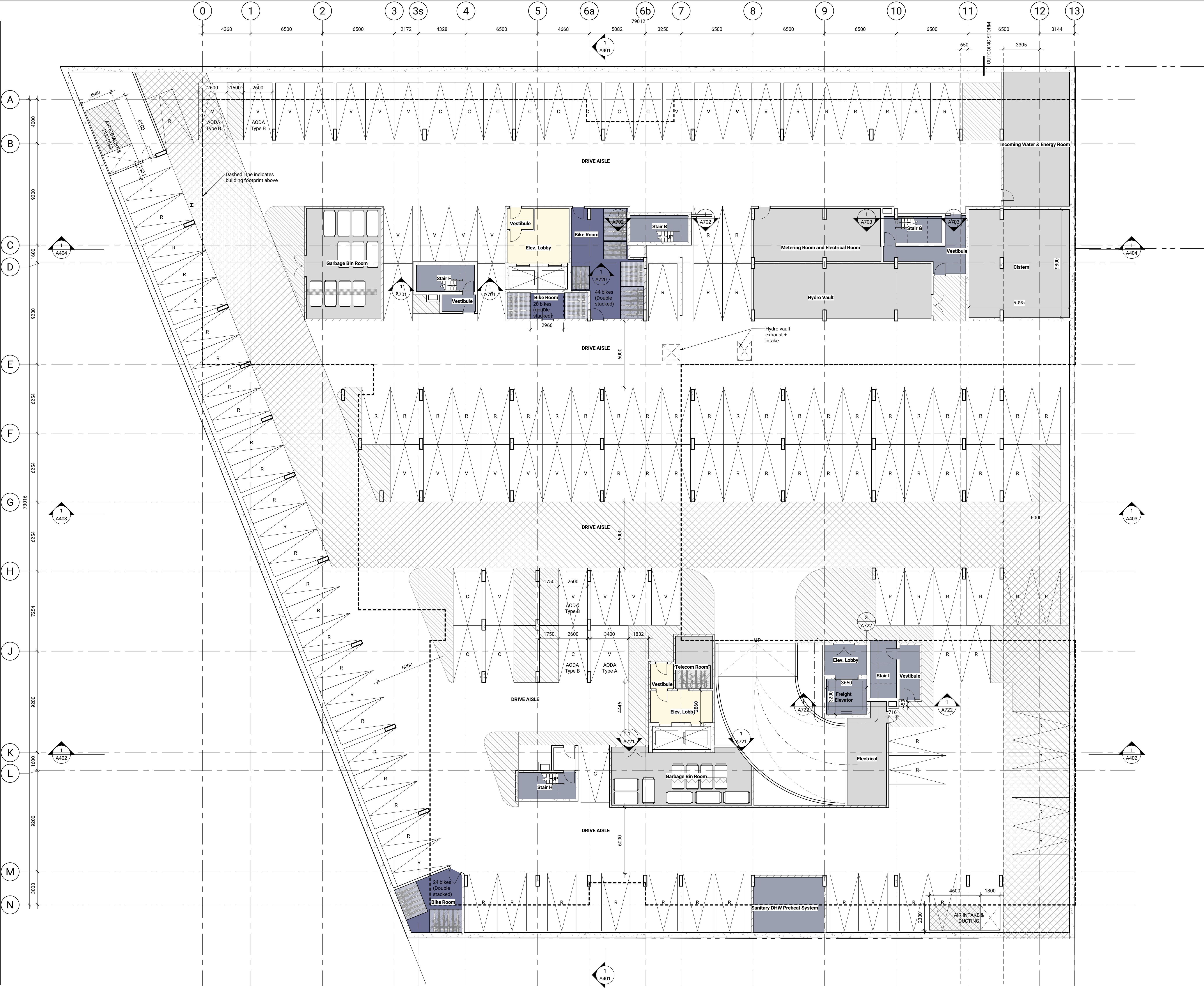


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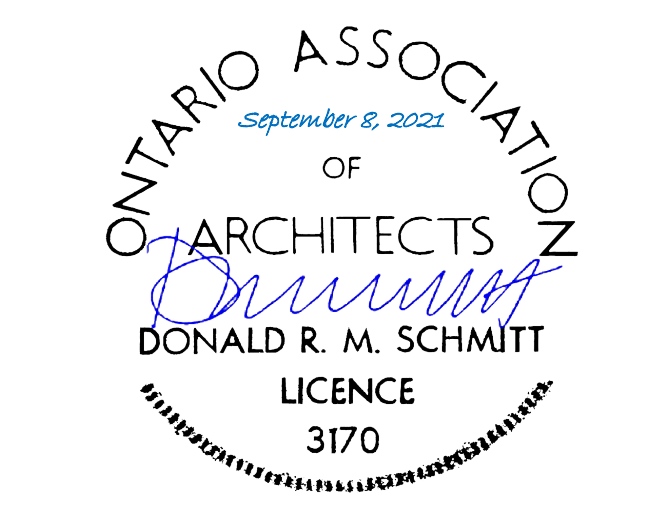
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Site Plan 1 : 200

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- GENERAL NOTES**
- Plan Symbols**
- Sloped Roof Insulation
 - Roof Drain
 - Floor Drain
 - Area Drain
 - Hose Bib Location
 - Proposed Siamese Connection Location
 - Proposed Gas Meter Location
 - Rain Water Leader
 - Convex Mirror
 - Projected Barrier-free unit
- No. Date Description**
- | | | | |
|---|-------------|----------------------------------|--------|
| 1 | 23 JUL 2021 | ISSUED FOR COSTING | ISSUED |
| 2 | 30 JUL 2021 | ISSUED FOR 100% SCHEMATIC DESIGN | |
| 4 | 08 SEP 2021 | ISSUED FOR SITE PLAN CONTROL | |



Proposed Parking Supply

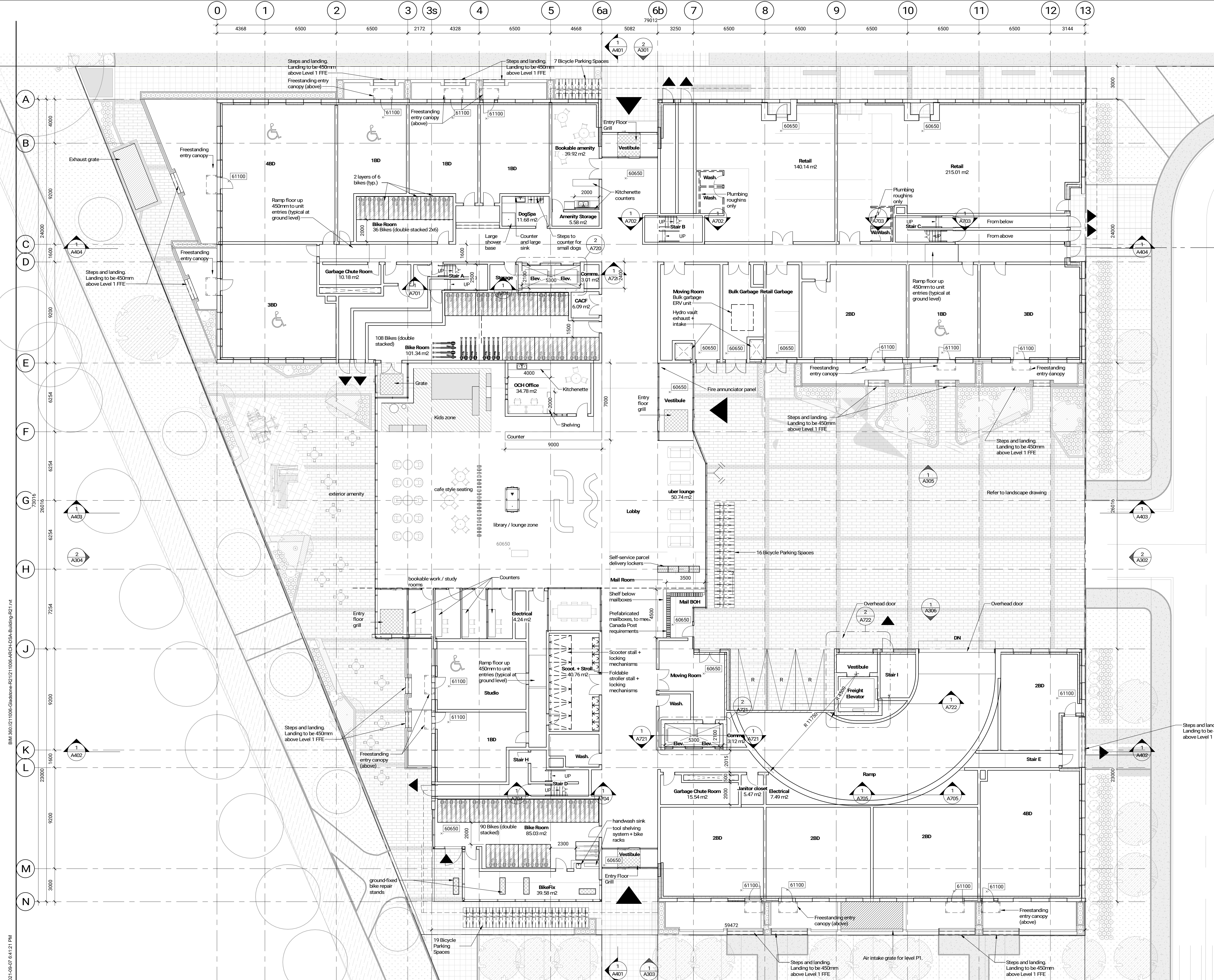
Type	Count
Commercial Parking	13
Residential Parking	102
Visitor Parking	30
Total	145

- GENERAL NOTES**
- Plans**
- Refer to Building Elements Schedule for Exterior Wall, Partition, Roof, Ceiling, and Soffit Types.
 - Refer to Mechanical and Electrical Drawings for Additional Requirement.
 - At Locations where Mech. Ducts Interfere with Full Height Construction of Interior Partitions, Offset Partitions Above Ceiling and Brace as Required. Maintain Fire Separation/Sound Rating of Partition. Offsetting of Partitions Will Only Be Permitted Where Ductwork Cannot Be Positioned.
 - All Dimensions are Taken to Face of Masonry or Concrete at Masonry and Concrete Walls and Partitions. At Steel Stud Partitions, Dimensions are Taken to Face of Gypsum Board, Unless Otherwise Noted.
 - Increase Thickness of Walls or Furr Out Wall Thickness as Required to Accommodate Mechanical and Electrical Panels and Services. Maintain Fire Separation Around Back of Panels where Applicable.
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 PHASE 1**
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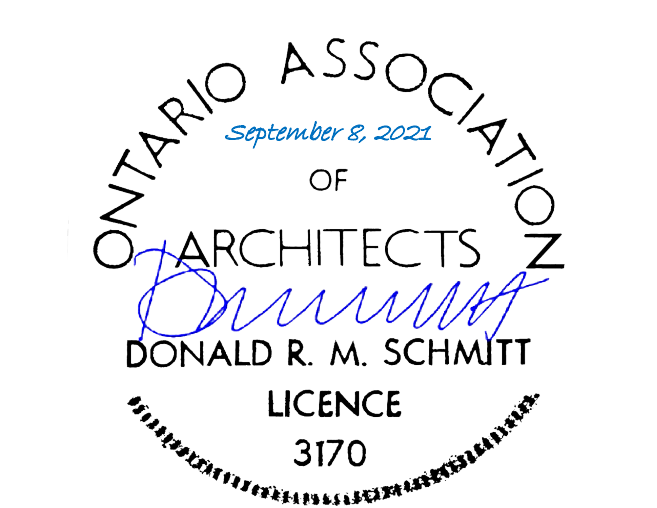
Level P1 - Floor Plan
 As indicated
A100



- GENERAL NOTES**
- Plan Symbols**
- Sloped Roof Insulation
 - Roof Drain
 - Floor Drain
 - Area Drain
 - Hose Bib Location
 - Proposed Sluiceway Connection Location
 - Proposed Gas Meter Location
 - Rain Water Leader
 - Convex Mirror
 - Projected Barrier-free unit

ISSUED

No.	Date	Description
1	23 JUL 2021	ISSUED FOR COSTING
2	30 JUL 2021	ISSUED FOR 100% SCHEMATIC DESIGN
4	08 SEP 2021	ISSUED FOR SITE PLAN CONTROL



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CONTRACTOR MUST CHECK & VERIFY ALL DIMENSIONS ON THE JOB

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GLADSTONE VILLAGE
PHASE 1
 933 Gladstone Avenue - Phase 1
 211006

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GENERAL NOTES

Plan Symbols

- Sloped Roof Insulation
- Roof Drain
- Floor Drain
- Area Drain
- Hose Bib Location
- Proposed Siamese Connection Location
- Proposed Gas Meter Location
- Rain Water Leader
- Convex Mirror
- Projected Barrier-free unit

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GENERAL NOTES

Plans

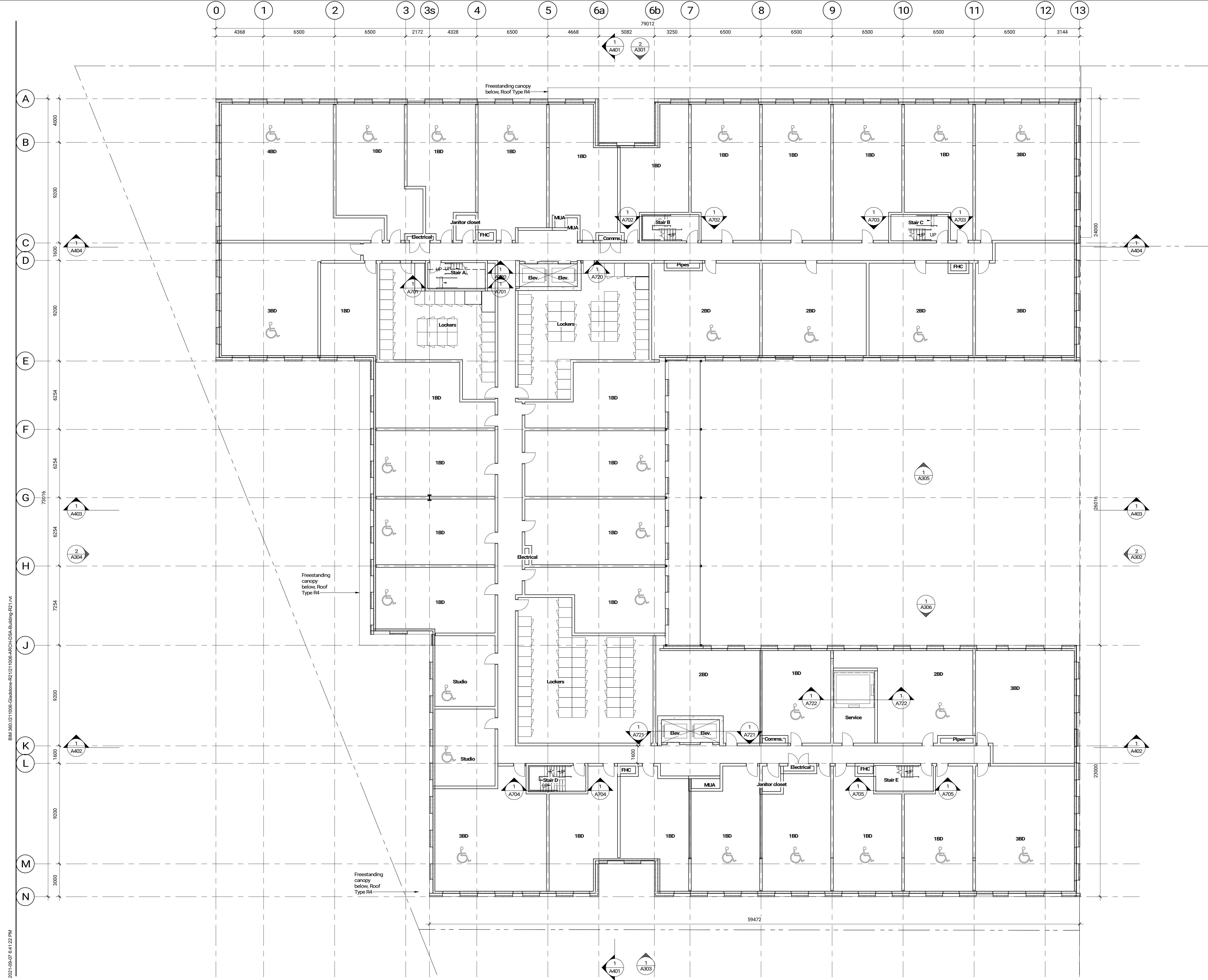
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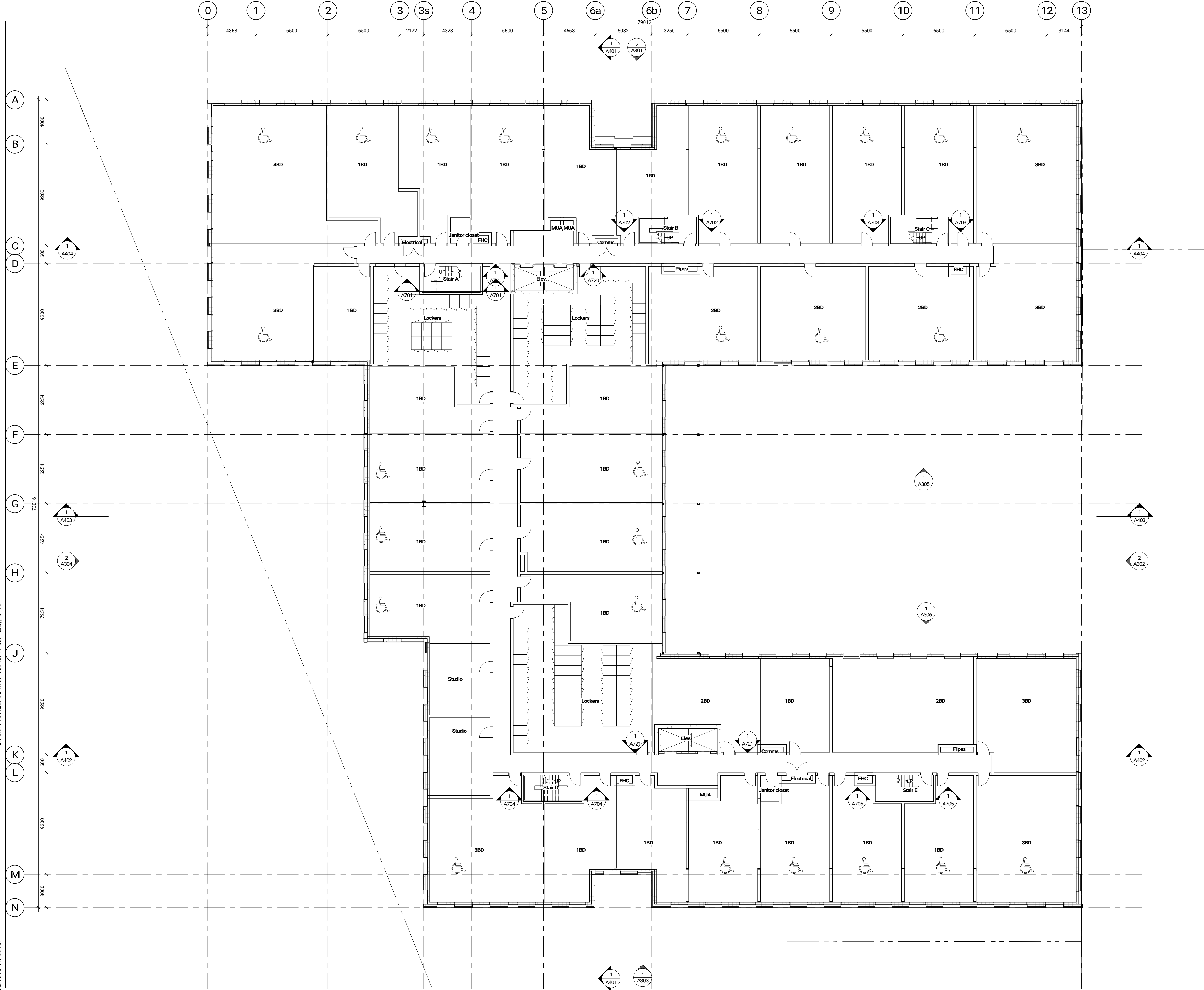
Level 2 - Floor Plan
As indicated

A102



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- GENERAL NOTES**
- Plan Symbols**
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 - Floor Drain
 - Area Drain
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 - Proposed Gas Meter Location
 - R.W.L. Rain Water Leader
 - Convex Mirror
 - Projected Barrier-free unit

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- GENERAL NOTES**
- Plans**
1. Refer to Building Elements Schedule for Exterior Wall, Partition, Roof, Ceiling, and Soffit Types.
 2. Refer to Mechanical and Electrical Drawings for Additional Requirement.
 3. At Locations where Mech. Ducts Interfere with Full Height Construction of Interior Partitions, Offset Partition Above Ceiling and Brace as Required. Maintain Fire Separation/Sound Rating of Partition. Offsetting of Partitions Will Only Be Permitted Where Ductwork Cannot Be Positioned.
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 5. Increase Thickness of Walls or Furr Out Wall Thickness as Required to Accommodate Mechanical and Electrical Panels and Services. Maintain Fire Separation Around Back of Panels where Applicable.
 6. For Dimensions of Concrete Refer to Slab Edge Drawings.

CONTRACTOR MUST CHECK & VERIFY ALL DIMENSIONS ON THE JOB.
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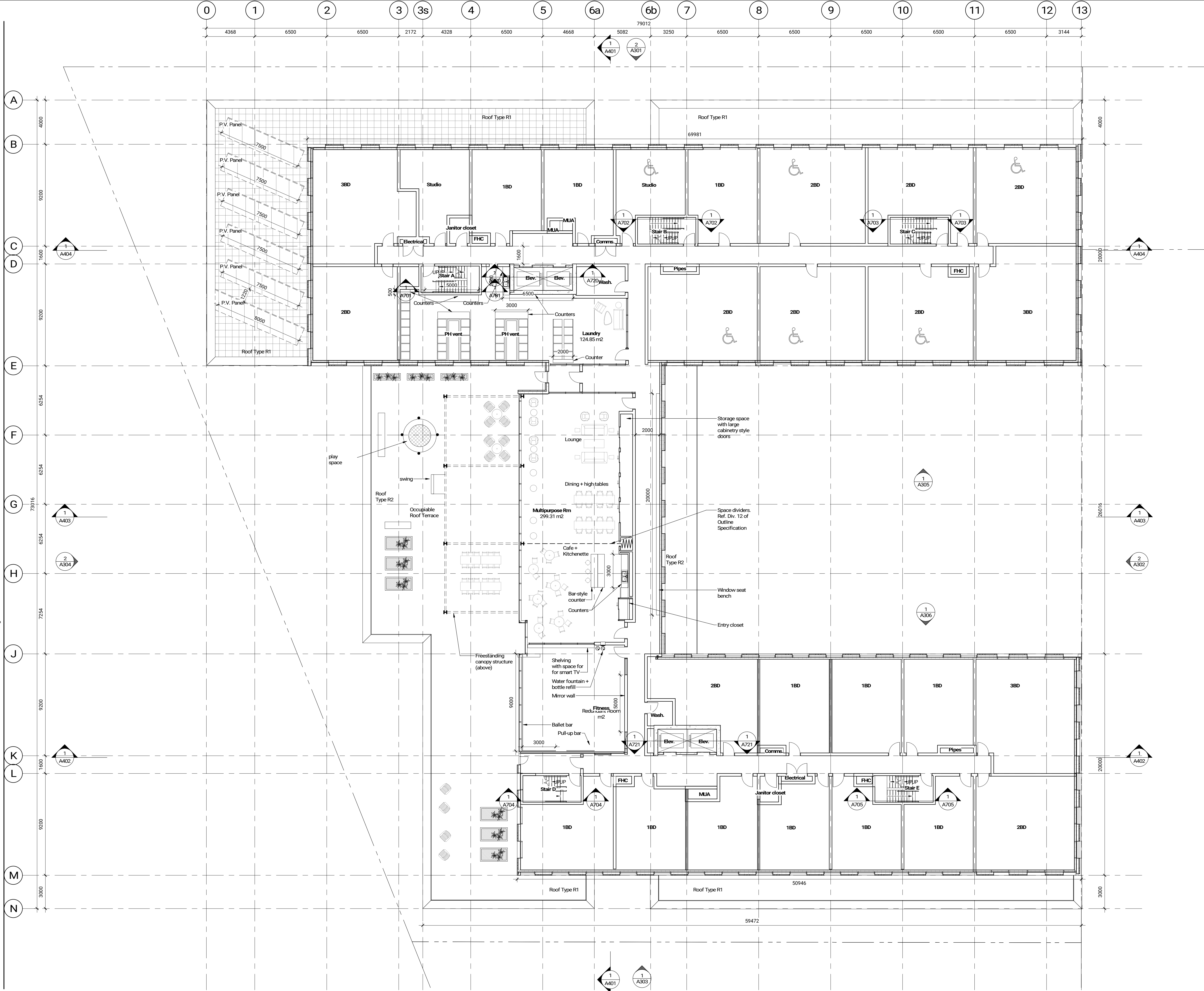
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GLADSTONE VILLAGE
PHASE 1
 933 Gladstone Avenue - Phase 1
 211006

Level 3 - Floor Plan
 As indicated

A103

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- GENERAL NOTES**
- Plan Symbols**
- Sloped Roof Insulation
 - Roof Drain
 - Floor Drain
 - Area Drain
 - Hose Bib Location
 - Proposed Siamese Connection Location
 - Proposed Gas Meter Location
 - Rain Water Leader
 - Convex Mirror
 - Projected Barrier-free unit

ISSUED

No.	Date	Description
1	23 JUL 2021	ISSUED FOR COSTING
2	30 JUL 2021	ISSUED FOR 100% SCHEMATIC DESIGN
3	06 AUG 2021	ISSUED FOR COSTING ADD. NO. 1
4	08 SEP 2021	ISSUED FOR SITE PLAN CONTROL



- GENERAL NOTES**
- Plans**
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GLADSTONE VILLAGE
PHASE 1
 933 Gladstone Avenue - Phase 1
 211006

GENERAL NOTES

Plan Symbols

- Sloped Roof Insulation
- Roof Drain
- Floor Drain
- Area Drain
- Hose Bib Location
- Proposed Siamese Connection Location
- Proposed Gas Meter Location
- Rain Water Leader
- Convex Mirror
- Projected Barrier-free unit

ISSUED

No.	Date	Description
1	23 JUL 2021	ISSUED FOR COSTING
2	30 JUL 2021	ISSUED FOR 100% SCHEMATIC DESIGN
4	08 SEP 2021	ISSUED FOR SITE PLAN CONTROL



GENERAL NOTES

Plans

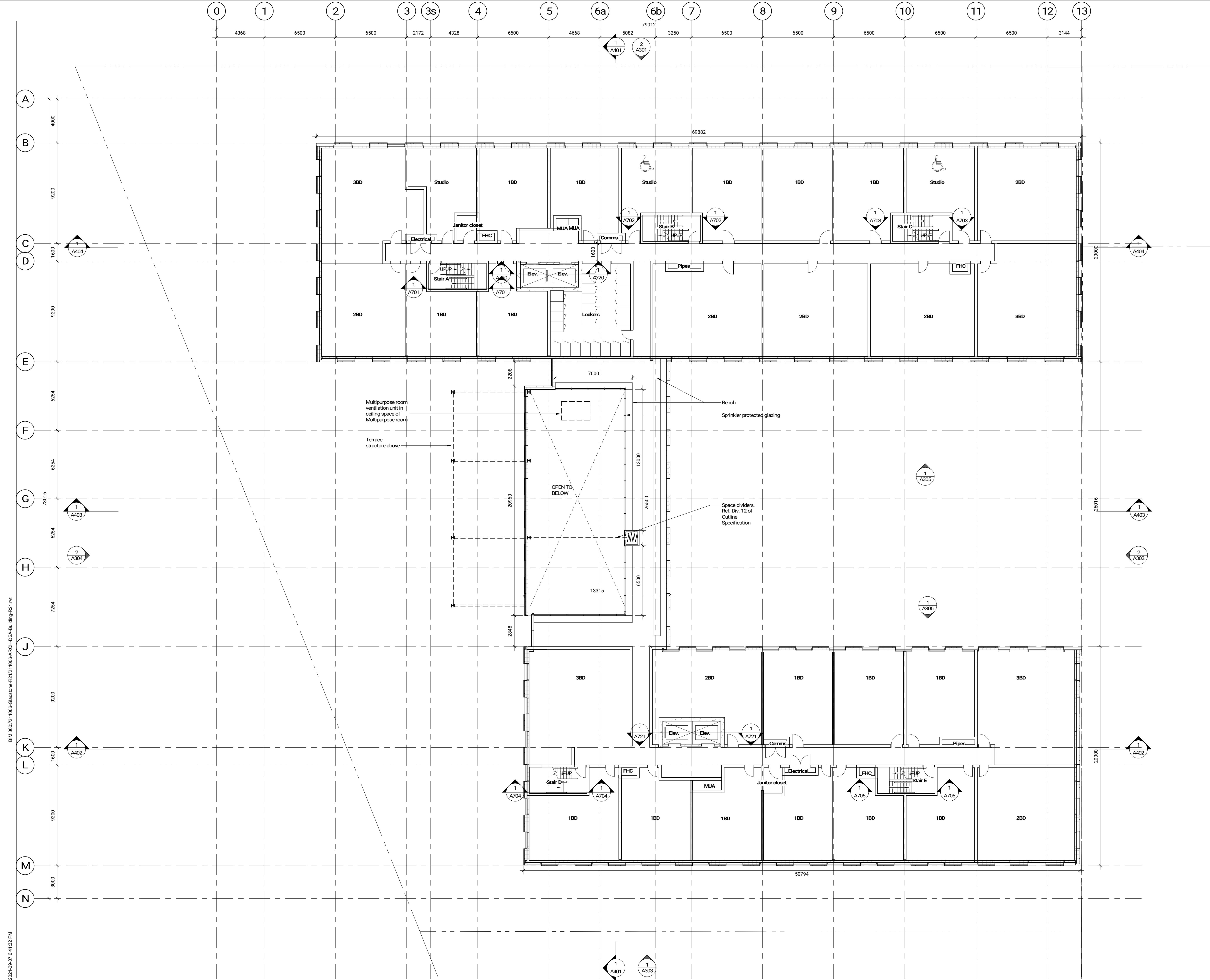
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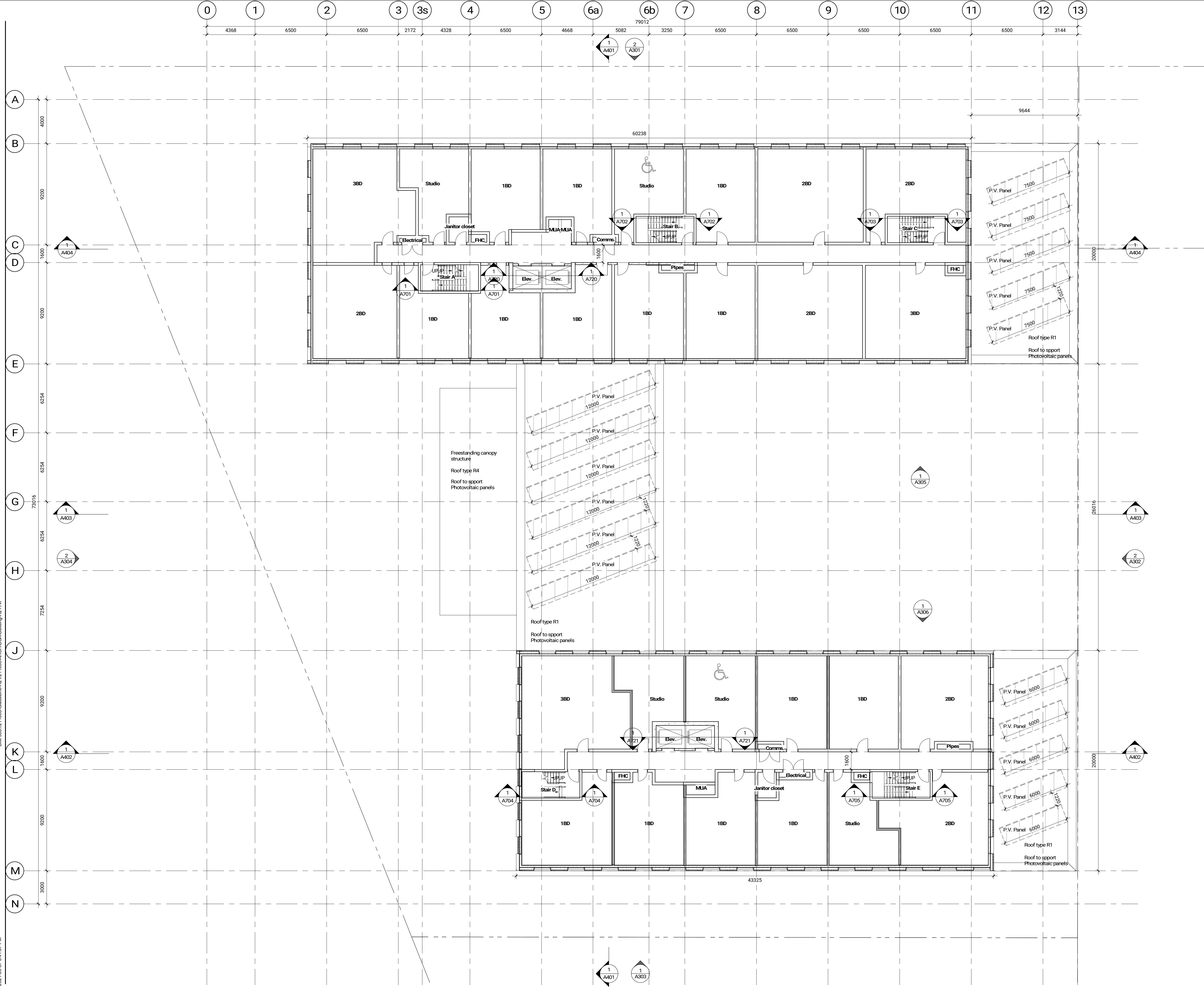
Level 5 - Floor Plan
As indicated

A105



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GENERAL NOTES

Plan Symbols

- Sloped Roof Insulation
- Roof Drain
- Floor Drain
- Area Drain
- Hose Bib Location
- Proposed Siamese Connection Location
- Proposed Gas Meter Location
- Rain Water Leader
- Convex Mirror
- Projected Barrier-free unit

ISSUED

No.	Date	Description
1	23 JUL 2021	ISSUED FOR COSTING
2	30 JUL 2021	ISSUED FOR 100% SCHEMATIC DESIGN
3	06 AUG 2021	ISSUED FOR COSTING ADD. NO. 1
4	08 SEP 2021	ISSUED FOR SITE PLAN CONTROL



GENERAL NOTES

Plans

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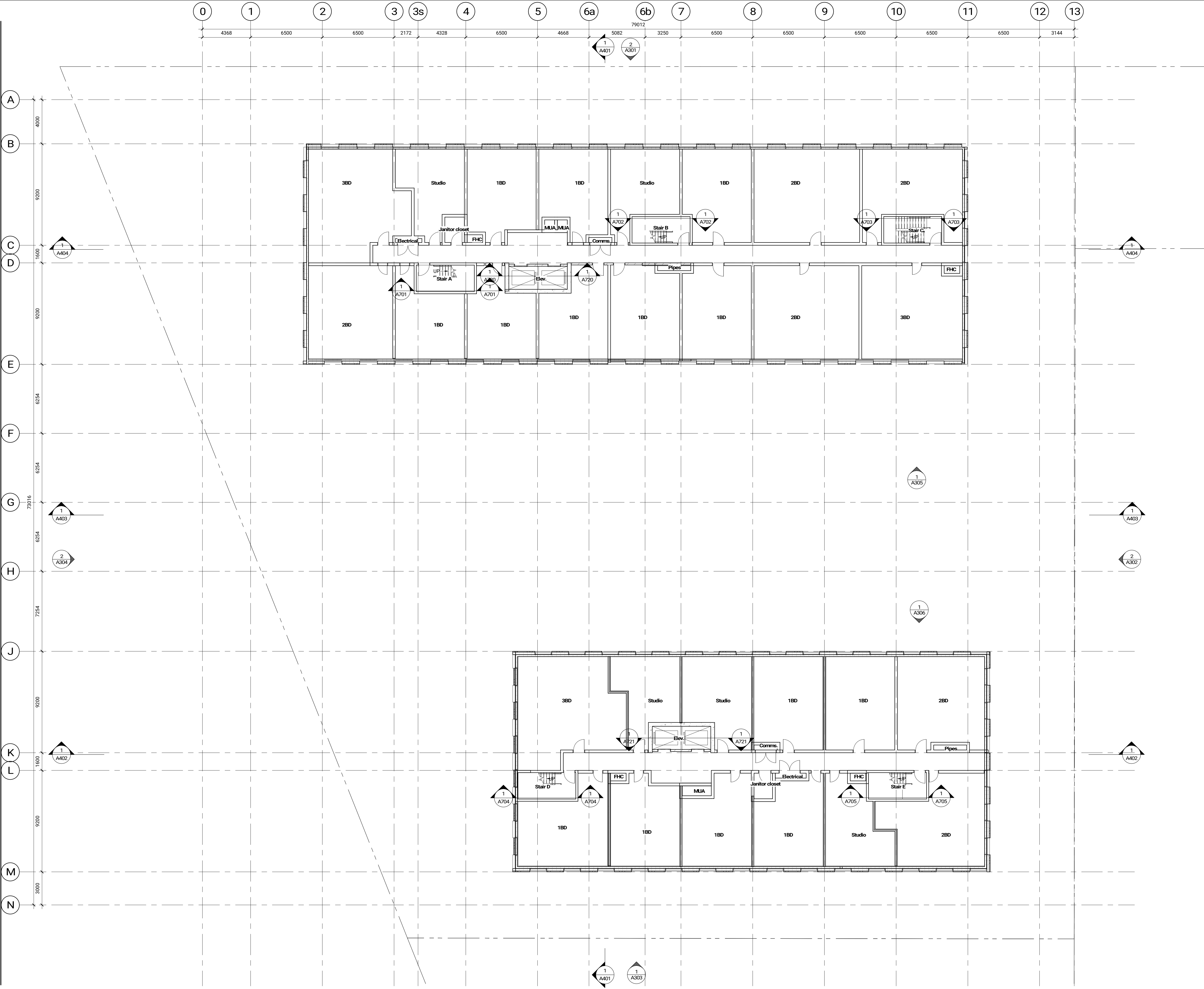
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PHASE 1
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 211006

Level 6 - Floor Plan
 As indicated

A106

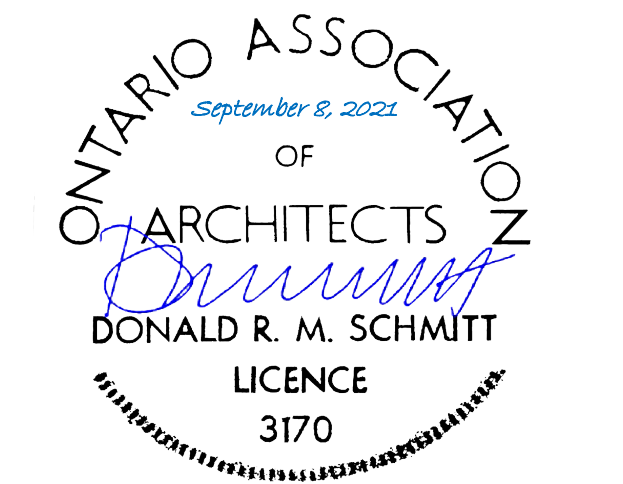
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- GENERAL NOTES**
- Plan Symbols**
- Sloped Roof Insulation
 - Roof Drain
 - Floor Drain
 - Area Drain
 - Hose Bib Location
 - Proposed Siamese Connection Location
 - Proposed Gas Meter Location
 - R.W.L. Rain Water Leader
 - Convex Mirror
 - Projected Barrier-free unit

ISSUED

No.	Date	Description
4	08 SEP 2021	ISSUED FOR SITE PLAN CONTROL



- GENERAL NOTES**
- Plans**
1. Refer to Building Elements Schedule for Exterior Wall, Partition, Roof, Ceiling, and Soffit Types.
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PHASE 1
 933 Gladstone Avenue - Phase 1
 211006

Level 7 - Floor Plan
 As indicated
A107

GENERAL NOTES

Plan Symbols

- Sloped Roof Insulation
- Roof Drain
- Floor Drain
- Area Drain
- Hose Bib Location
- Proposed Siamese Connection Location
- Proposed Gas Meter Location
- R.W.L. Rain Water Leader
- Convex Mirror
- Projected Barrier-free unit

ISSUED

No.	Date	Description
1	23 JUL 2021	ISSUED FOR COSTING
2	30 JUL 2021	ISSUED FOR 100% SCHEMATIC DESIGN
4	08 SEP 2021	ISSUED FOR SITE PLAN CONTROL



GENERAL NOTES

Plans

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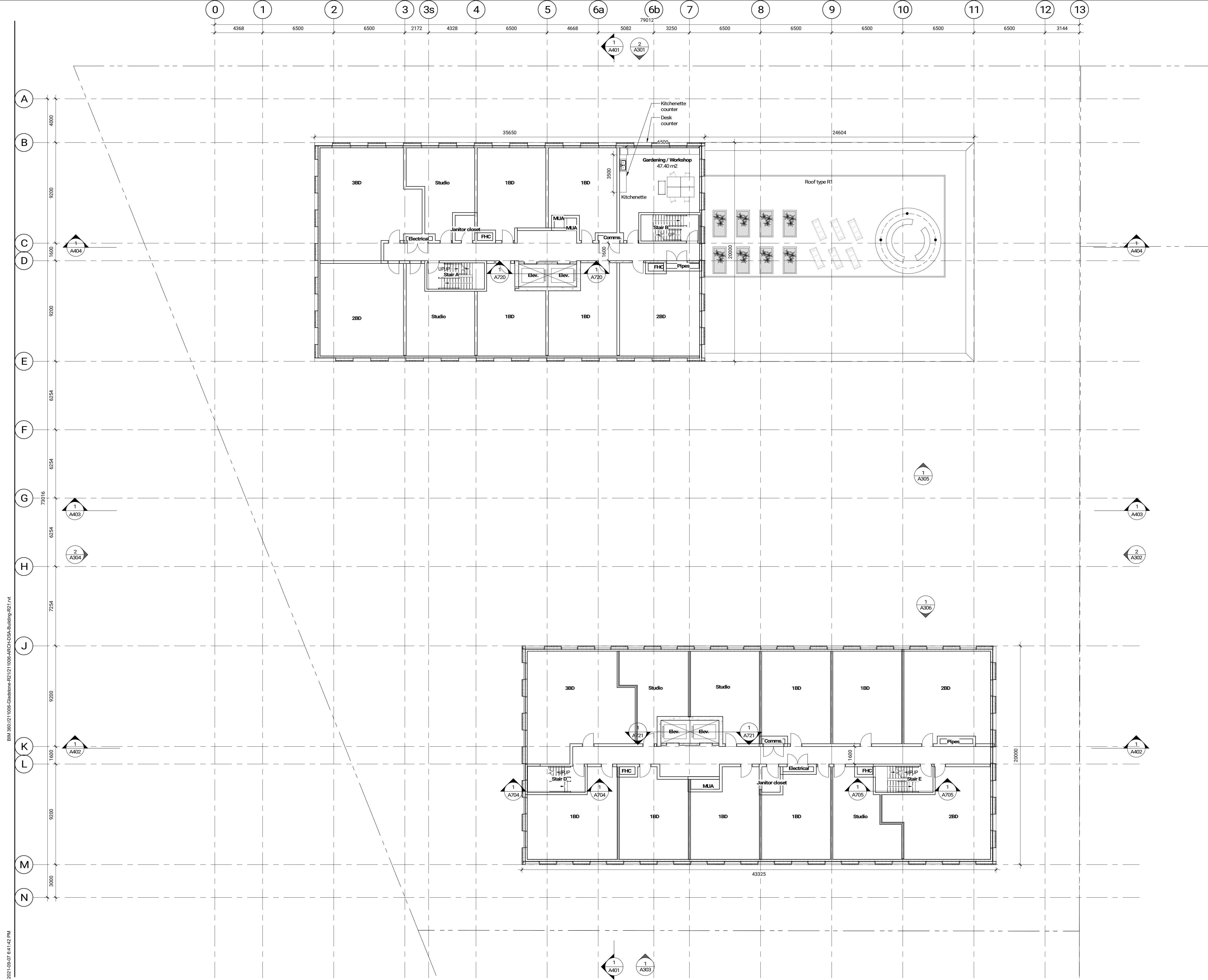
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PHASE 1
 933 Gladstone Avenue - Phase 1
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Level 8 - Floor Plan
 As indicated

A108



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GENERAL NOTES

Plan Symbols

- Sloped Roof Insulation
- Roof Drain
- Floor Drain
- Area Drain
- Hose Bib Location
- Proposed Siamese Connection Location
- Proposed Gas Meter Location
- R.W.L. Rain Water Leader
- Convex Mirror
- Projected Barrier-free unit

ISSUED

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GENERAL NOTES

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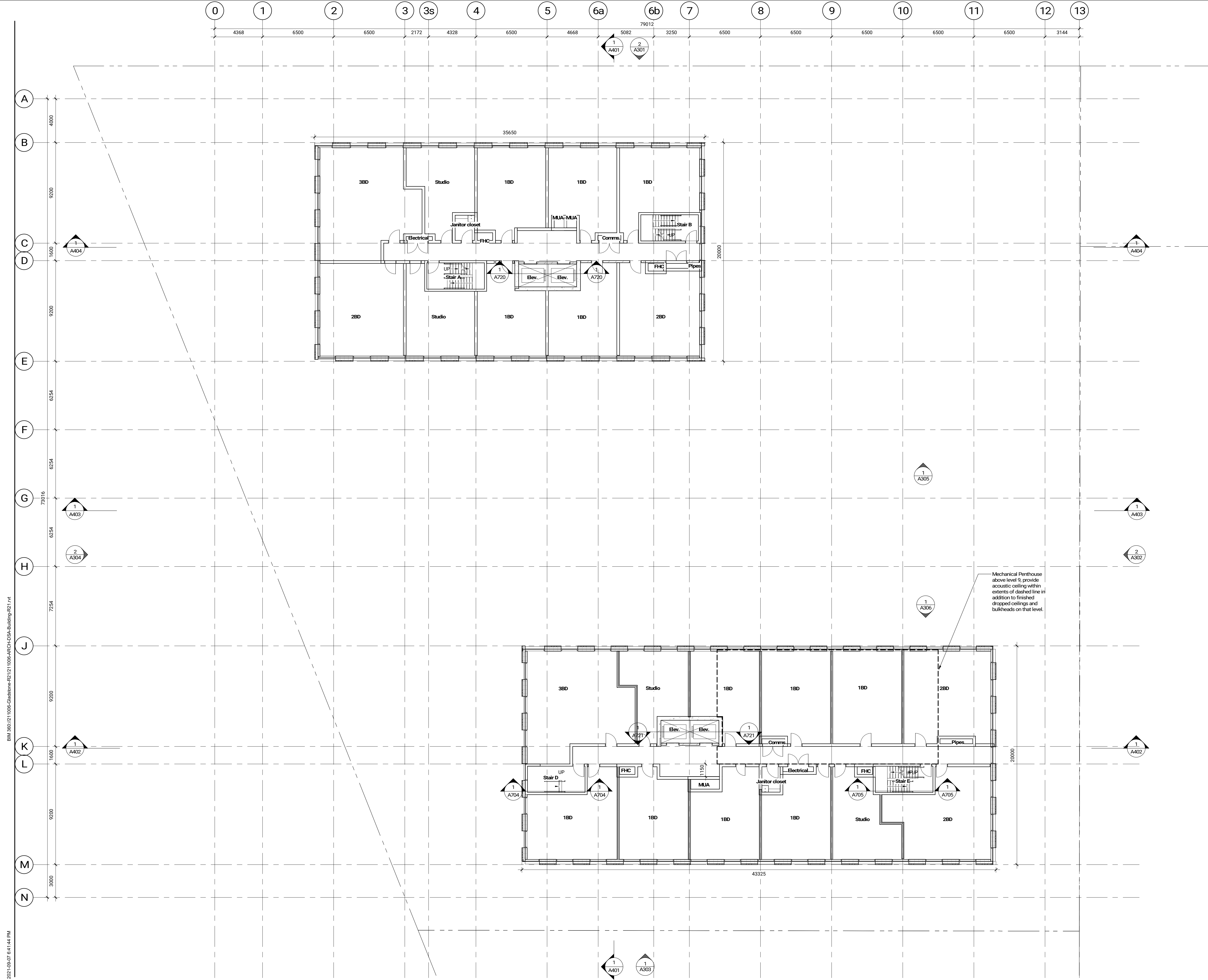
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Level 9 + Up - Floor Plan
 As indicated

A109



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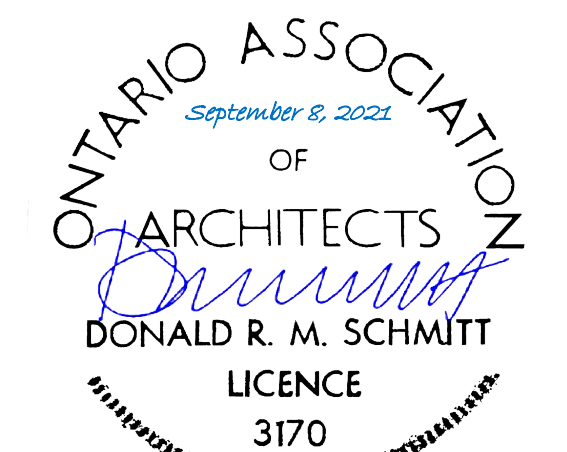
GENERAL NOTES

Plan Symbols

- Sloped Roof Insulation
- Roof Drain
- Floor Drain
- Area Drain
- Hose Bib Location
- Proposed Siamese Connection Location
- Proposed Gas Meter Location
- R.W.L. Rain Water Leader
- Convex Mirror
- Projected Barrier-free unit

ISSUED

No.	Date	Description
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3	06 AUG 2021	ISSUED FOR COSTING ADD. NO. 1
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GENERAL NOTES

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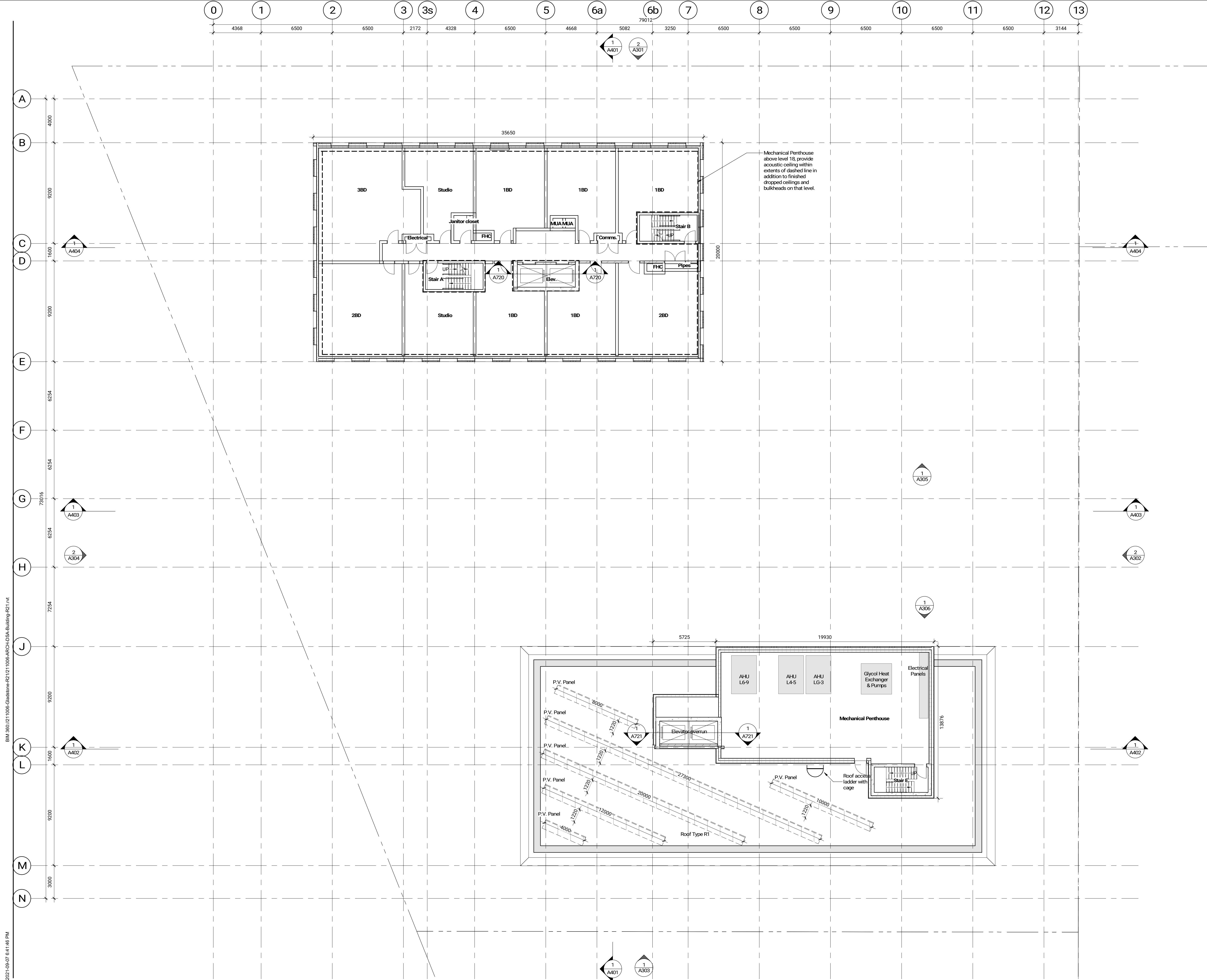
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PHASE 1
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South Penthouse - Floor Plan
 As indicated

A110



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GENERAL NOTES

Plan Symbols

- Sloped Roof Insulation
- Roof Drain
- Floor Drain
- Area Drain
- Hose Bib Location
- Proposed Siamese Connection Location
- Proposed Gas Meter Location
- R.W.L. Rain Water Leader
- Convex Mirror
- Projected Barrier-free unit

ISSUED

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GENERAL NOTES

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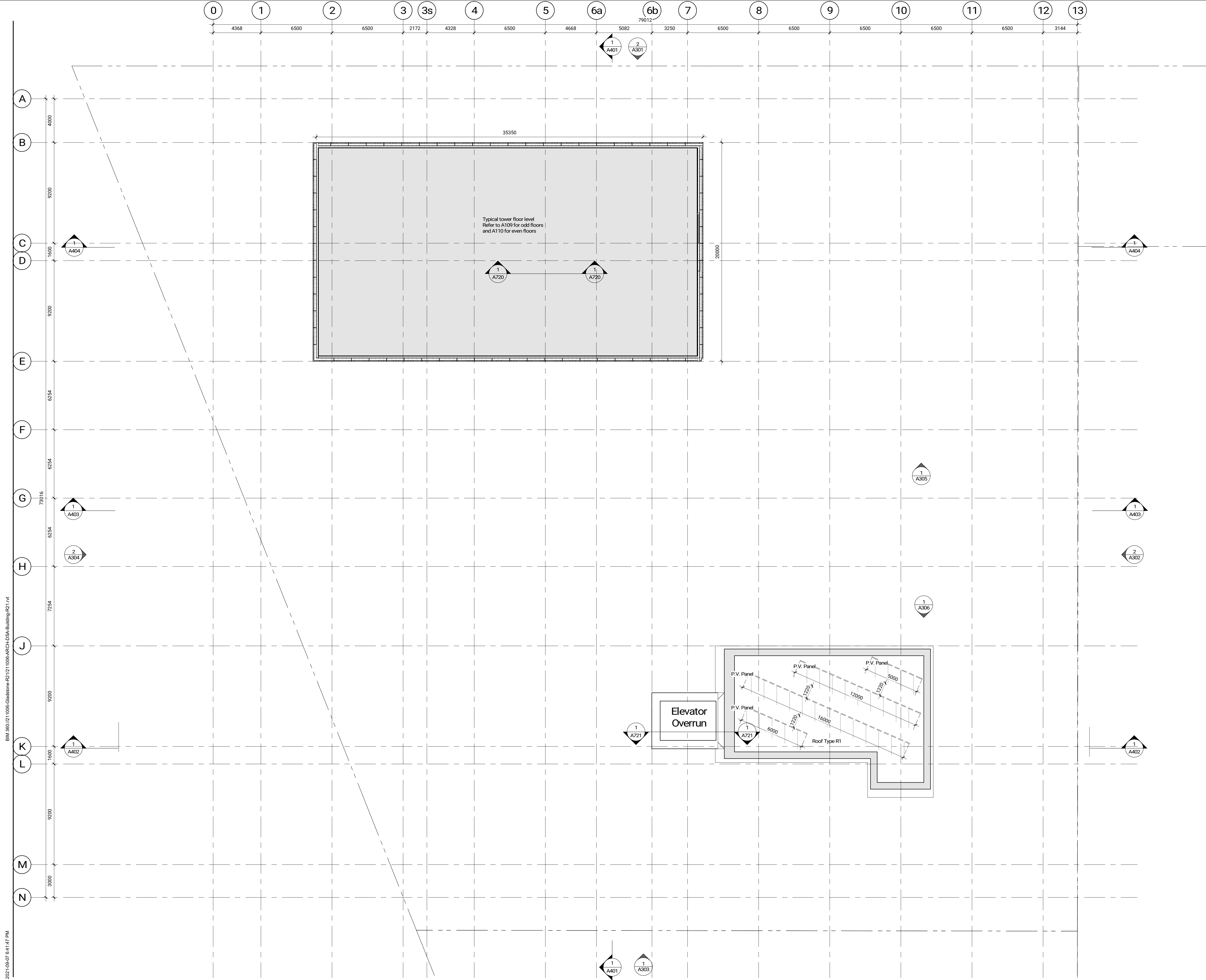
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South Penthouse Roof - Floor Plan
 As indicated

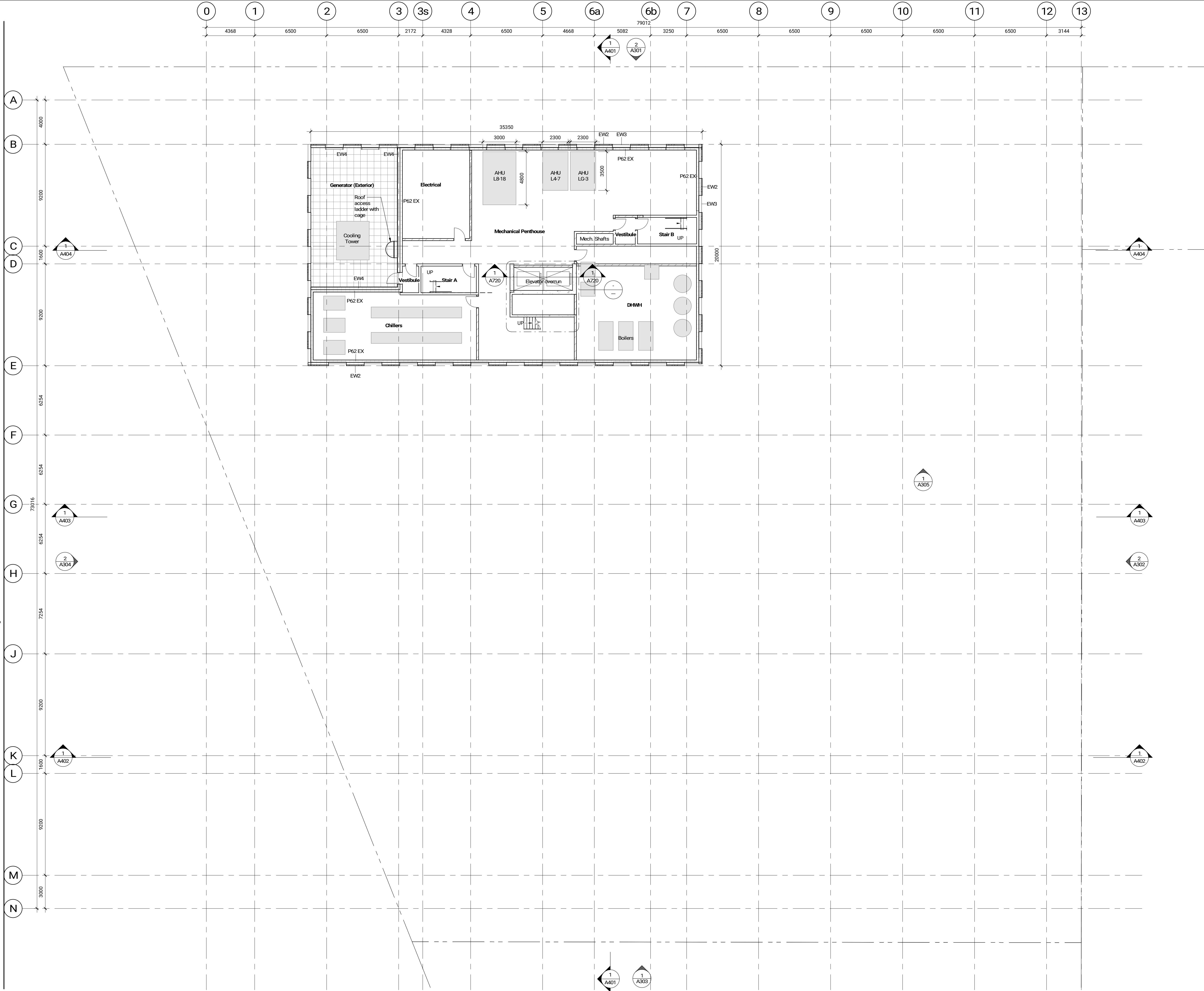
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- GENERAL NOTES**
- Plan Symbols**
- Sloped Roof Insulation
 - Roof Drain
 - Floor Drain
 - Area Drain
 - Hose Bib Location
 - Proposed Siamese Connection Location
 - Proposed Gas Meter Location
 - R.W.L. Rain Water Leader
 - Convex Mirror
 - Projected Barrier-free unit

ISSUED

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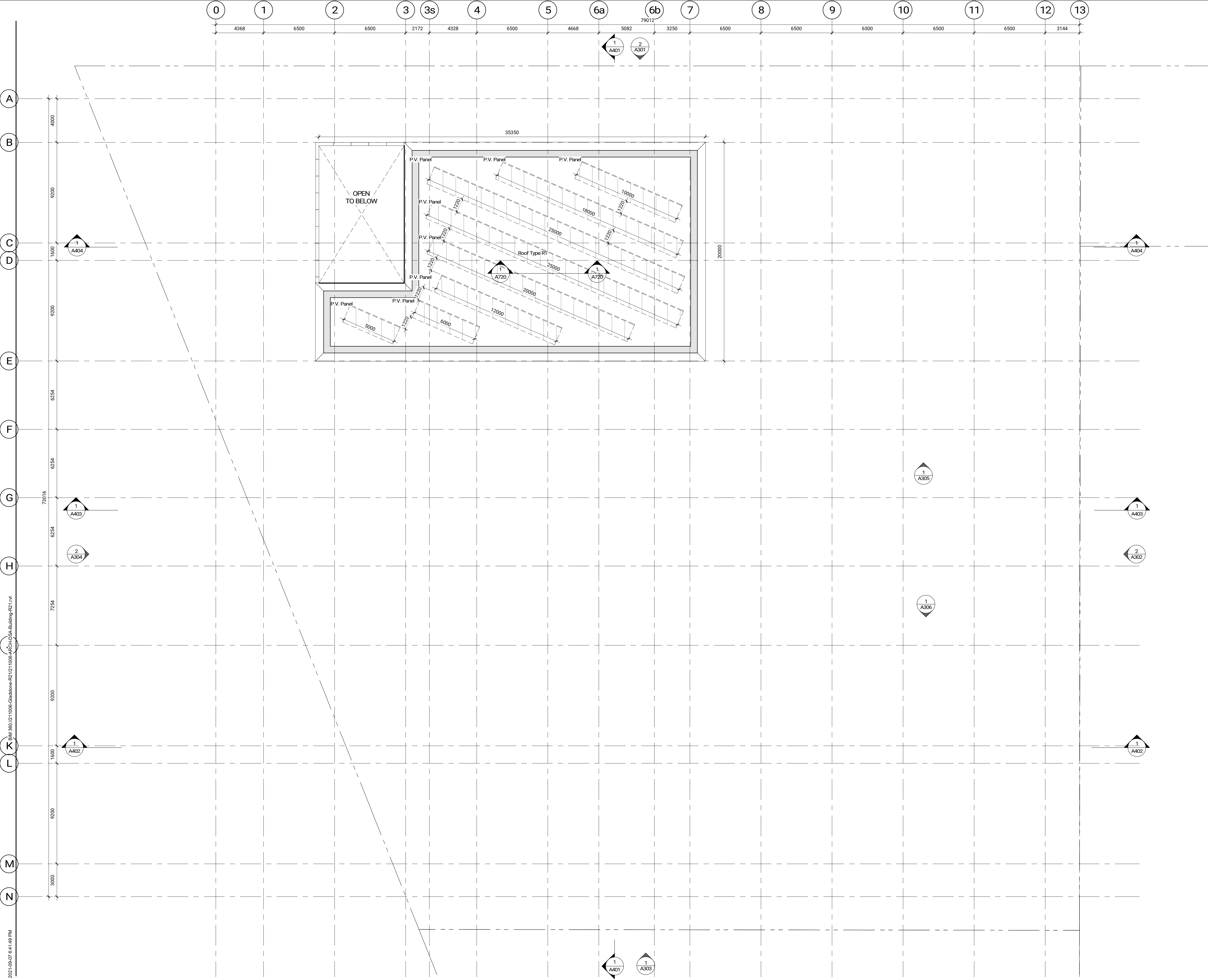
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PHASE 1
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North Penthouse - Floor Plan
 As indicated

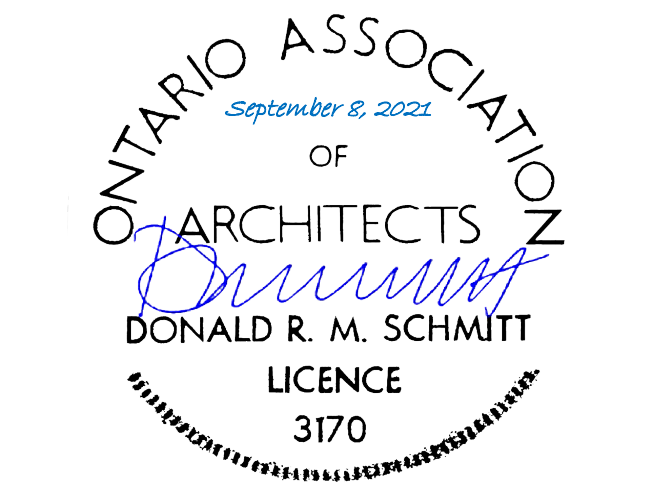
A119



- GENERAL NOTES**
- Plan Symbols**
- Sloped Roof Insulation
 - Roof Drain
 - Floor Drain
 - Area Drain
 - Hose Bib Location
 - Proposed Siamese Connection Location
 - Proposed Gas Meter Location
 - Rain Water Leader
 - Convex Mirror
 - Projected Barrier-free unit

ISSUED

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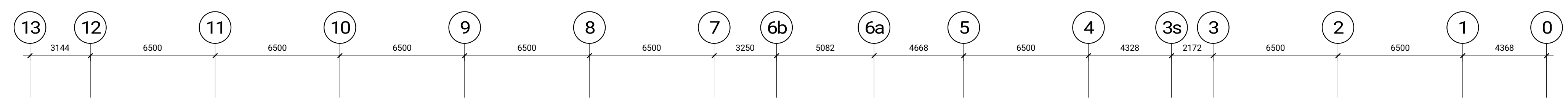
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PHASE 1
 933 Gladstone Avenue - Phase 1
 211006

North Penthouse Roof - Floor Plan
 As indicated

A120

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PROPERTY LINE

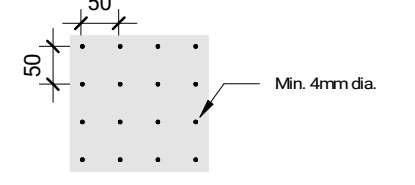


PROPERTY LINE



- Exterior Wall Type 1 - Masonry Cladding
- Exterior Wall Type 2 - Metal Panel Cladding
- Exterior Wall Type 3 - Metal Panel Cladding
- Curtain Wall Type 1 - Triple Glazed Curtain Wall Bird-friendly Frit on Surface #1 to meet Ottawa Bird Friendly Design Guidelines*
- Curtain Wall Type 2 - Triple Glazed Fibreglass Window Clear glazing without frit
- Punched Window Type 1 - Triple Glazed Fibreglass Window Bird-friendly Frit on Surface #1 to meet Ottawa Bird Friendly Design Guidelines*
- Punched Window Type 2 - Triple Glazed Fibreglass Window Clear glazing without frit

*Bird friendly frit pattern to be installed on Surface #1, to meet the layout illustrated below:



ISSUED

No.	Date	Description
1	23 JUL 2021	ISSUED FOR COSTING
2	30 JUL 2021	ISSUED FOR 100% SCHEMATIC DESIGN
4	08 SEP 2021	ISSUED FOR SITE PLAN CONTROL

ALL GLAZING BELOW BLUE DASHED LINE TO MEET CITY OF OTTAWA BIRD FRIENDLY DESIGN GUIDELINES. PLEASE SEE LEGEND FOR GLAZING TYPES W1 & CW1, AS WELL AS FOR TYPICAL FRIT PATTERN TO BE USED IN THESE AREAS.

ORANGE DASHED LINE INDICATES MIN. HEIGHT OF BIRD FRIENDLY GLAZING ABOVE LEVEL 4 ROOF TERRACE.



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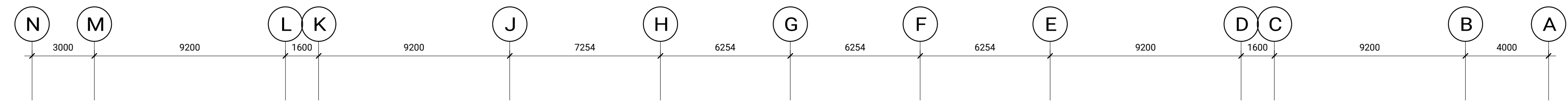
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PHASE 1
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 211006

North Elevation
 As indicated
A301

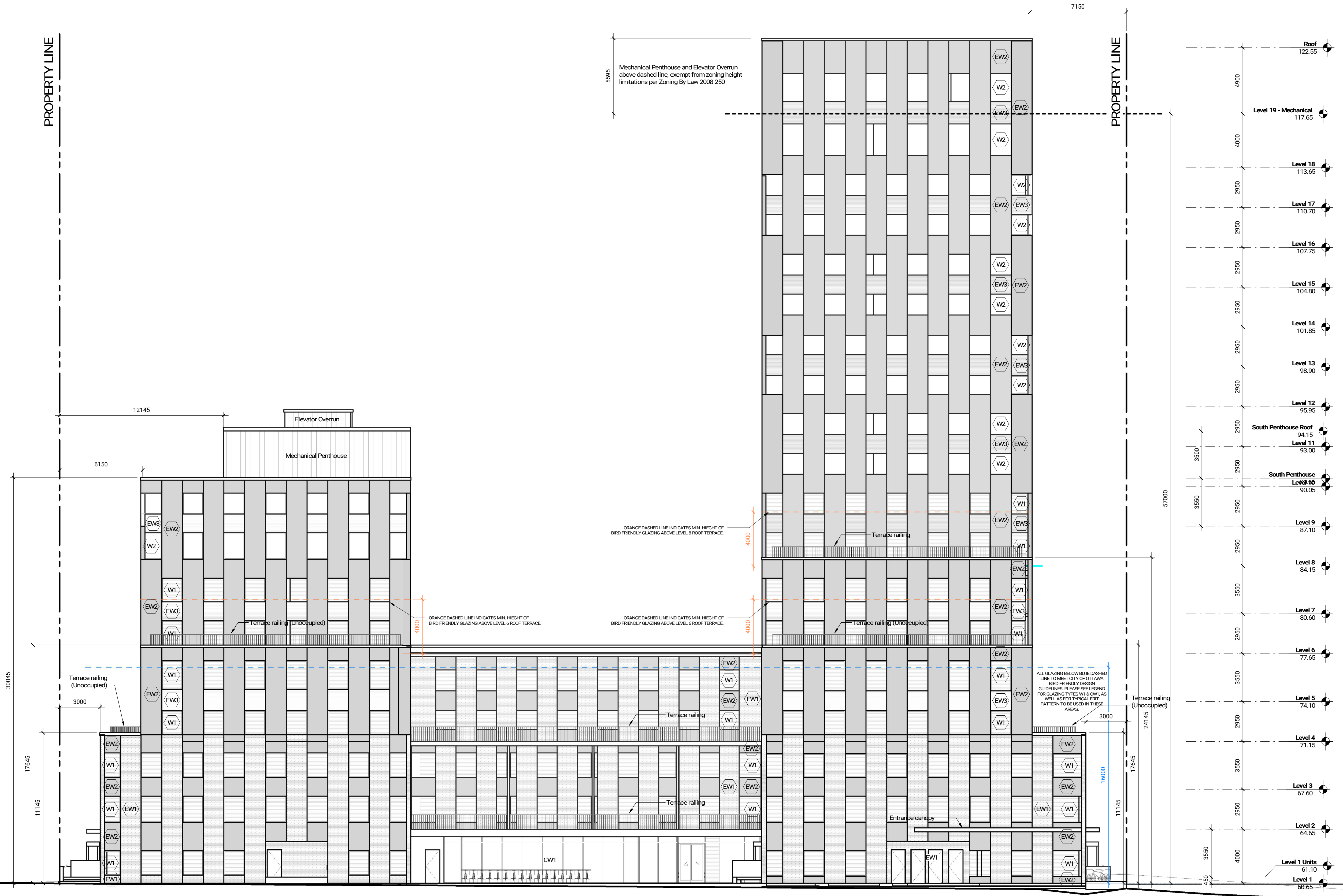
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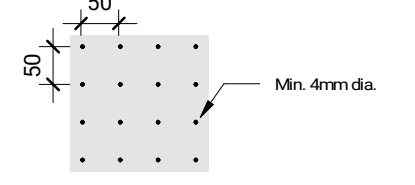
PROPERTY LINE

PROPERTY LINE



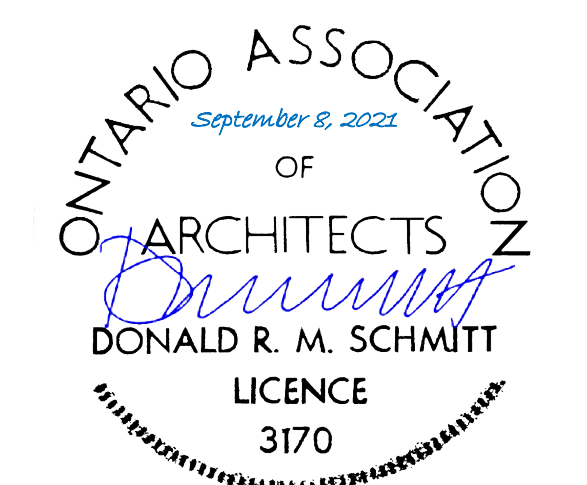
- EW1 Exterior Wall Type 1 - Masonry Cladding
- EW2 Exterior Wall Type 2 - Metal Panel Cladding
- EW3 Exterior Wall Type 3 - Metal Panel Cladding
- CW1 Curtain Wall Type 1 - Triple Glazed Curtain Wall Bird-friendly Frit on Surface #1 to meet Ottawa Bird Friendly Design Guidelines*
- CW2 Curtain Wall Type 2 - Triple Glazed Fibreglass Window Clear glazing without frit
- W1 Punched Window Type 1 - Triple Glazed Fibreglass Window Bird-friendly Frit on Surface #1 to meet Ottawa Bird Friendly Design Guidelines*
- W2 Punched Window Type 2 - Triple Glazed Fibreglass Window Clear glazing without frit

*Bird friendly frit pattern to be installed on Surface #1, to meet the layout illustrated below:



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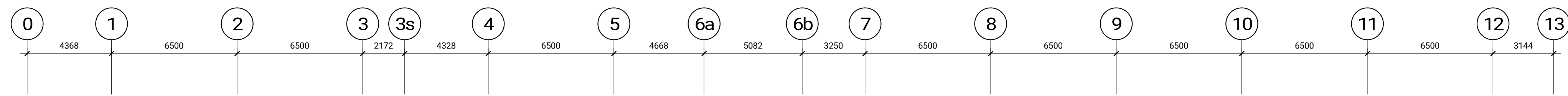
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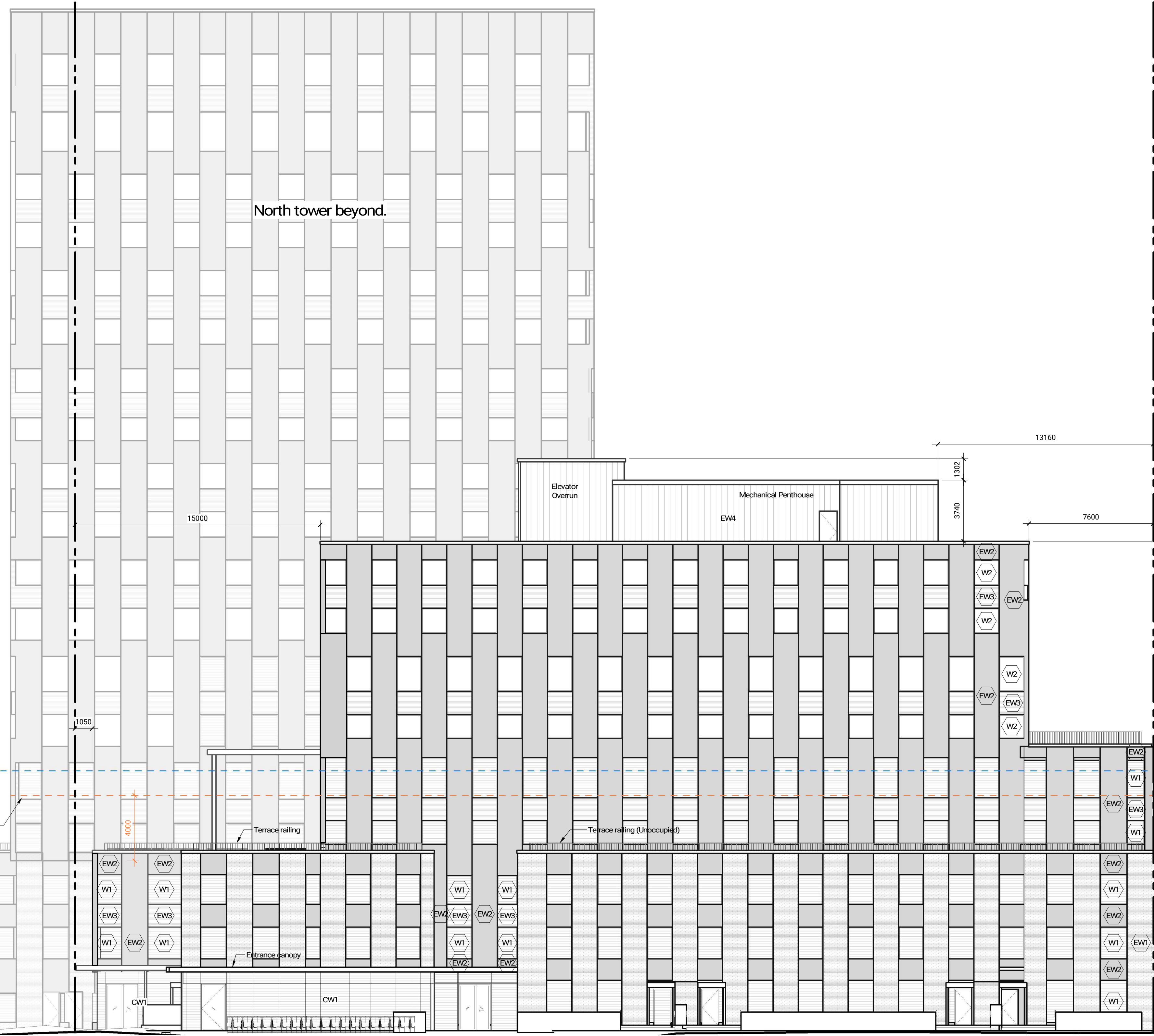
East Elevation
As indicated
A302

BM 360/01 1006-Gladstone-R21211006-ARCH-D&S-Building-R21.04

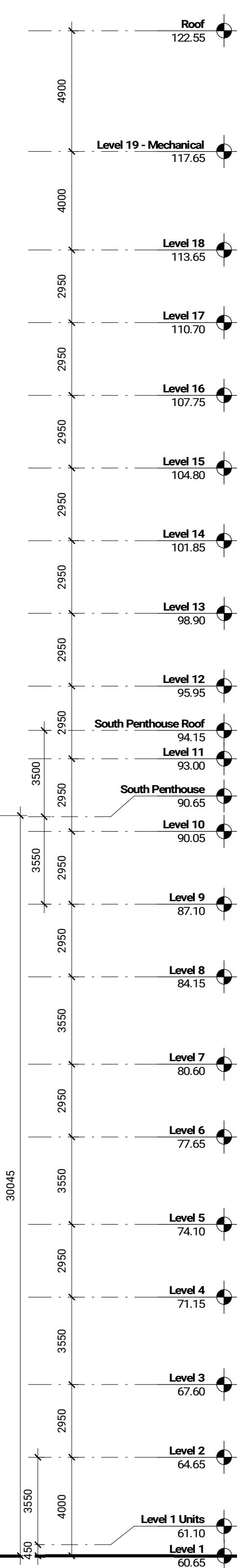
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PROPERTY LINE

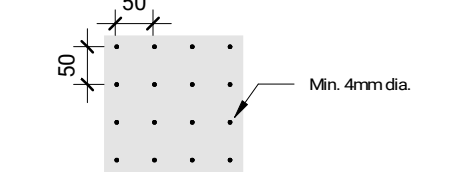


PROPERTY LINE



- EW1 Exterior Wall Type 1 - Masonry Cladding
- EW2 Exterior Wall Type 2 - Metal Panel Cladding
- EW3 Exterior Wall Type 3 - Metal Panel Cladding
- CW1 Curtain Wall Type 1 - Triple Glazed Curtain Wall Bird-friendly Frit on Surface #1 to meet Ottawa Bird Friendly Design Guidelines*
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- W2 Punched Window Type 2 - Triple Glazed Fibreglass Window Clear glazing without frit

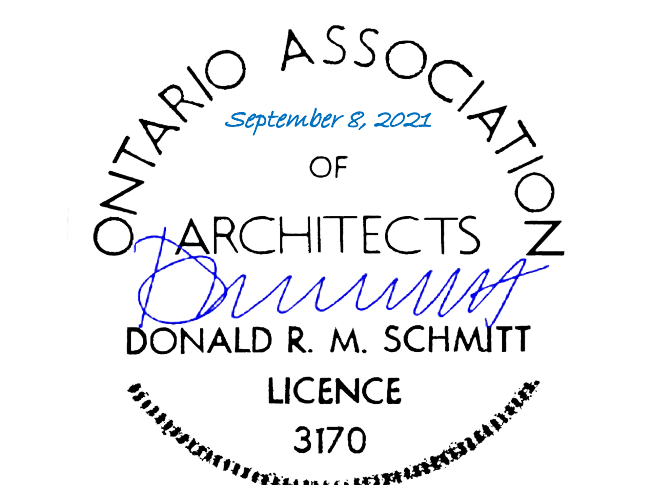
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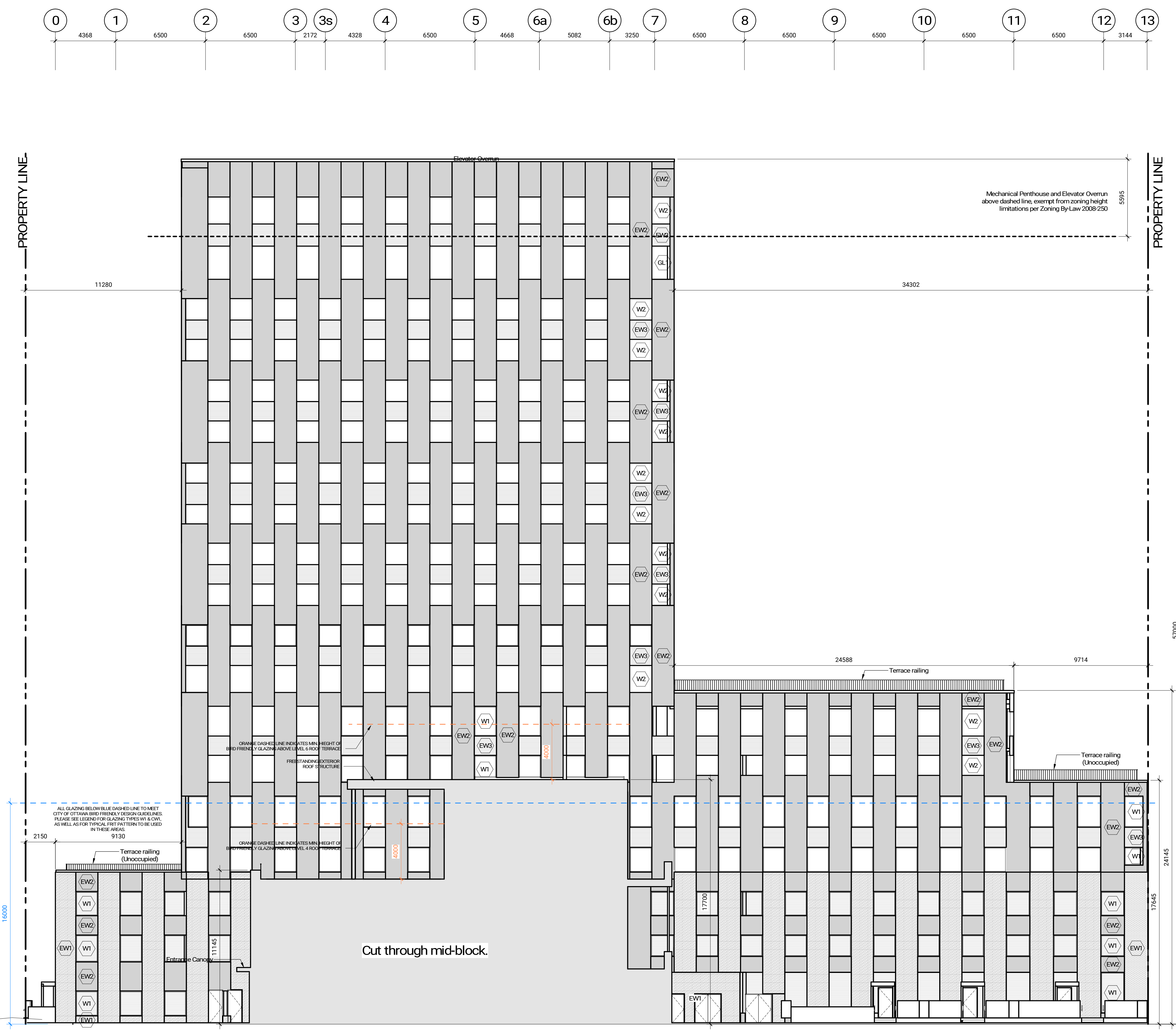
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211006

South Elevation
As indicated
A303

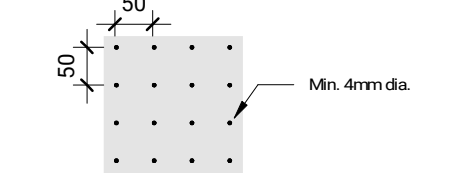
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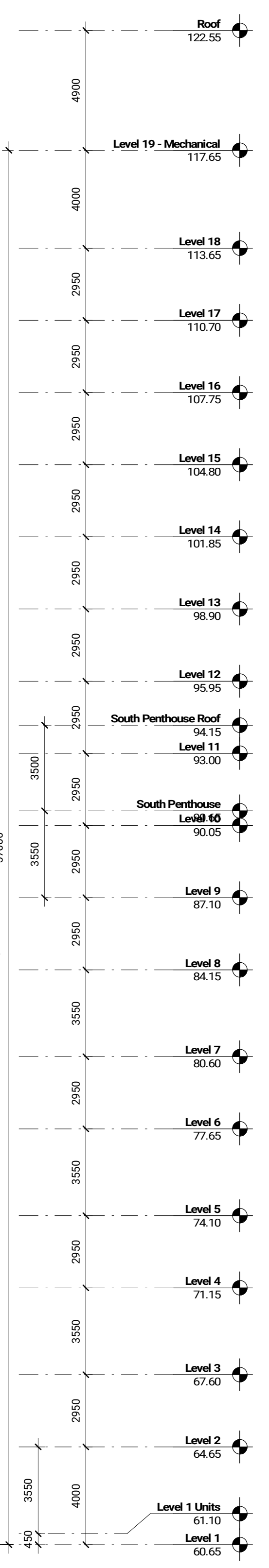
- Exterior Wall Type 1 - Masonry Cladding
- Exterior Wall Type 2 - Metal Panel Cladding
- Exterior Wall Type 3 - Metal Panel Cladding
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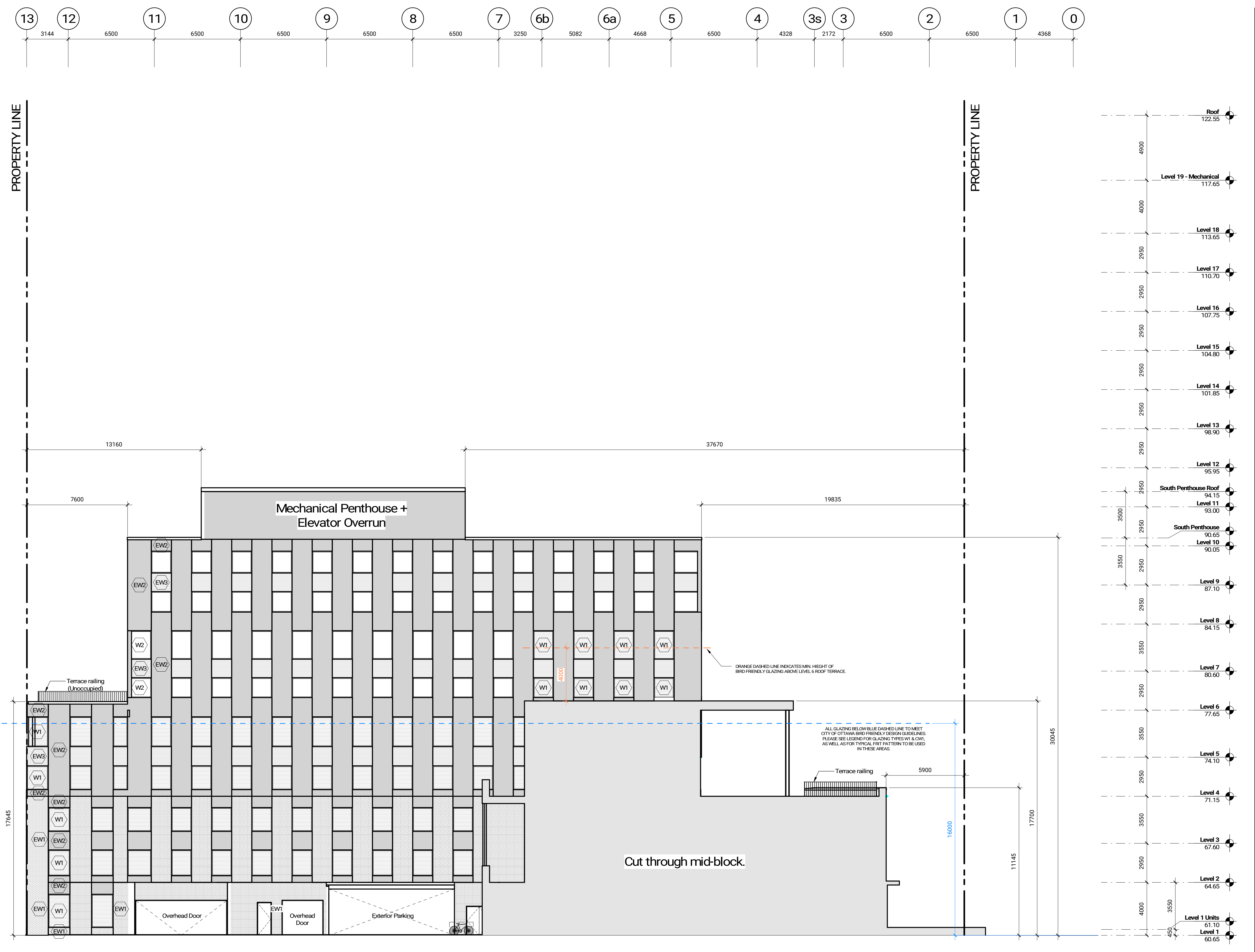


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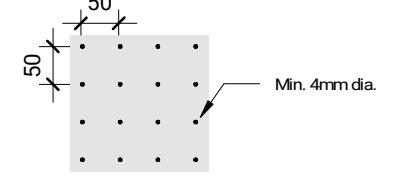
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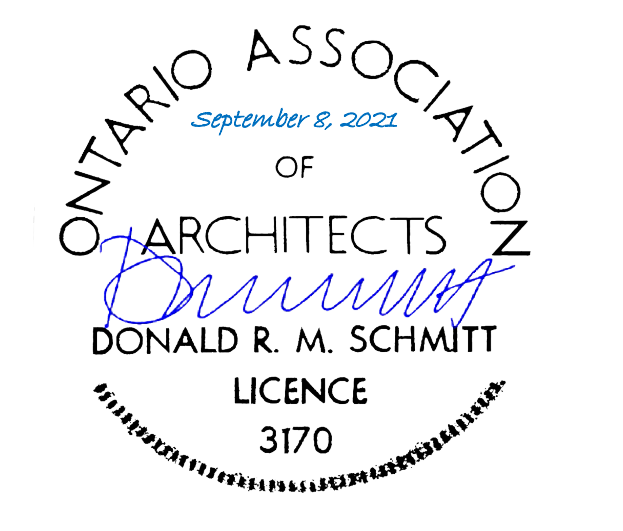
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- CW2 Curtain Wall Type 2 - Triple Glazed Fibreglass Window
Clear glazing without frit
- W1 Punched Window Type 1 - Triple Glazed Fibreglass Window
Bird-friendly frit on Surface #1 to meet Ottawa Bird Friendly Design Guidelines*
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Rebate Elevations
As indicated
A306



View from Street A looking North



View from Oak Street looking West



View from Bridge on Laurel looking West



View from Plouffe Park / City Park looking South

ISSUED

No.	Date	Description
2	30 JUL 2021	ISSUED FOR 100% SCHEMATIC DESIGN
4	08 SEP 2021	ISSUED FOR SITE PLAN CONTROL

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Renderings

A391