

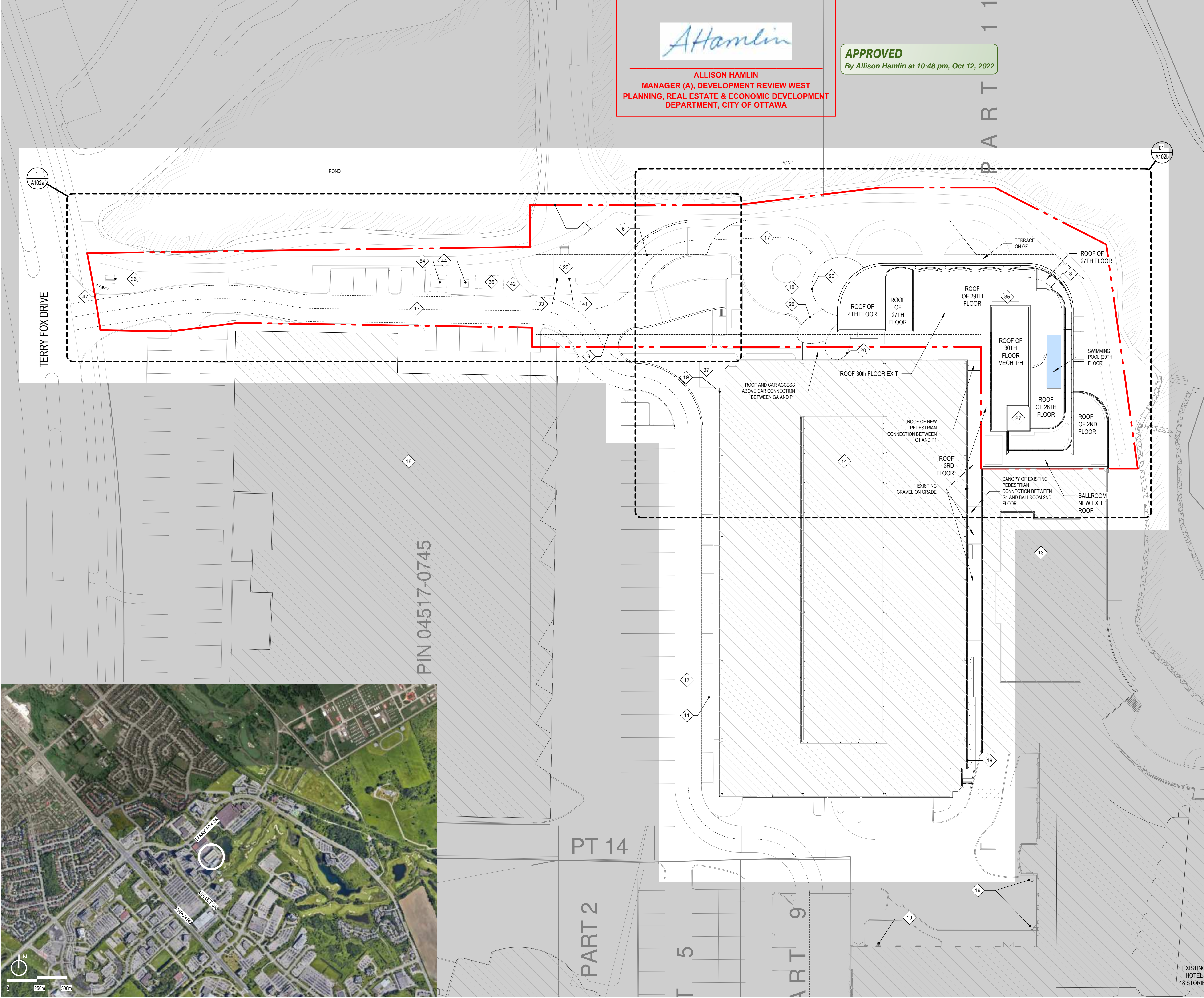
Allison Hamlin

APPROVED
By Allison Hamlin at 10:48 pm, Oct 12, 2022

ALLISON HAMLIN
MANAGER (A), DEVELOPMENT REVIEW WEST
PLANNING, REAL ESTATE & ECONOMIC DEVELOPMENT
DEPARTMENT, CITY OF OTTAWA

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PART 11



GENERAL NOTES

# NOTE	DESCRIPTION
1	PROPERTY LINE
2	LEVELS 2 TO 4 FOOTPRINT
3	TOWER FOOTPRINT
4	HOSE BIB FOR LANDSCAPE
5	GROUND FLOOR FOOTPRINT
6	PARKING P2 FOOTPRINT
7	PUBLIC TERRACE
8	28TH FLOOR FOOTPRINT
9	33TH FLOOR ROOF PROFILE
10	GROUND FLOOR DROP OFF ON P1 ROOF (HEATED)
11	EXISTING PARALLEL PARKING ROW
12	WINDOWS ADDED TO MEET 2% OPENING FOR SMOKE CONTROL REQUIREMENT
13	EXISTING BALLROOM
14	MULTI LEVEL EXISTING PARKING GARAGE
15	EXISTING PARKING GARAGE NEW ENTRANCE
16	NEW BALLROOM STAIRS EXIT
17	FIRE ROUTE (ONE WAY AT DROP OFF)
18	MONMOUTH EXISTING BUILDING
19	EXISTING WALL HYDRANT
20	CANOPY PROFILE
21	ELECTRICAL CLOSET, SEE ELECTRICAL ENG.
22	AEDICULE, STAIRS #3 AN EXHAUST AIR FROM P2
23	BALLROOM EXTENSION FOOTPRINT
24	TRENCH DRAIN
25	PATHWAY CW CIRCULATION MEMBRANE
26	COOLING TOWER ON ROOF OF THE 29TH FLOOR, SEE MECHANICAL ENG.
27	SCREEN WALL
28	BIRD-FRIENDLY LOW REFLECTANCE GLASS
29	PRIVATE TERRACE
30	GARBAGE CHUTE
31	ROOF ACCESS
32	SWIMMING POOL
33	SCUPPER WITH SIMPLE DRAIN
34	GENERATOR ON THE ROOF, SEE ELECTRICAL ENG.
35	EXISTING TRANSFORMER TO BE RELOCATED (MONMOUTH BUILDING)
36	RESIDENCE TRANSFORMER, SEE ELECTRICAL ENG.
37	GARBAGE COMPACTOR
38	EXISTING HOTEL
39	EXTERIOR SHOWER
40	EXTERIOR BIKE RACKS
41	SNOW STORAGE
42	PARKING P1 FOOTPRINT
43	PAD FOR NEW PUMPHOUSE ELECTRICAL SUPPLY
44	ELECTRIC BASE TO BE RELOCATED
45	PUMP HOUSE TO BE RELOCATED
46	PROJECT SIGNAGE
47	GUARDRAIL
48	TWSI (SEE CIVIL GRADING PLAN)
49	GARBAGE CHUTE
50	29TH FLOOR ROOF

ZONING BY LAW

ZONING PROVISION (APARTMENT DWELLING, HIGH RISE)	PROPOSED R/F (XXX) (M/10)	PROVIDED
MINIMUM LOT WIDTH	15 (m) / 161 (ft)	18 (m) / 193 (ft)
MINIMUM LANDSCAPE AREA	30%	49%
MINIMUM FRONT YARD SETBACK	3 (m) / 9.8 (ft)	169 (m) / 554 (ft)
MINIMUM CORNER YARD SETBACK	3 (m) / 9.8 (ft)	N/A
MINIMUM REAR YARD SETBACK	0 (m) / (ft)	5 (m) / 16 (ft)
MINIMUM INTERIOR SIDE YARD SETBACK	0 (m) / (ft)	0 (m) / (ft)
SECTION 110 LANDSCAPING PROVISIONS FOR PARKING LOTA	1.5 m LANDSCAPED BUFFER NOT ABUTTING A STREET	4.4 (m) / 14.4 (ft)
MAXIMUM BUILDING HEIGHT	115 (m) / 377 (ft)	111.1 (m) / 364.5 (ft)
MINIMUM LOT AREA	540 (m²) / 5 812 (ft²)	7075 (m²) / 76 154 (ft²)
MINIMUM RESIDENTIAL PARKING	304 MIN PARKING STALLS	
MINIMUM VISITOR PARKING	51 MIN PARKING STALLS	397 PARKING STALLS
MINIMUM RESTAURANT PARKING	42 MIN PARKING STALLS	
TOTAL PARKING	397 MIN PARKING STALLS	
MINIMUM BICYCLE PARKING	129 MIN BICYCLE PARKING	129 BICYCLE PARKING
TOTAL PRIVATE AMENITY SPACE	1 516 (m²) / 16 340 (ft²)	3 015 (m²) / 32 453 (ft²)
TOTAL COMMUNAL AMENITY AREA	759 (m²) / 8 170 (ft²)	759 (m²) / 8 170 (ft²)

STATISTICS

NUMBER OF UNITS	253
RESTAURANT AREA	417 (m²) / 4 488 (ft²)

SURFACE LEGEND

	POND (WATER SURFACE)
	OUT OF INTERVENTION AREA
	INTERVENTION AREA
	FUTURE CONSTRUCTION
	EXISTING BUILDING
	PROPERTY LINE

NOTES GÉNÉRALES General Notes

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MECHANICAL: Mécanique
ELECTRICAL: Électricité

GOODKEY, WEEDMARK & ASSOCIATES LIMITED
1888 Woodbine Dr., Ottawa, ON K2C 3R6
T 613 727 5111 gweal.com

STRUCTURAL: Structure

CUNLIFFE & ASSOCIATES
200-1550 Carling Ave., Ottawa, ON K1Z 8S8
www.cuncliffe.ca

URBANISTE ET CIVIL: Urban planner and Civil
ARCHITECTE DE PAYSAGE: Landscape Architect

NOVATECH
240 Michael Cowpard Drive, Suite 200, Ottawa, ON, K2M 1P6
T 613 254 9643 novatech-eng.com

ARCHITECTE: Architect
DESIGN INTERIEUR: Interior Design

NEUF architect(e)s SENCRL
630, St-Jacques, Montréal, QC H3B 1S6
T 514 847 1117 NEUFarchitectes.com



CLIENT: Client

brookstreet APARTMENTS

OUVRAGE: Project

BROOKSTREET APARTMENTS

EMPLACEMENT: Location NO PROJET No. 12347
525 Legget Drive Kanata Ontario K2K 2W2

NO REVISION DATE (aa-mm-ii)

A	FOR INTERNAL REVIEW - ARCHITECT	2021 02 02
B	FOR INTERNAL REVIEW - ARCHITECT	2021 07 14
C	SITE PLAN APPROVAL	2021 10 04
D	FOR COORDINATION	2021 10 27
E	FOR INTERNAL REVIEW - ARCHITECT	2021 11 23
F	SITE PLAN APPROVAL REV 1	2022 01 28
G	SITE PLAN APPROVAL REV 2	2022 10 03

DESSINÉ PAR: Drawn by
MM AT

DATE: (aa.mm.ii)
2022 01 28

TITRE DU DESSIN: Drawing Title

VERIFIÉ PAR: Checked
KP BJSJ

ÉCHELLE: Scale
Comme indiqué

GENERAL SITE PLAN

REVISION: Revision NO. DESSIN: Dwg Number



LOCATION MAP

GENERAL SITE PLAN

1:400

BIM 360/12347_BROOKSTREET/BRKST_12347_ARC_INT_R20.rvt

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