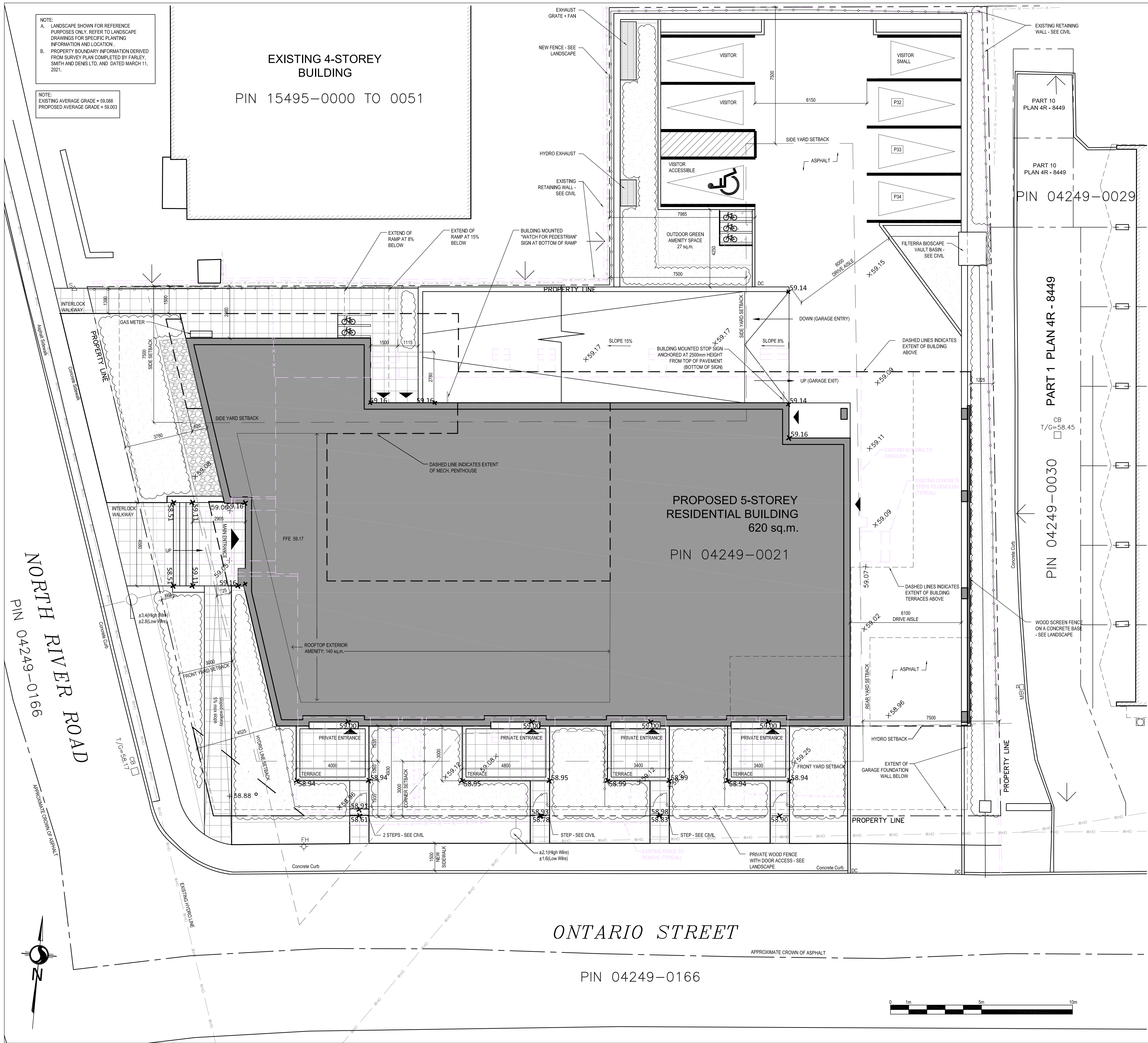


NOTE:
A. LANDSCAPE SHOWN FOR REFERENCE PURPOSES ONLY. REFER TO LANDSCAPE DRAWINGS FOR SPECIFIC PLANTING INFORMATION AND LOCATION.
B. PROPERTY BOUNDARY INFORMATION DERIVED FROM SURVEY PLAN COMPLETED BY FARLEY, SMITH AND DENIS LTD. AND DATED MARCH 11, 2021.

NOTE:
EXISTING AVERAGE GRADE = 59.088
PROPOSED AVERAGE GRADE = 59.003

EXISTING 4-STORY BUILDING
PIN 15495-0000 TO 0051



KEY PLAN

PROPERTY DESCRIPTION

FIVE STOREY RESIDENTIAL BUILDING
CITY OF OTTAWA PIN NUMBER: 04249-0021
MUNICIPAL ADDRESS: 949 North River Road

SITE INFORMATION

LOT AREA: 1673.53sq.m
LOT FRONTAGE: 73.28m (corner lot)
LOT DEPTH: 43.30m (E to W) and 44.45m (N to S)

BUILDING INFORMATION

BUILDING AREA: 620 sq.m
BUILDING FLOOR AREA: +/-5400 sq.m
PROPOSED USE: APARTMENT DWELLING, MID-RISE

UNIT BREAKDOWN:

FLOOR	UNITS	UNIT MIX
FIRST FLOOR:	5 UNITS	2 X 1B, 0 X 1BD, 2 X 2B, 1 X 2BD
SECOND FLOOR:	11 UNITS	6 X 1B, 2 X 1BD, 3 X 2B
THIRD FLOOR:	11 UNITS	6 X 1B, 2 X 1BD, 3 X 2B
FOURTH FLOOR:	10 UNITS	4 X 1B, 2 X 1BD, 3 X 2B, 1 X 2BD
FIFTH FLOOR:	8 UNITS	2 X 1B, 3 X 1BD, 1 X 2B, 1 X 2BD, 1 X 3B
TOTAL:	45 UNITS	20 X 1B, 9 X 1BD, 12 X 2B, 3 X 2BD, 1 X 3B

ZONING TABLE

CITY OF OTTAWA ZONING BY-LAW No. 2008-250	REQUIRED	PROPOSED
MINIMUM LOT AREA	675sq.m	1673.53sq.m
MINIMUM LOT WIDTH	22.5m	44.45m
MINIMUM FRONT YARD SETBACK (N RIVER ROAD)	3m	4.92m
MINIMUM CORNER SIDE YARD SETBACK (ONTARIO ST)	3m	4.5m
MINIMUM INTERIOR SIDE YARD SETBACK (TO THE N)	7.5m (ABUTTING A R4 ZONE)	1.5m
MINIMUM REAR YARD SETBACK (TO THE E)	25% LOT DEPTH, NOT EXCEEDING 7.5m	1.23m
MAXIMUM BUILDING HEIGHT	18m	17.2m
HYDRO SETBACK	6m	6m
MAXIMUM FLOOR SPACE INDEX	N/A	
GLAZING REQUIREMENTS	25% OF FRONT FACADE, 15% OF CORNER FACADE	FRONT : 35% CORNER: 32%
VEHICLE PARKING REQUIREMENTS (AREA Y, SCHEDULE 1A)	0 parking spaces for first 12 units Table 101 - Dwelling mid-high rise apartment: 0.5 per dwelling unit = 17 SPACES	34 SPACES TOTAL (1 ACCESSIBLE)
VISITOR PARKING REQUIREMENTS (AREA Y, SCHEDULE 1A)	0 parking spaces for first 12 units Table 102 - Apartment dwelling, low-rise or mid-high rise: 0.1 per dwelling unit = 4 SPACES	4 SPACES (1 ACCESSIBLE)
PARKING AREA AND SURROUNDING LANDSCAPING	30% MIN OF 1673.5sq.m = 502.10sq.m	31.6% = 529sq.m
AMENITY AREA REQUIREMENTS	Table 137 - Apartment building, mid-high rise: 65sq.m per dwelling unit = 276sq.m 50% Communal = 138sq.m	- COMMUNAL : 167sq.m - ROOFTOP + REAR SPACE - PRIVATE: 272 sq.m - TERRACES + BALCONIES - TOTAL = 439 sq.m
BICYCLE PARKING SPACES	Table 111A - Apartment dwelling, mid-rise: 0.5 per dwelling unit = 23	36 INTERIOR STORAGE SPACES AND 5 EXTERIOR SPOTS

No. Date Emis pour / Object

1	2021.09.22	SITE PLAN CONTROL
2	2022.01.19	COORDINATION - REVIEW 1
3	2022.01.28	COORDINATION
4	2022.02.02	FINAL COORDINATION
5	2022.02.16	FINAL COORDINATION R1
6	2022.03.03	SITE PLAN CONTROL - R1

Ingenieur / Engineer (Mechanical & Electrical) / Mécanicien / Electricien (Mécanique & Électrique)

Ingenieur / Engineer (Structural) / Structureur / Structeur

Architecte / Architect (Landscape) / Paysagiste / Paysagiste

Gino J. Aiello landscape architect www.GJALA.com
gino@GJALA.com (613) 832-1242
110 Didsbury Road Unit #9 | Ottawa Ontario | K2T0C2

Ingenieur / Engineer (Civil) / Civilier / Civil

McINTOSH PERRY

Client / Client

Architecte / Architect Collectif d'architectes / Architects Collective

Fig. 1
2000, Saint-Antoine O. Montreal QC H4C 1A9 T. 514 864-9122

Fig. 2
190 Somerset St W #208 Ottawa ON K2P 0A4 T. 613 654-9122

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Scale / Échelle

ONTARIO ASSOCIATION OF ARCHITECTS
ROBERTO CAMPOS
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Project / Projet

5 STOREY APARTMENT BUILDING

949 NORTH RIVER ROAD

Title / Titre

SITE PLAN

Dessiné par / Drawn by: GCG, SC
No. projet / Project number: 2121

Vérifié par / Verified by: RC
No. dessin / Drawing number: Révisé / Revision: AS SHOWN

Date de création du dessin / Drawing creation date: 2020615

A105

NORTH RIVER ROAD
PIN 04249-0166

ONTARIO STREET

PIN 04249-0166

