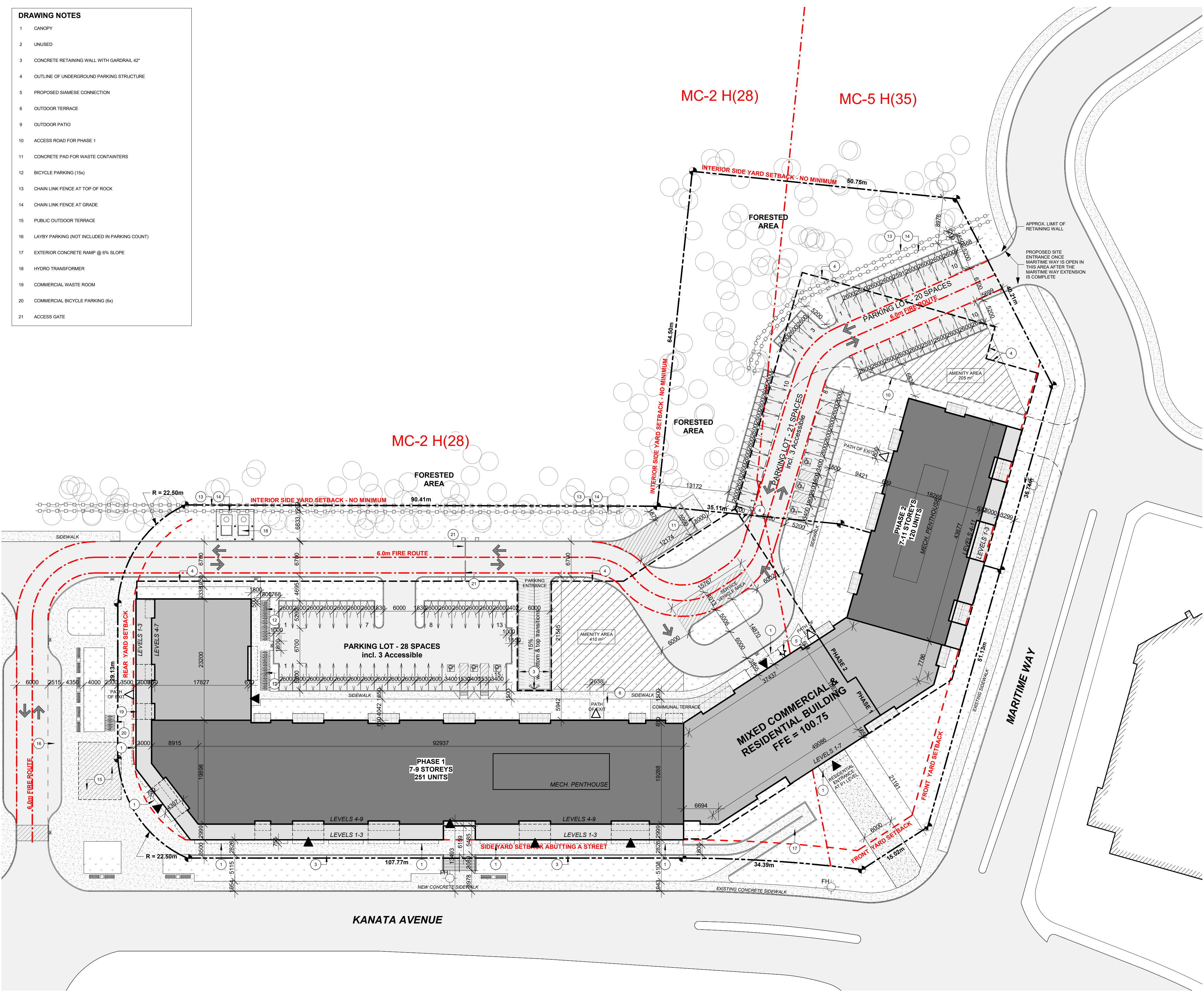


NOT FOR CONSTRUCTION

- DRAWING NOTES**
- CANOPY
 - UNUSED
 - CONCRETE RETAINING WALL WITH GARDRAIL 42"
 - OUTLINE OF UNDERGROUND PARKING STRUCTURE
 - PROPOSED SIAMSE CONNECTION
 - OUTDOOR TERRACE
 - OUTDOOR PATIO
 - ACCESS ROAD FOR PHASE 1
 - CONCRETE PAD FOR WASTE CONTAINERS
 - BICYCLE PARKING (15x)
 - CHAIN LINK FENCE AT TOP OF ROCK
 - CHAIN LINK FENCE AT GRADE
 - PUBLIC OUTDOOR TERRACE
 - LAYBY PARKING (NOT INCLUDED IN PARKING COUNT)
 - EXTERIOR CONCRETE RAMP @ 6% SLOPE
 - HYDRO TRANSFORMER
 - COMMERCIAL WASTE ROOM
 - COMMERCIAL BICYCLE PARKING (6x)
 - ACCESS GATE



- LEGEND**
- SURFACES**
- GRASS
 - RIVERSTONE
 - CONCRETE PAVERS
 - POURED CONCRETE
 - ASPHALT PAVING
 - PROPOSED NEW BUILDING
 - EXISTING BUILDING TO REMAIN
 - EXISTING BUILDING TO BE DEMOLISHED
- LINES**
- PROPERTY LINE
 - SETBACK LINE
 - EXISTING FENCE
 - NEW FENCE
 - OVERHEAD WIRES
- VEGETATION**
- TREE: EXISTING TO REMAIN
 - TREE: EXISTING TO BE REMOVED
 - TREE: NEW PROPOSED
 - SHRUB: NEW PROPOSED
- SYMBOLS**
- DIRECTIONAL ARROWS
 - BUILDING ACCESS
 - BUILDING EGRESS
 - SIAMSE CONNECTION
 - UTILITY POLE
 - FIRE HYDRANT
 - CATCH BASIN / MANHOLE
 - DEPRESSED CURB
 - LANDSCAPE LIGHT
 - LIGHT POLE
 - WALL MOUNTED LIGHT
 - EXISTING GRADE ELEVATION
 - PROPOSED GRADE ELEVATION
 - LOT CORNERS
- PARKING**
- BIKE PARKING: H. HORIZONTAL 0.6M x 1.8M; V. VERTICAL 0.5M x 1.5M; S. STACKED 0.37M x 1.8M
 - CAR PARKING: R. RESIDENTIAL; V. VISITOR
 - BF PARKING: R. RESIDENTIAL; V. VISITOR
 - BF PARKING (TYPE A): R. RESIDENTIAL; V. VISITOR
 - BF PARKING (TYPE B): R. RESIDENTIAL; V. VISITOR

GENERAL NOTES

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NOTE-B: ALL GENERAL SITE INFORMATION AND CONDITIONS HAVE BEEN COMPILED FROM EXISTING PLANS AND SURVEYS.

NOTE-C: CONTRACTOR IS RESPONSIBLE TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ALL ERRORS AND / OR OMISSIONS TO THE ARCHITECT.

NOTE-D: REFER TO LANDSCAPE PLAN FOR ALL EXTERIOR LANDSCAPING.

NOTE-E: DO NOT SCALE DRAWINGS.

NOTE-F: ALL CONTRACTORS MUST COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS.

SURVEY INFO

TOPOGRAPHIC SURVEY OF:
PART OF LOTS 2 & 3 - CONCESSION 2
GEOGRAPHIC TOWNSHIP OF MARCH
CITY OF OTTAWA
REGISTERED PLAN V-13593

PREPARED BY ANNIS, O'SULLIVAN VOLLEBEK LTD.
GRAPHIC SCALE

PROJECT INFORMATION

SITE SUMMARY

ADDRESS: 150 KANATA AVENUE
CURRENT ZONING: MC-2 AND MC-5
SITE AREA: 15720.00 m²
PROPOSED USE: MIXED USE RESIDENTIAL
BUILDING AREA: 4716.00 m²

ZONING STANDARD	PROJECT INFORMATION		REQUIRED	PROVIDED
	MC-2	MC-5		
LOT AREA	-	-	-	± 15720 m ²
TOTAL ZONING GFA	-	-	-	29286.25 m ²
FSI (MAX)	2	2	2	1.86
BUILDING HEIGHT	28 m	35 m	27.9 m & 33.7 m	-
Front Yard Setback (MIN. / MAX.)	0 m / 3.5 m	0 m / 3.5 m	3.5 m	-
Corner Side Yard Setback (MIN. / MAX.)	0 m / 3.5 m	0 m / 3.5 m	3.5 m	-
Rear Yard Setback (MIN. / MAX.)	0 m / 3.5 m	6 m	3.5 m	-
Surface Parking Front & Corner Yard Setback	10 m	10 m	13.17 m	-
FSI Non-Residential (MIN. / MAX.)	-	0.75 (3 794 m ²)	0	-
GFA Non-Residential (MIN. / MAX.)	1570.50 m ²	-	1 389.40 m ²	-
Amenity Space (min 6m ² per unit)	2316.00 m ²	-	3696.05 m ²	-
Communal amenity (min 50%)	1158.00 m ²	-	1272.50 m ²	-
LOT COVERAGE (MAX)	-	-	4716.00 m ²	-
LANDSCAPED AREA	-	-	6076.0 m ²	-
Soft Landscaping	-	-	5357.00 m ²	-
Hard Landscaping	-	-	1321.00 m ²	-
ASPHALT AREA	-	-	3238.00 m ²	-

BUILDING STATISTICS		
	QTY.	SQ.M.
NON-RESIDENTIAL		
Retail	-	1 107.80
Cafe	-	281.60
RESIDENTIAL		
1 bedroom	204 (55%)	-
1 bedroom + den	52 (14%)	-
2 bedrooms	100 (27%)	-
3 bedrooms	15 (4%)	-
TOTAL	371	-
Barrier-free units (15% x 386 units required)	56 (15%)	-
COMMUNAL AMENITY SPACE		
Outdoor amenity space at grade	-	615
Outdoor communal terrace	-	66
Gym	-	79.5
Pool	-	184
Relaxation / Luminothérapie	-	23
Lounge & bar	-	80
Billiard Room	-	60
Golf Simulator	-	30
Darts / Poker Room	-	20
Family Room w/ Kitchen	-	60
Entry Lounge	-	30
Library	-	25
PRIVATE AMENITY SPACE		
Balconies / terraces	-	2,867

PARKING STATISTICS			
DEDICATION (LOCATION)	RATE	REQUIRED	PROVIDED
APARTMENTS - RESIDENTS (U/G)	1.0	371	371
APARTMENTS - VISITORS (U/G & AT GRADE)	0.2	64	64
NON-RESIDENTIAL (AT GRADE)			
Cafe	5 / 100 m ²	14	14
Retail	1.25 / 100 m ²	14	14
TOTAL		473	473
BICYCLE SPACES	0.5 per unit + 1,250m ² (retail)	186 + 6 = 192	192

DRIVE AISLE & BICYCLE REQUIREMENTS		
TYPE	REQUIRED	COMPLIANCE
Drive Aisle - Two way at grade	6.7 m	YES
Drive Aisle - Two way at parking garage	6.0 m	YES
Bicycle Parking - Horizontal	0.6 x 1.8m & 1.5m aisle	YES
Bicycle Parking - Vertical	0.50 x 1.5m & 1.5m aisle	YES

WASTE MANAGEMENT CONTAINERS		
TYPE	REQUIRED	PROVIDED
Garbage	10 x 4 yard bins	YES
Fiber	3 x 4 yard bins	YES
Glass metal plastic	2 x 3 yard bins	YES
Organics	7 x 240L carts	YES

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PROJECT TEAM / ÉQUIPE DU PROJET :

KEY PLAN / PLAN CLÉ :

CLIENT :



1.1	SPC SUB #2	22-03-22
1.0	SPC SUB #1	21-09-22
revision	description	date

PROJECT NAME / NOM DU PROJET :

EMD KANATA

DRAWING NAME / NOM DU DESSIN :

SITE PLAN

DRAWING INFORMATION / INFORMATION DU DESSIN :

PROJECT NO. / NO. DE PROJET : **21019**
DATE : **01/14/22**
DRAWN BY / DESSINÉ PAR : **Author**
REVIEWED BY / VÉRIFIÉ PAR : **Checker**
SCALE / ÉCHELLE : **As indicated**
PROJECT PHASE / PHASE DU PROJET : **1**
DWG NO. / NO. DESSIN : **A002**
REVISION NO. / NO. DE RÉVISION : **1.1**
#18063

NOT FOR CONSTRUCTION

GENERAL NOTES
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■ COMMERCIAL	■ STAIR
■ RESIDENTIAL	■ ELEVATOR
■ AMENITY	■ PARKING
■ VESTIBULE	■ BUILDING SERVICES
■ CORRIDORS	■ STORAGE
■ ELEVATOR LOBBY	

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PROJECT TEAM / ÉQUIPE DU PROJET :

DRAWING NOTES

KEY PLAN / PLAN CLÉ :

CLIENT :



1.1	SPC SUB #2	22-03-22
1.0	SPC SUB #1	21-09-22
revision	description	date

PROJECT NAME / NOME DU PROJET :

EMD KANATA

DRAWING NAME / NOM DU DESSIN :
UNDERGROUND PARKING P2

DRAWING INFORMATION / INFORMATION DU DESSIN :

PROJECT NO. / NO. DE PROJET :	21019
DATE :	07/13/21
DRAWN BY / DESSINÉ PAR :	JDL
REVIEWED BY / VÉRIFIÉ PAR :	ÉS
SCALE / ÉCHELLE :	As indicated
PROJECT PHASE / PHASE DU PROJET :	1
DWG NO. / NO. DESSIN :	A101

REVISION NO. / NO. DE RÉVISION : 1.1 #18063



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- | | |
|--|---|
| COMMERCIAL | STAIR |
| RESIDENTIAL | ELEVATOR |
| AMENITY | PARKING |
| VESTIBULE | BUILDING SERVICES |
| CORRIDORS | STORAGE |
| ELEVATOR LOBBY | |

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PROJECT TEAM / ÉQUIPE DU PROJET :

KEY PLAN / PLAN CLÉ :

CLIENT :



1.1	SPC SUB #2	22-03-22
1.0	SPC SUB #1	21-09-22
revision	description	date

PROJECT NAME / NOM DU PROJET :

EMD KANATA

DRAWING NAME / NOM DU DESSIN :
UNDERGROUND PARKING P1

DRAWING INFORMATION / INFORMATION DU DESSIN :

PROJECT NO. / NO. DE PROJET :	21019
DATE :	07/13/21
DRAWN BY / DESSINÉ PAR :	JDL
REVIEWED BY / VÉRIFIÉ PAR :	ÉS
SCALE / ÉCHELLE :	As indicated
PROJECT PHASE / PHASE DU PROJET :	1
DWG NO. / NO. DESSIN :	A102

REVISION NO. / NO. DE RÉVISION : 1.1 #18063



2 P1 PARKING PLAN - PHASE 1
1 : 300

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- COMMERCIAL
- RESIDENTIAL
- AMENITY
- VESTIBULE
- CORRIDORS
- ELEVATOR LOBBY
- STAIR
- ELEVATOR
- BUILDING SERVICES
- STORAGE

DRAWING NOTES

KEY PLAN / PLAN CLÉ :

CLIENT :



1.1	SPC SUB #2	22-03-22
1.0	SPC SUB #1	21-09-22
revision	description	date

PROJECT NAME / NOM DU PROJET :

EMD KANATA

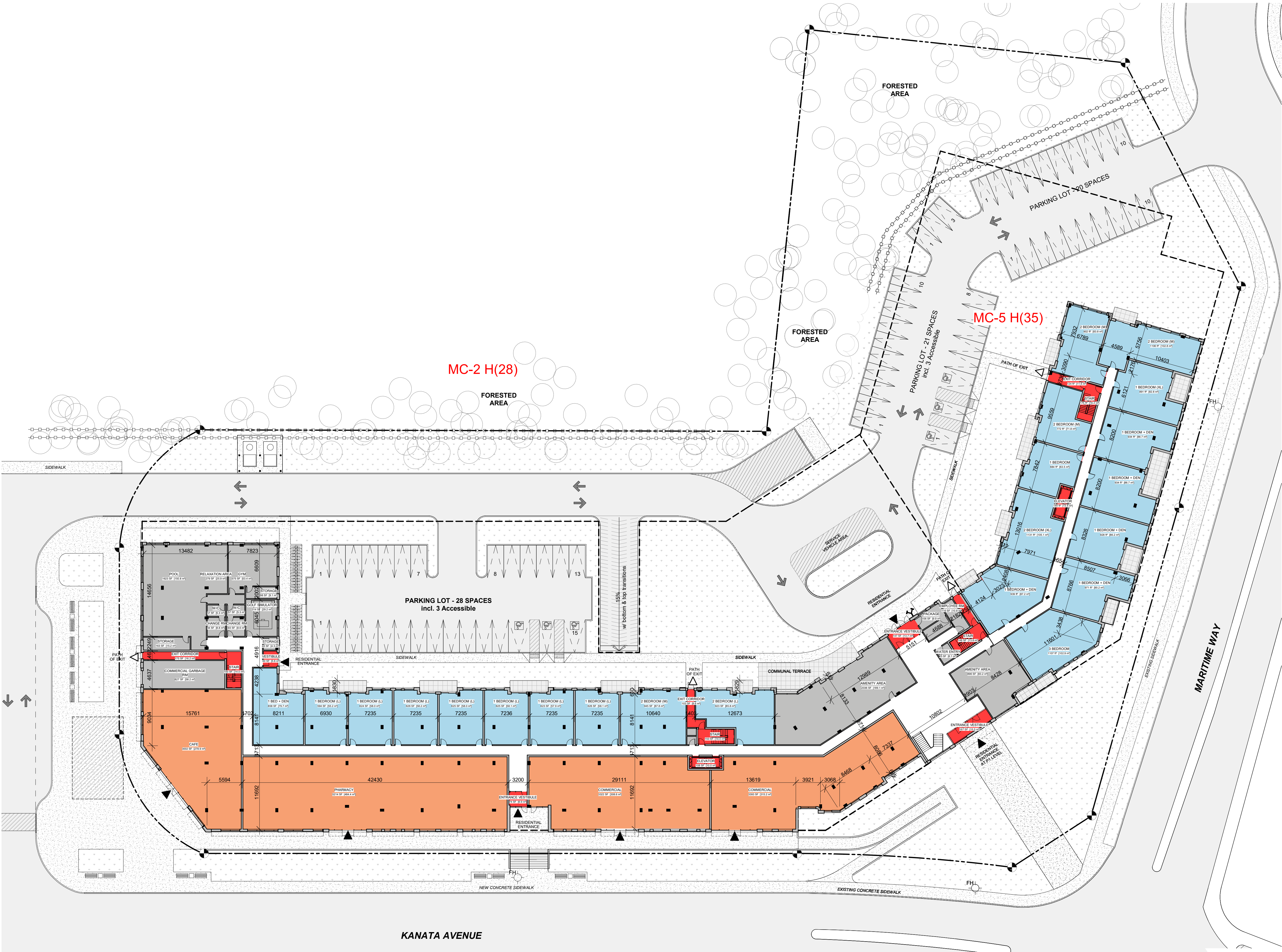
DRAWING NAME / NOM DU DESSIN :

GROUND FLOOR PLAN

DRAWING INFORMATION / INFORMATION DU DESSIN :

PROJECT NO. / NO. DE PROJET :	21019
DATE :	07/16/21
DRAWN BY / DESSINÉ PAR :	JDL
REVIEWED BY / VÉRIFIÉ PAR :	ES
SCALE / ÉCHELLE :	As indicated
PROJECT PHASE / PHASE DU PROJET :	1
DWG NO. / NO. DESSIN :	A103

REVISION NO. / NO. DE RÉVISION : 1.1 #18063



1 GROUND FLOOR PLAN
1:300

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







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MATERIAL LEGEND

	ST-1 STONE VENEER MANUFACTURER : ARRIS CRAFT COLOR : LIGHT GREY SQ.FT. :
	BR-1 BRICK VENEER MANUFACTURER : BRAMPTON BRICK COLOR : BROWN / BEIGE SQ.FT. :
	BR-2 BRICK VENEER MANUFACTURER : BRAMPTON BRICK COLOR : LIGHT GREY SQ.FT. :
	BR-3 BRICK VENEER MANUFACTURER : BRAMPTON BRICK COLOR : LIGHT GREY SQ.FT. :
	FC-1 FIBER-CEMENT CLADDING WOOD GRAIN MANUFACTURER : JAMES HARDIE COLOR : CEDAR SQ.FT. :
	MP-1 METAL PANEL TYPE 1 MANUFACTURER : VICWEST AD300 COLOR : CHARCOAL SQ.FT. :
	MP-2 METAL PANEL TYPE 2 MANUFACTURER : VICWEST AD300 COLOR : LIGHT GREY SQ.FT. :
	MP-3 METAL PANEL TYPE 3 MANUFACTURER : VICWEST AD300 COLOR : SQ.FT. :
	GR-1 GLASS RAILING COLOR : CLEAR

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PROJECT TEAM / ÉQUIPE DU PROJET :

KEY PLAN / PLAN CLÉ :



1 KEY FRONT ELEVATION - WEST BUILDING
1 : 350



2 SOUTH ELEVATION - WEST BUILDING
1 : 200



3 NORTH ELEVATION - WEST BUILDING
1 : 350

1:\900\rev\Local\21019_EMDKanata_DOCUMENTATION_Option-B_U_Killeen.rvt

4 WEST ELEVATION
1 : 200



1.1	SPC SUB #2	22-03-22
1.0	SPC SUB #1	21-09-22
revision	description	date

PROJECT NAME / NOM DU PROJET :

EMD KANATA

DRAWING NAME / NOM DU DESSIN :

ELEVATIONS - WEST WING

DRAWING INFORMATION / INFORMATION DU DESSIN :

PROJECT NO. / NO. DE PROJET :	21019
DATE :	2018-07-12
DRAWN BY / DESSINÉ PAR :	JDL
REVIEWED BY / VÉRIFIÉ PAR :	ÉS
SCALE / ÉCHELLE :	As indicated
PROJECT PHASE / PHASE DU PROJET :	1
DWG NO. / NO. DESSIN :	A301

REVISION NO. / NO. DE RÉVISION : 1.1

D07-12-21-015 #18063

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PROJECT TEAM / ÉQUIPE DU PROJET :

MATERIAL LEGEND

	ST-1 STONE VENEER MANUFACTURER : ARRISCRAFT COLOR : LIGHT GREY SQ.FT. :
	BR-1 BRICK VENEER MANUFACTURER : BRAMPTON BRICK COLOR : BROWN / BEIGE SQ.FT. :
	BR-2 BRICK VENEER MANUFACTURER : BRAMPTON BRICK COLOR : LIGHT GREY SQ.FT. :
	BR-3 BRICK VENEER MANUFACTURER : BRAMPTON BRICK COLOR : LIGHT GREY SQ.FT. :
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	MP-3 METAL PANEL TYPE 3 MANUFACTURER : VICWEST AD300 COLOR : LIGHT GREY SQ.FT. :
	GR-1 GLASS RAILING COLOR : CLEAR

DRAWING NOTES

CLIENT :

emd batimo
CONSTRUCTION

1.1 SPC SUB #2 22-03-22
1.0 SPC SUB #1 21-09-22
revision description date

PROJECT NAME / NOME DU PROJET :

EMD KANATA

DRAWING NAME / NOM DU DESSIN :
ELEVATIONS - MIDDLE SECTION

DRAWING INFORMATION / INFORMATION DU DESSIN :

PROJECT NO. / NO. DE PROJET : 21019
DATE : 07/10/19
DRAWN BY / DESSINÉ PAR : JDL
REVIEWED BY / VÉRIFIÉ PAR : ÉÉS
SCALE / ÉCHELLE : As indicated
PROJECT PHASE / PHASE DU PROJET : 1
DWG NO. / NO. DESSIN : A302
REVISION NO. / NO. DE RÉVISION : 1.1
#18063



1 KEY ELEVATION - REAR



2 SOUTH ELEVATION - CENTRE BUILDING - CENTRE



3 NORTH ELEVATION - CENTER BUILDING - CENTRE



1 KEY FRONT ELEVATION - EAST BUILDING
1:350



2 SOUTH ELEVATION - EAST BUILDING
1:200



4 EAST ELEVATION
1:200

3 NORTH ELEVATION - EAST BUILDING
1:200

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	ST-1 STONE VENEER MANUFACTURER: ARRISCRAFT COLOR: LIGHT GREY SQ.FT.:
	BR-1 BRICK VENEER MANUFACTURER: BRAMPTON BRICK COLOR: BROWN / BEIGE SQ.FT.:
	BR-2 BRICK VENEER MANUFACTURER: COLOR: LIGHT GREY SQ.FT.:
	BR-3 BRICK VENEER MANUFACTURER: BRAMPTON BRICK COLOR: LIGHT GREY SQ.FT.:
	FC-1 FIBER-CEMENT CLADDING WOOD GRAIN MANUFACTURER: JAMES HARDIE COLOR: CEDAR SQ.FT.:
	MP-1 METAL PANEL TYPE 1 MANUFACTURER: VICWEST AD300 COLOR: CHARCOAL SQ.FT.:
	MP-2 METAL PANEL TYPE 2 MANUFACTURER: VICWEST AD300 COLOR: LIGHT GREY SQ.FT.:
	MP-3 METAL PANEL TYPE 3 MANUFACTURER: VICWEST AD300 COLOR: SQ.FT.:
	GR-1 GLASS RAILING COLOR: CLEAR

DRAWING NOTES

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PROJECT TEAM / ÉQUIPE DU PROJET :

KEY PLAN / PLAN CLÉ :

CLIENT :



1.1	SPC SUB #2	22-03-22
1.0	SPC SUB #1	21-09-22
revision	description	date

PROJECT NAME / NOM DU PROJET :

EMD KANATA

DRAWING NAME / NOM DU DESSIN :

ELEVATIONS - EAST WING

DRAWING INFORMATION / INFORMATION DU DESSIN :

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DATE : **08/12/21**
DRAWN BY / DESSINÉ PAR : **JDL**
REVIEWED BY / VÉRIFIÉ PAR : **JÉS**
SCALE / ÉCHELLE : **As indicated**
PROJECT PHASE / PHASE DU PROJET : **1**
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REVISION NO. / NO. DE RÉVISION :

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PROJECT TEAM / ÉQUIPE DU PROJET :



1 FRONT FACADE
1 : 250



2 REAR FACADE
1 : 250

KEY PLAN / PLAN CLÉ :

CLIENT :



revision	description	date
1.1	SPC SUB #2	22-03-22
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EMD KANATA

DRAWING NAME / NOM DU DESSIN :
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