



brookstreet
APARTMENTS

DESIGN BRIEF

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C O N T E X T



Surrounding Uses



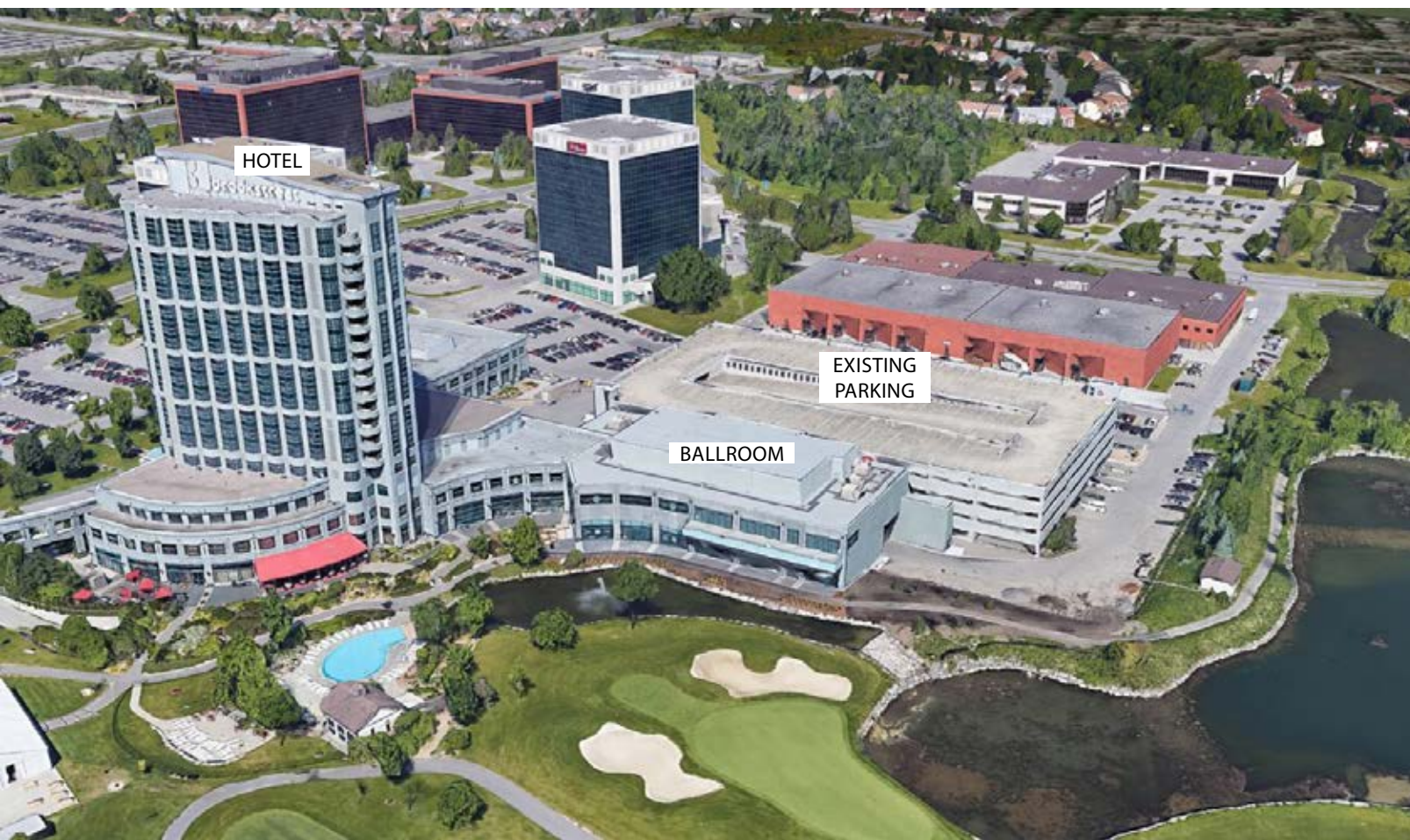
- 1. McKinley Park
- 2. The Marshes Golf Club
- 3. South March Public School
- 4. RioCentre Kanata (Sobeys, LCBO etc.)
- 5. Retail Plaza (Shoppers Drug Mart, TD Bank etc.)
- 6. Shell/future Metro
- 7. Brookstreet Hotel
- 8. ○ Future BRT (Terry Fox)
- 9. ○ Future BRT (Solandt)
- Existing OC Transpo (within 250 metres)
- Kanata North Special Economic District Activity Centre (approx.)



Aerial view existing conditions

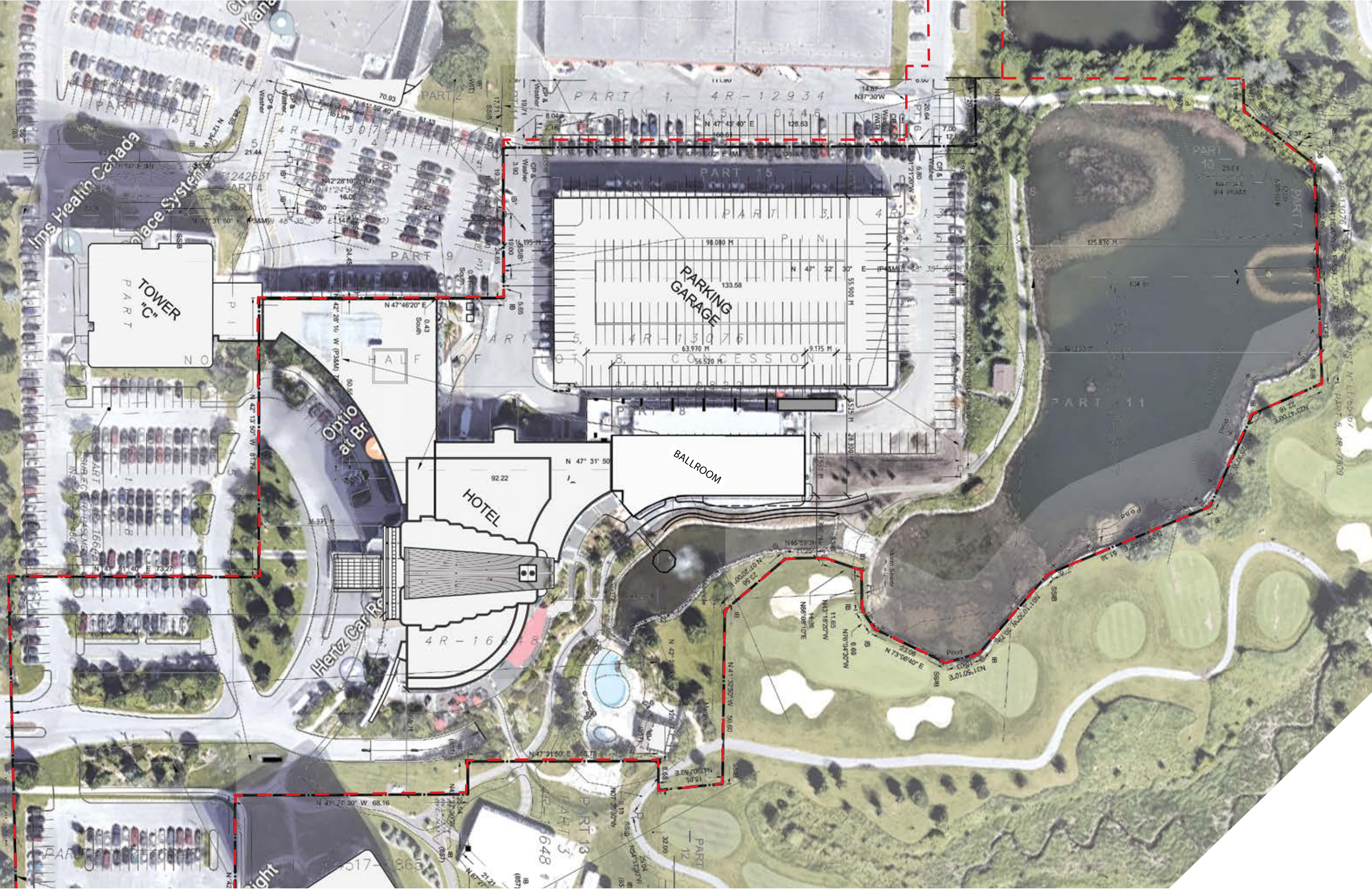


Aerial view existing conditions



Leggett Dr

LEGGETT DRIVE



BUILT FORM

- A podium that completes the natural curve / movement defined by the existing facilities (East Edge)

RELATIONSHIP WITH THE CONTEXT

- A podium that follows the existing context for the utmost and best use with an alluring arrival experience (West Edge)

ORIENTATION

- A single loaded L shape that offer pleasant views for each of the 256 units

MASSING ARTICULATION

- Offering an echo to the existing unique Brookstreet Hotel

OUTDOOR SPACES

- Connection to nature, outdoor views and natural light.

MASTER PLAN PRINCIPLES

We are proud to honor the following principles should they align with your vision

- OPTIMIZED DEVELOPMENT: design for our climate and a celebration of the four seasons;
- ADAPTABILITY: design that anticipates future evolution of the master plan;
- RESPECT: design principles that respects the existing fabric
- CONNECTIVITY: creating coherent and elegant links with the Brookstreet Hotel and the existing parking;
- SENSE OF DISCOVERY: establishment of a hierarchy from the public spaces to the privacy of each 256 suites;
- FRAMED VIEWS: the attractions of the pond, golf, Ottawa River and Laurentians;
- ENCOURAGE ACTIVE TRANSPORTATION: create a path around the facilities and through nature that promotes human scale and walking;
- CREATION OF A DYNAMIC PUBLIC DOMAIN: creating a rich cultural experience defining the frontage between the building and the pond;
- CREATION OF UNIFYING ELEMENT: symbolically defining a strong link from the Hotel to the pond;
- DESIGNING WITH DURABLE PRINCIPLES: these appropriate list of principles that should be integrated into your future project.

Brookstreet Apartments Design Brief (to be read in conjunction with the Planning Rationale)

Project Location : Kanata North, Ontario

Existing Brookstreet Hotel and Parking Structure address: 525 Legget Drive, Ottawa, ON K2K 2W2.

The Brookstreet Hotel is a powerful and well-known landmark in Kanata. It is a prestigious property that attracts events, convention business and vacation clientele. It has great commercial services, restaurants, extensive amenities, and an 18 holes golf course, the Marshes.

KRP properties wishes to offer this amazing environment to permanent residents by expanding the development with a residential tower. The site is directly north of the convention hall, a logical place for integration with the existing hotel. The site is accessible via Terry Fox Drive passing by the Monmouth building (359 Terry Fox). To the north, two beautiful ponds with verdant greenery create a harmonious transition to the Marshes Golf Club. The total site area is 7 075m².

The proximity of the building to the ponds and landscaped areas add to the charm of the site. The human-scale design aims to enhance the overall pedestrian experience. The addition of greenery and the reduction of the driveway width also strengthens the pedestrian experience.

The proposed design of the Brookstreet Apartments is in harmony with the existing Brookstreet Hotel and Ballroom while unifying the site. The open air parking Structure is integrated into the project design. It will supply a portion of the resident parking requirements. The placement of the proposed building respects the 3-meter setback from open-air parking structures.

The project will contain 256 rental dwelling units, interior and exterior amenity space on the ground floor, an indoor extension to the existing Ballroom on the second floor, a common terrace on the fifth floor, a restaurant with a rooftop terrace accessible to everyone and a swimming pool on the rooftop terrace. These generous rooftop areas will offer dramatic views of the Ottawa River and the Laurentians. The complementarity of services and amenities with the Hotel will provide a superior experience for both hotel guests and residents. It will also result greater efficiencies in terms of use and sharing of services.

The amenities on the ground floor will be level with the outdoor terrace creating a sense of continuity between indoor and outdoor spaces. A high ceilinged space with an expansive curtain wall will provide ample natural light and views over the pond and the Marshes golf course. The new landscape will blend naturally with the existing hotel landscape while establishing a gradual hierarchy from public to private space for the residents.

The pedestrian access for the residents from Terry Fox drive follows the meandering sidewalk and leads to the main entrance and offering beautiful views of the pond along the way. The existing private street towards Terry Fox will provide vehicular access to the main entrance and to the parking entrance at level P1. A slight curve at the entrance of the street will be introduced for traffic calming and to add to a sense of discovery upon arrival. The garage entry door will be recessed so that it does not attract attention all the while being accessible via a small ramp. The smooth curving transition from Terry Fox Drive to the Main Entrance canopy will create a dramatic sense of arrival to the tower and its circular canopy.

The proposed building offers a modern architectural style, which harmonizes with the distinctive Brookstreet Hotel, its immediate neighbour. The organic feeling of the existing Hotel bay windows are the inspiration for the curved balconies and rounded corner fronting the pond. The podium completes the natural movement of the pond initiated by the Hotel and Ballroom East Facade and unites the two buildings in one continuous gesture. The prefabricated concrete panels, similar to the existing Hotel's, are proposed for the building envelope to create a strong continuity, while adding a refined contemporary feel. Metal cladding sections add to the verticality of the design and the flowing balconies on the tower hover gently above the concrete podium.

The building presents a dramatic verticality on its north and east elevations facing the office park. Windows have been added to the elevator lobby and residential hallways offering views and natural light to these usually enclosed and dark common spaces. The top of the building steps up with a series of terraces for the rooftop restaurant and the swimming pool. The mechanical penthouse provides an ideal area for signage. The massing has been carefully calibrated to create a distinctive profile in the skyline.

The building will be designed to be bird-friendly with the glazing located up to sixteen meters above grade specially treated to make it more visible. Glazing four meters above and below roof terraces will also be treated.

A glass extension of the existing Ballroom presents a unique opportunity to add to the ballroom crush space and the resulting cantilever protects the egress doors on the ground floor. The roof of this extension provides great terraces for the suites on the third floor and a green roof. Visible from the Brookstreet Hotel suites, this green roof will be a visual extension of the greenery of the golf club. The fifth floor also offers terraces to the suites and a rooftop amenity area for the residents. Another green roof is planned for the 28th floor in order to introduce vegetation near the pool terrace located above.

The project offers suite types of various sizes and a broad price range as well as many amenities offered on-site. The "L" shape of the building maximises views towards the golf course and the ponds. Future residents will benefit from a large landscaped garden. The spacious double height lobby and foyer at the entrance will welcome visitors to the complex. All residential parking will be located on two levels of underground parking and on the enclosed first floor of the existing parking structure. The access will be from the driveway going down to P1 level directly from Terry Fox Drive. The two buildings will be interconnected on level P1. All the visitors and restaurant guests parking will be provided on the second floor of the existing parking structure. The dedicated pedestrian access is from the drop-off on the ground floor and continues onto a new entrance in the open-air parking. Based on the parking regulations, 395 vehicle parking spaces will be provided. This takes into account 307 spaces for residents, 52 spaces for visitors and 36 for the restaurant guests.

For this elegant project, our approach focuses on creating a high-quality liveable environment in harmony with the splendid beauty of this natural site. The development of the residential complex will foster the conditions for a pleasant and healthy environment for residents and visitors in the area while creating a sense of community, livability and conviviality.





RENDERINGS



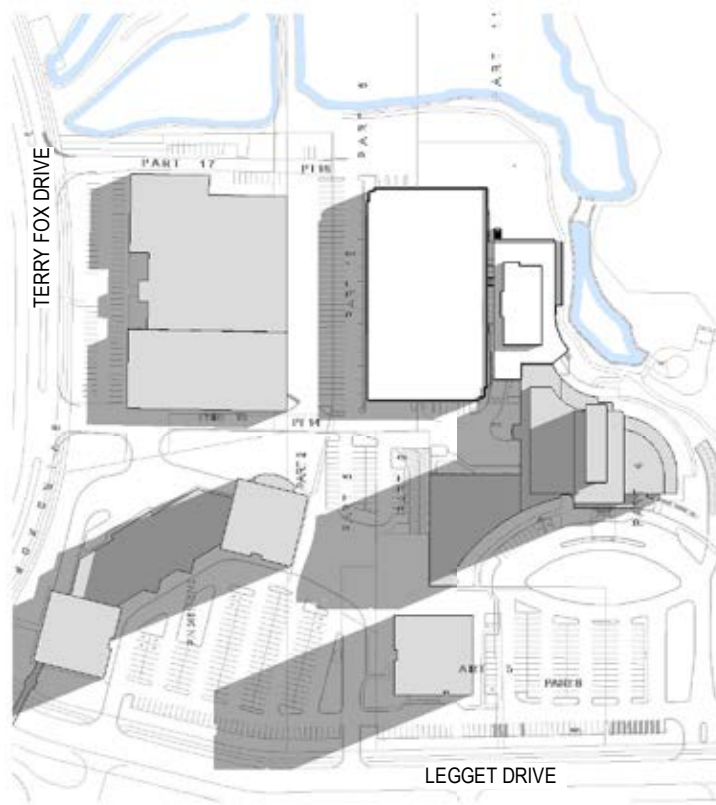




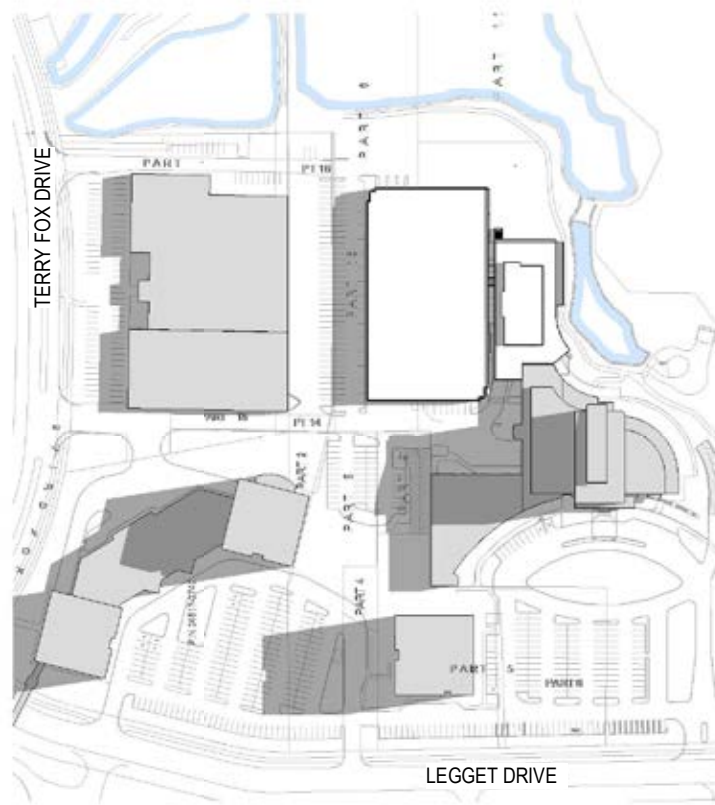




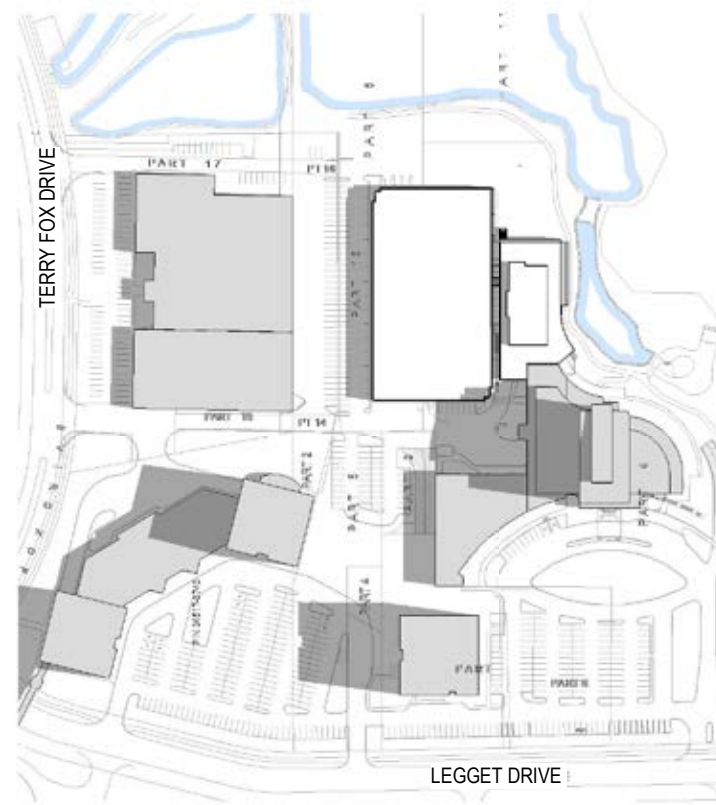
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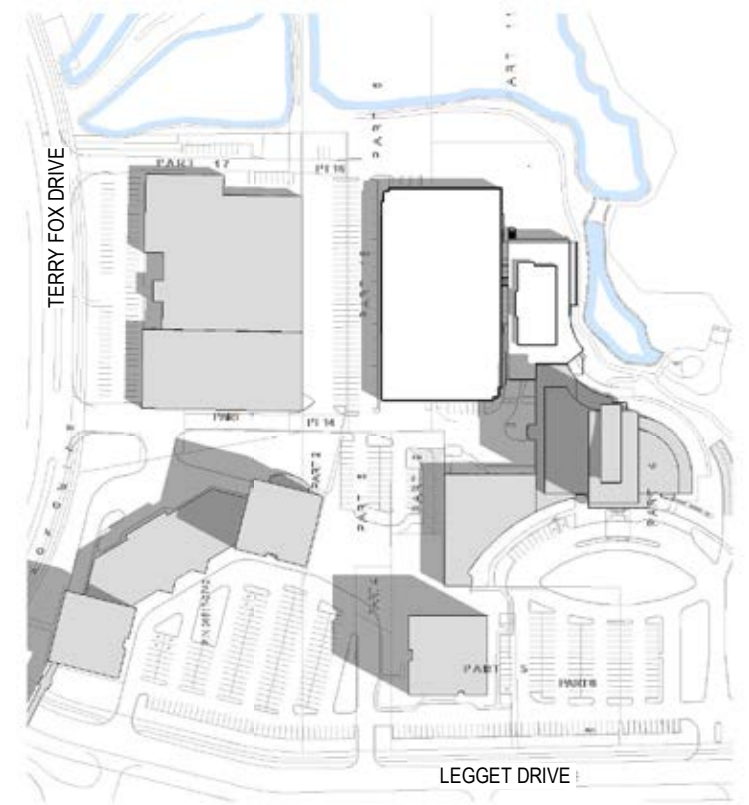
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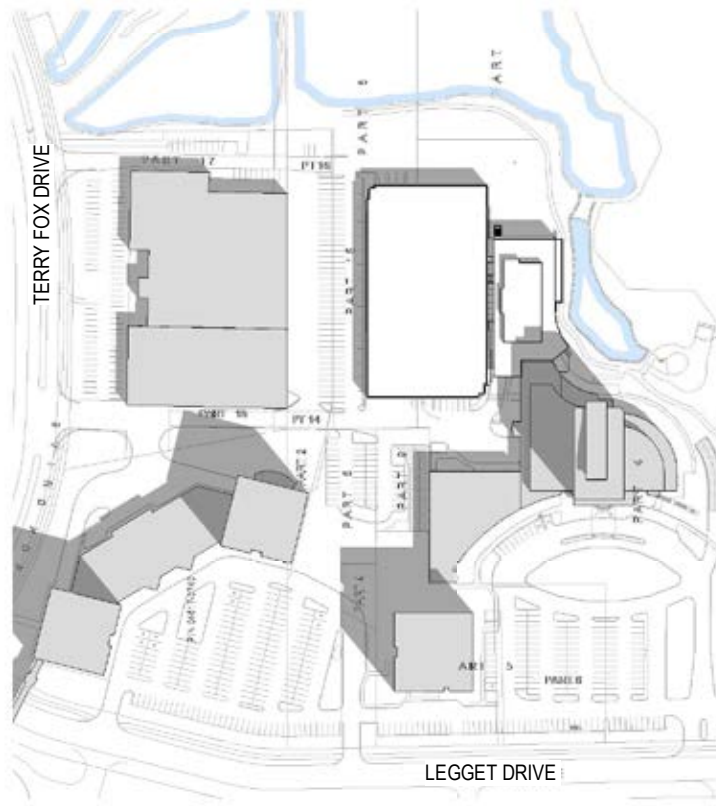
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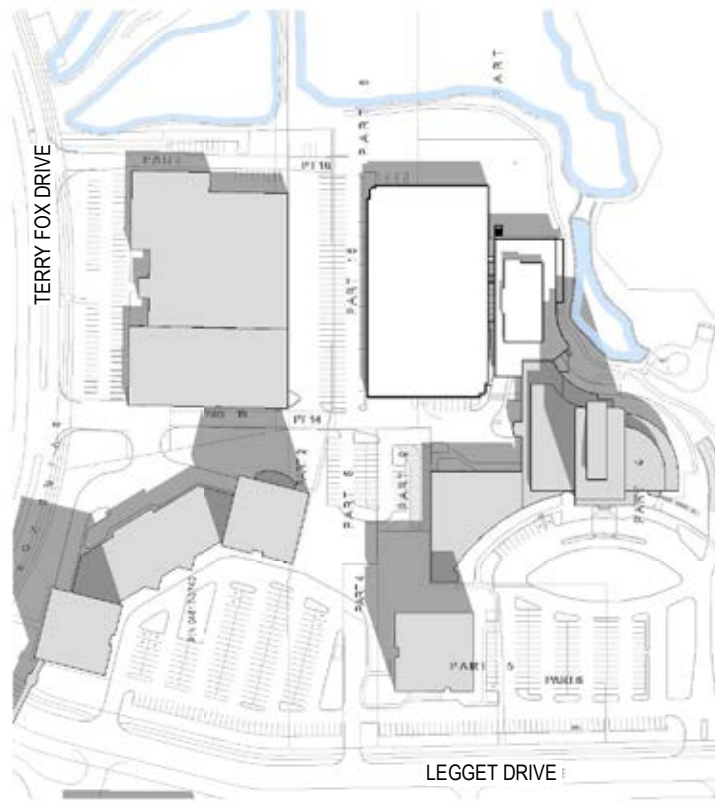
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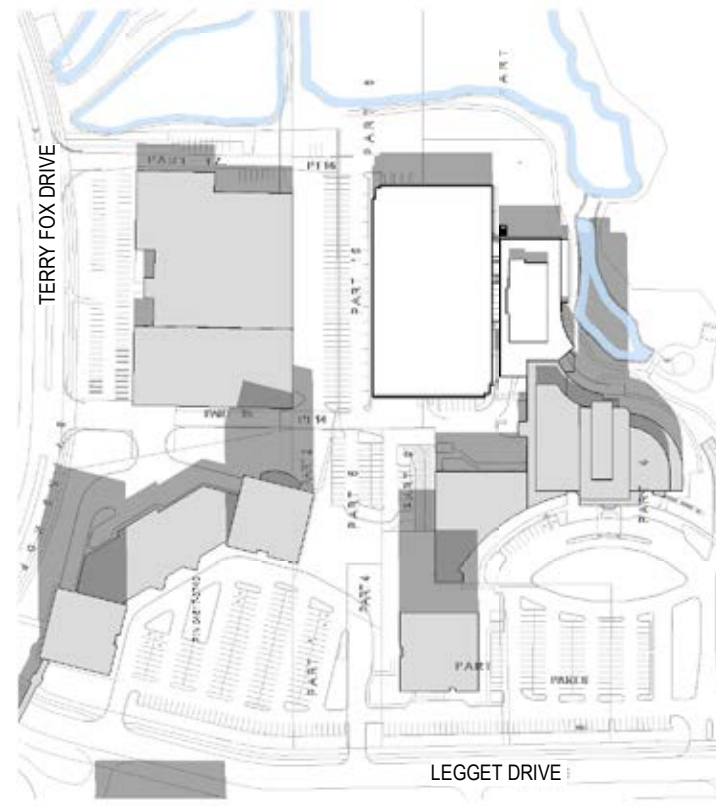
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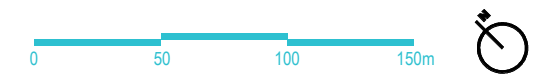


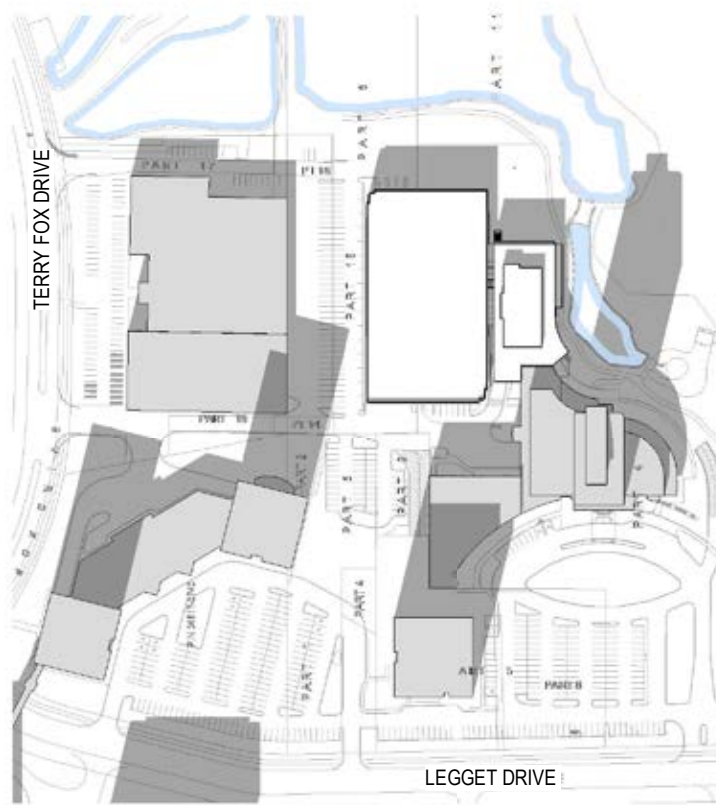
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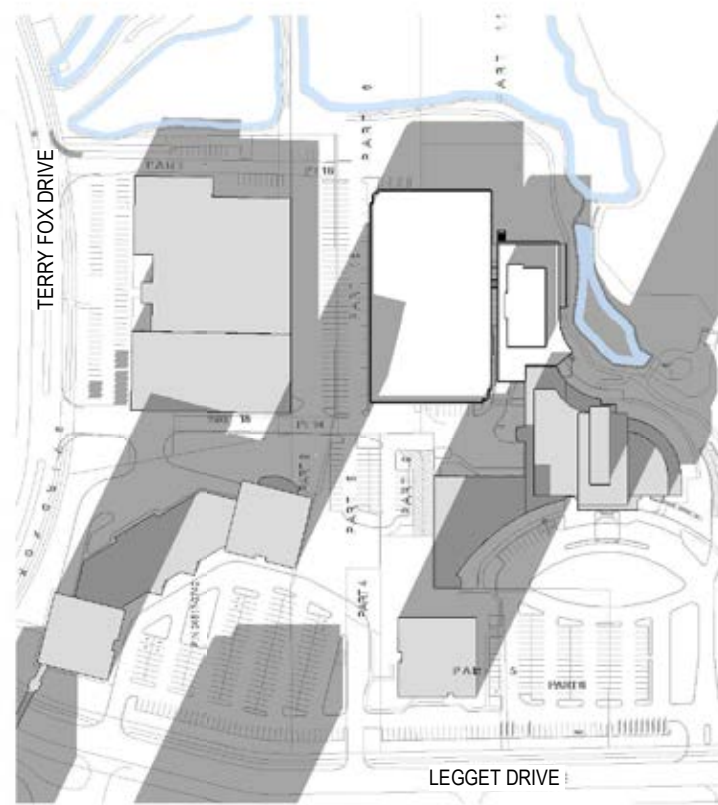
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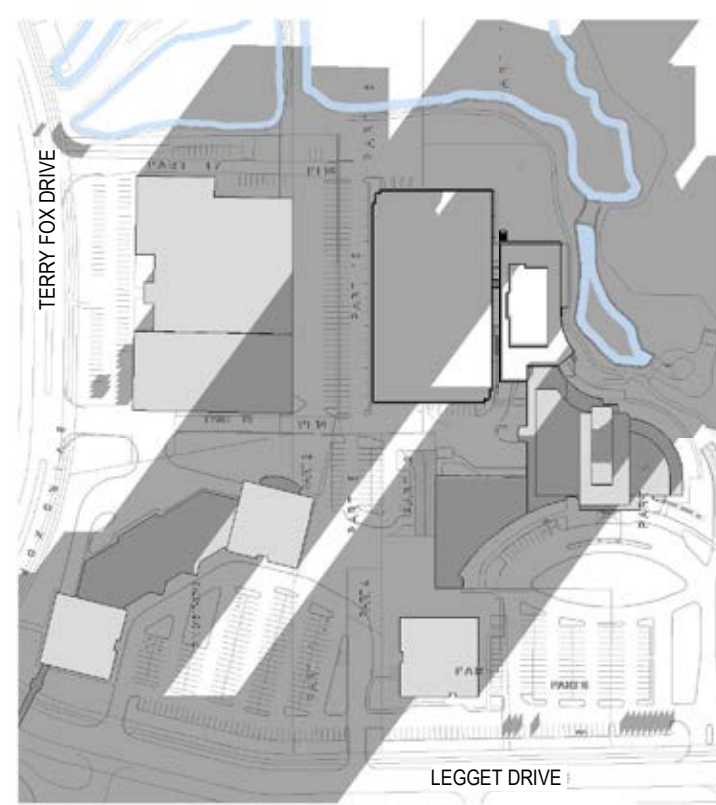




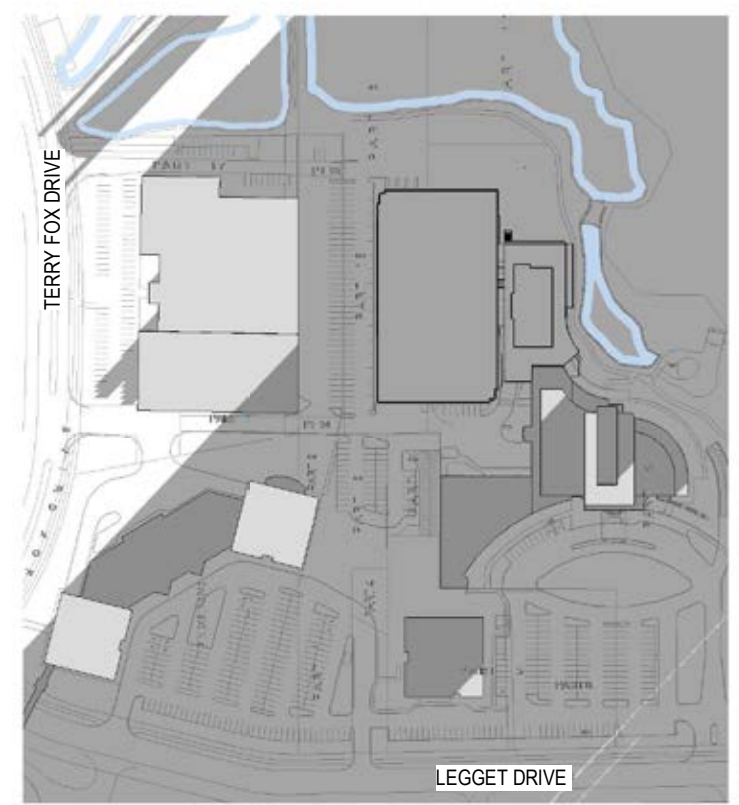
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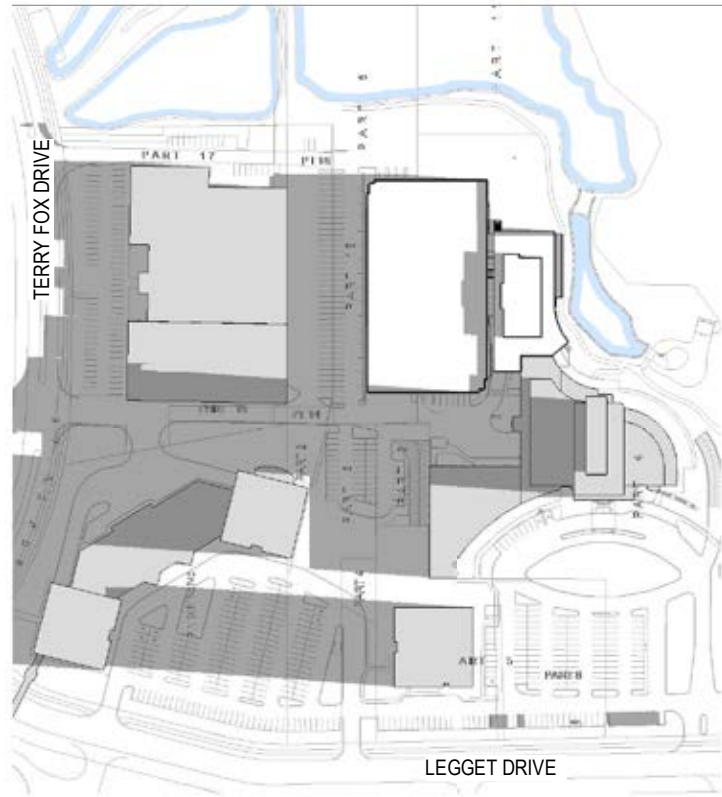
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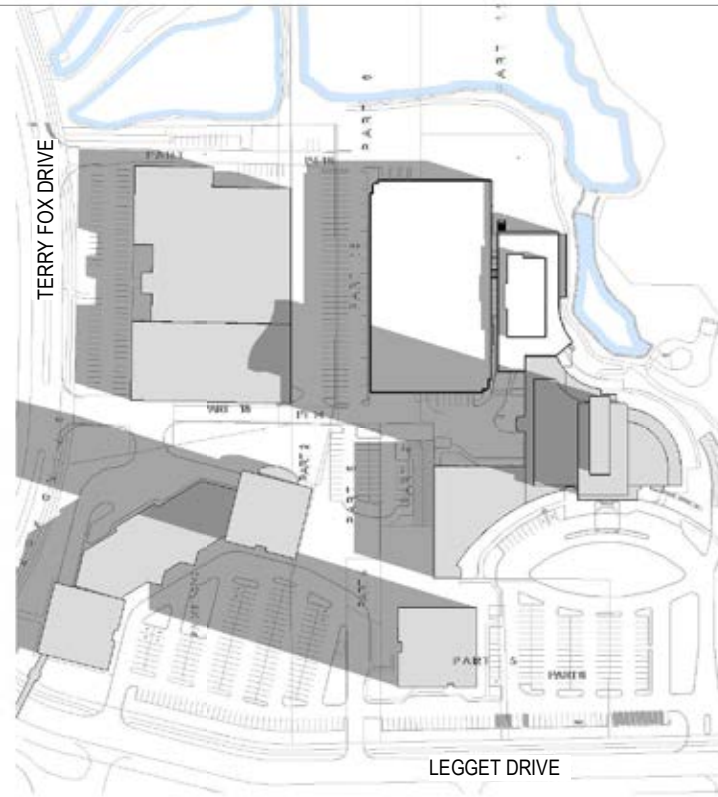
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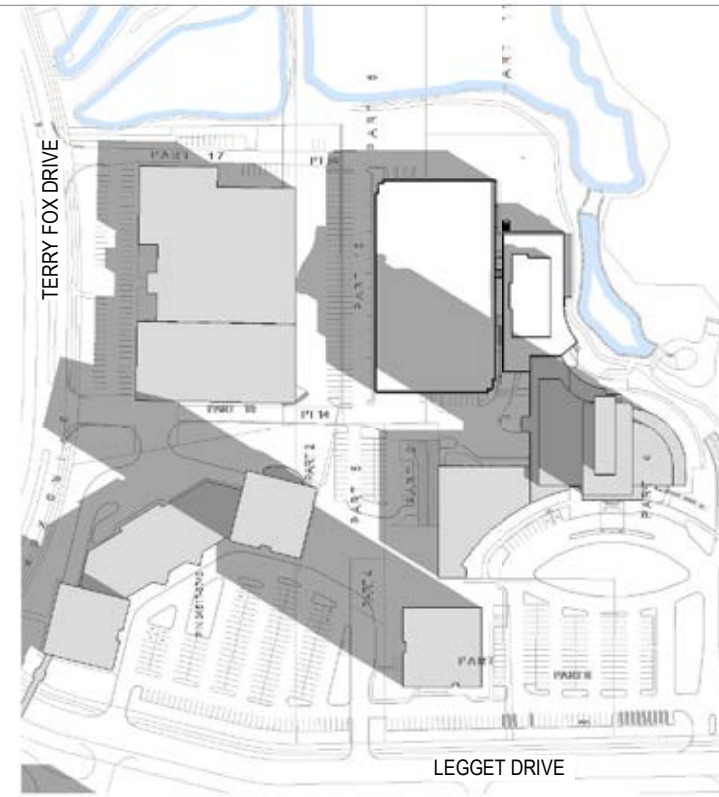




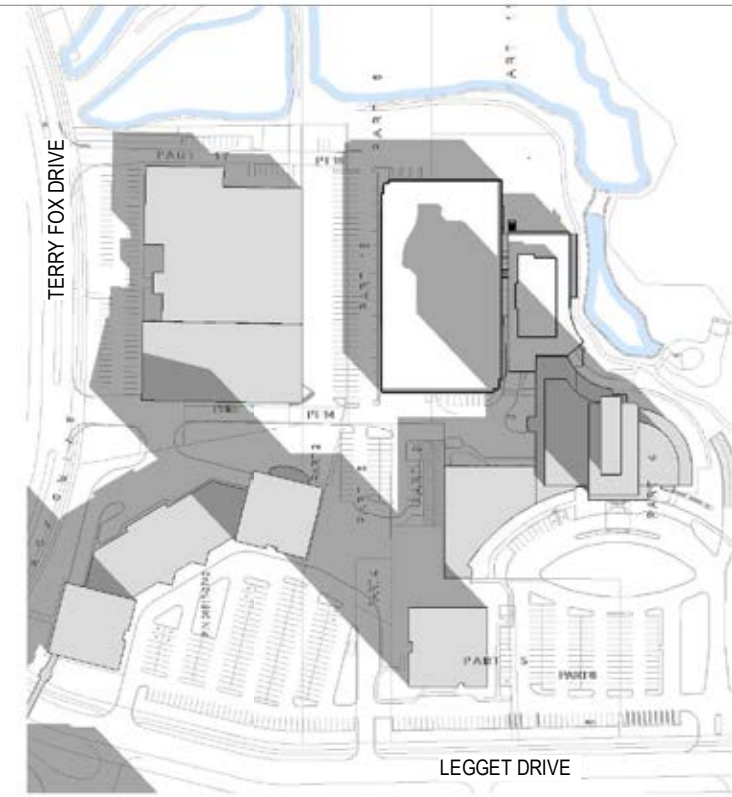
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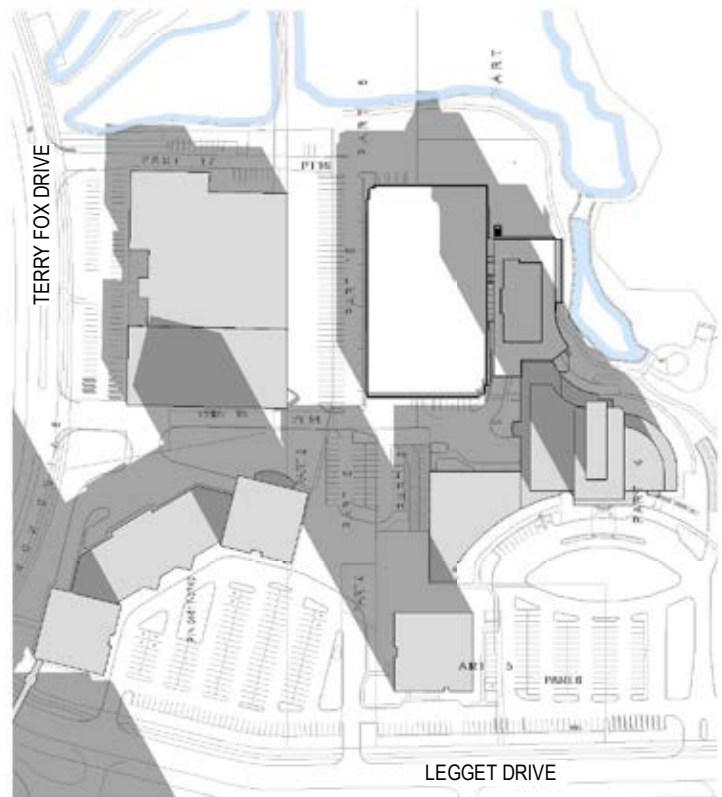
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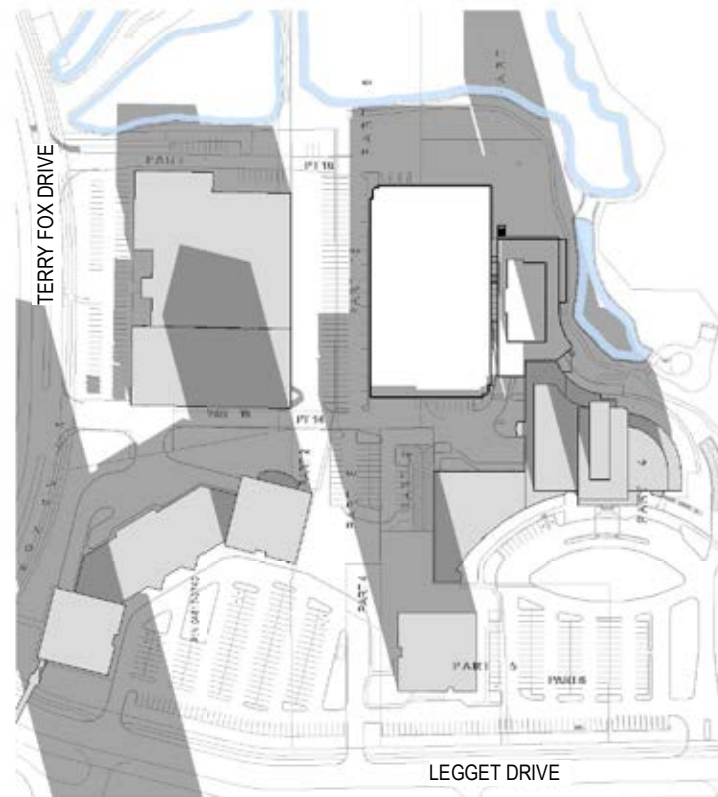
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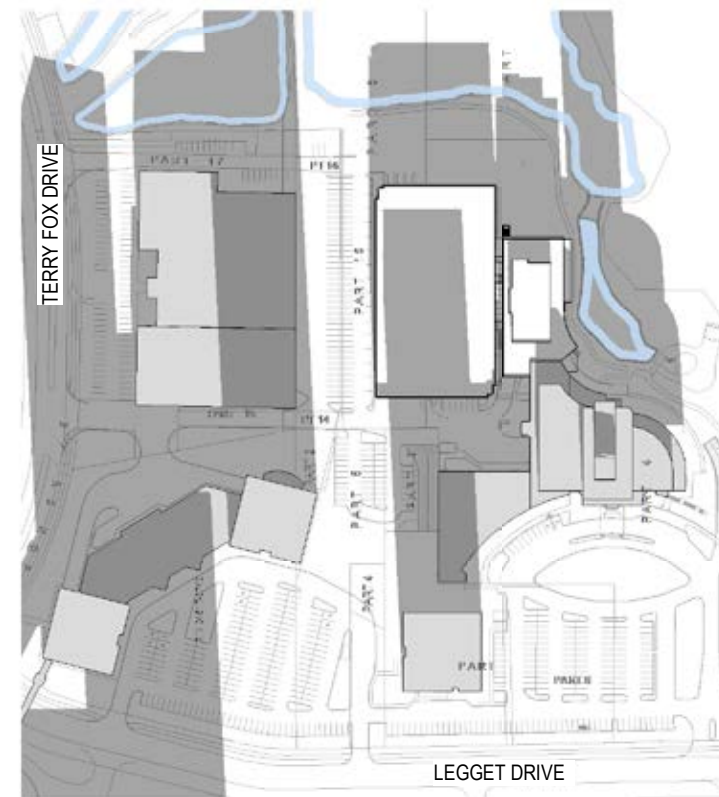
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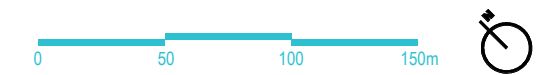


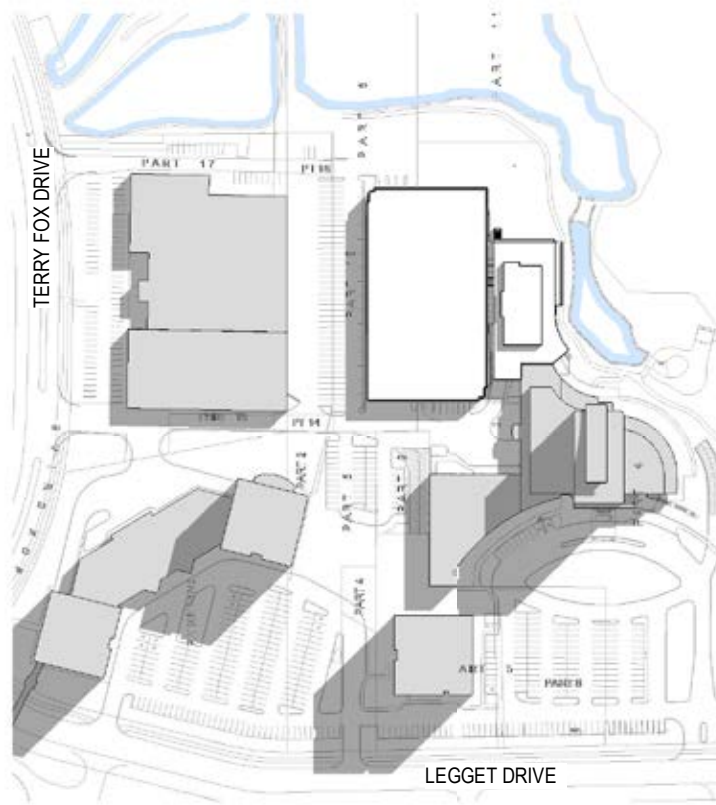
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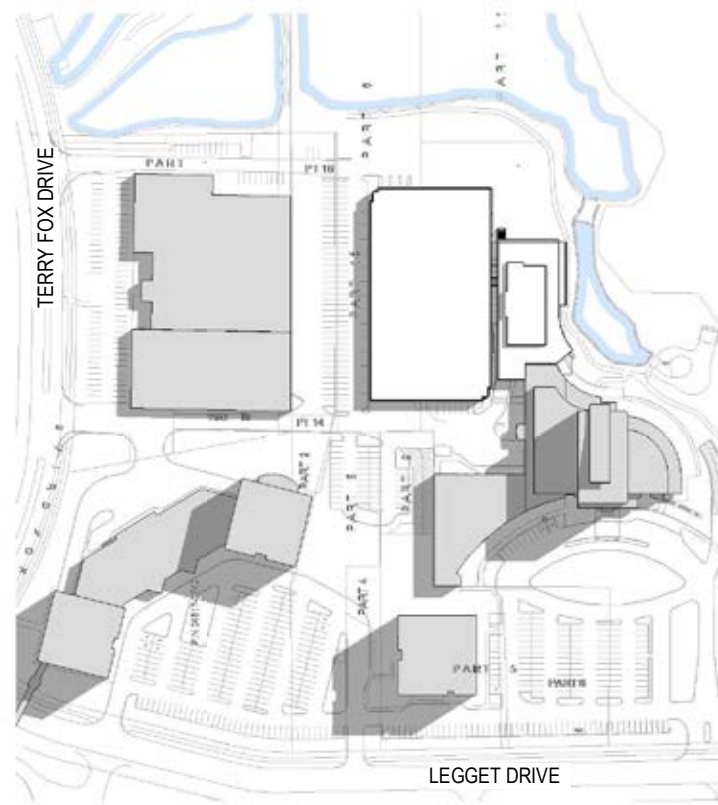
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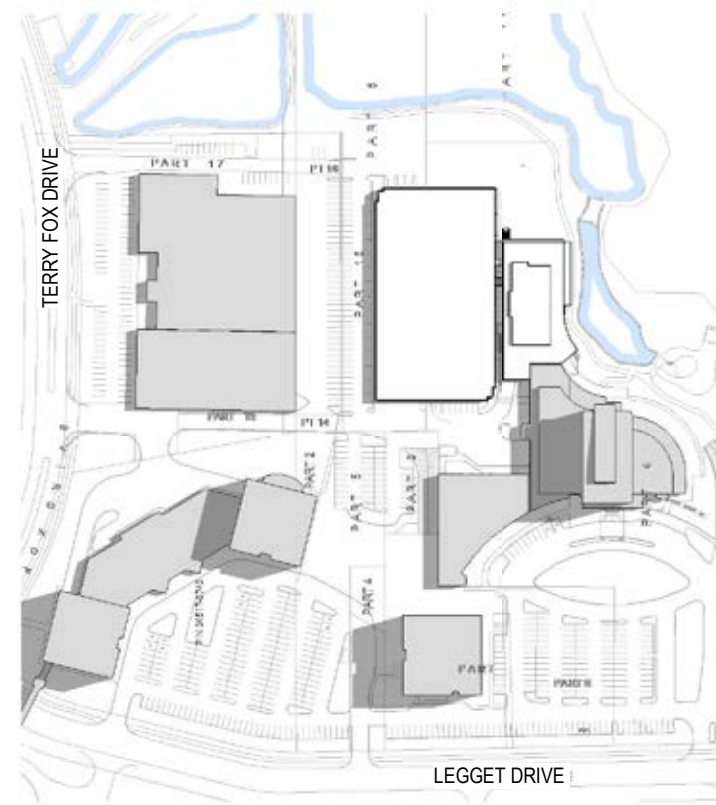




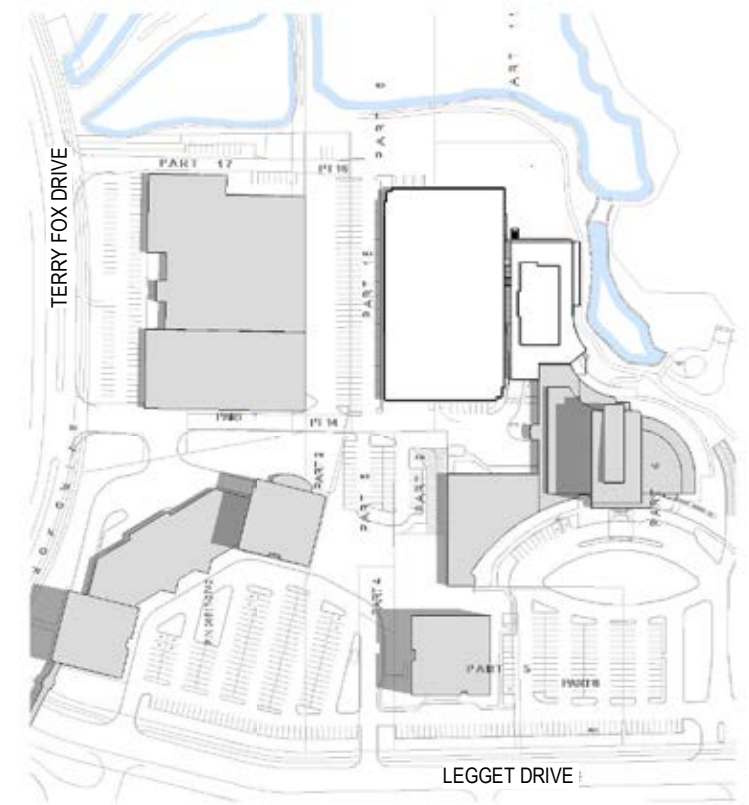
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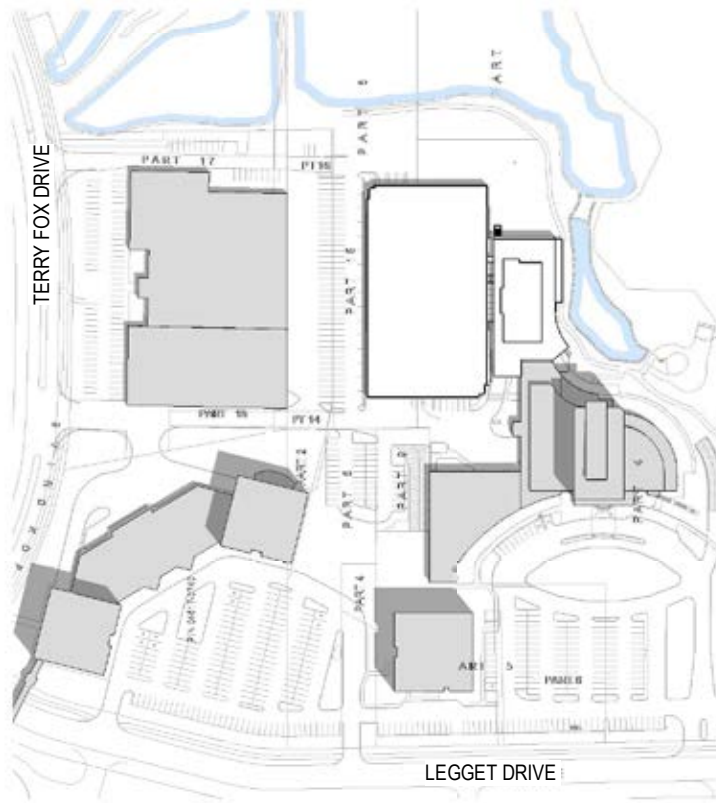
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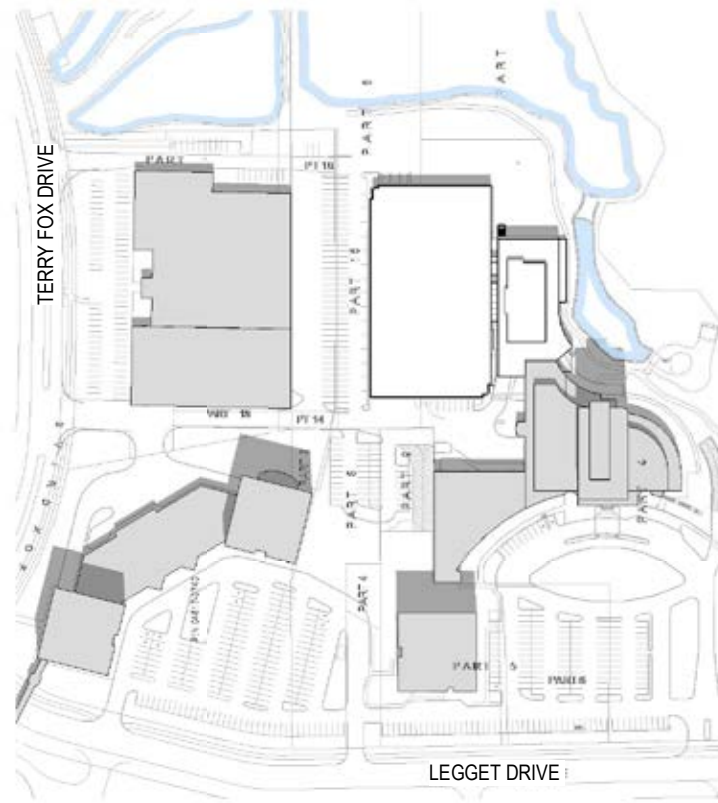
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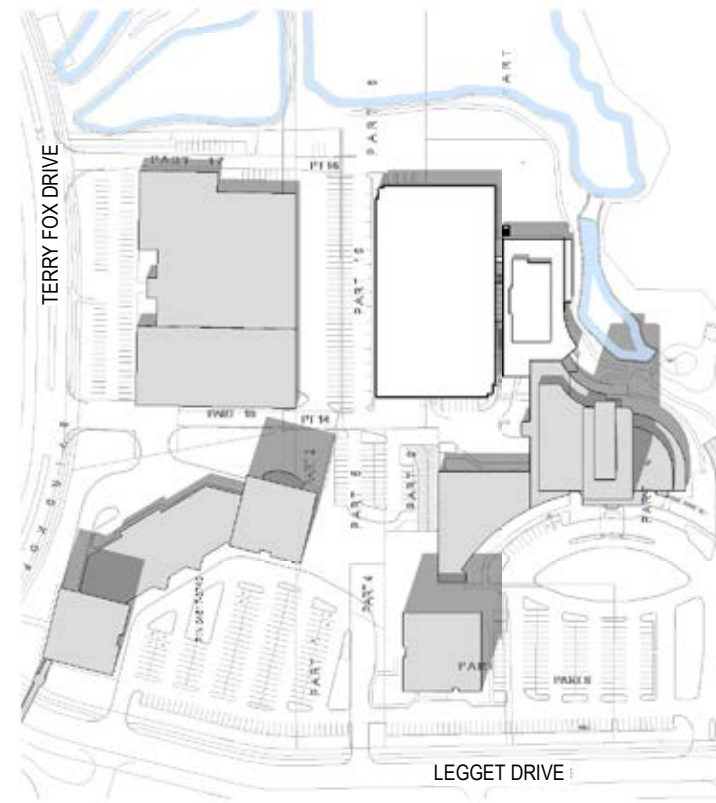
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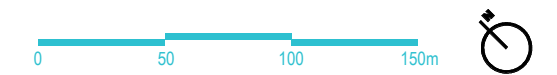


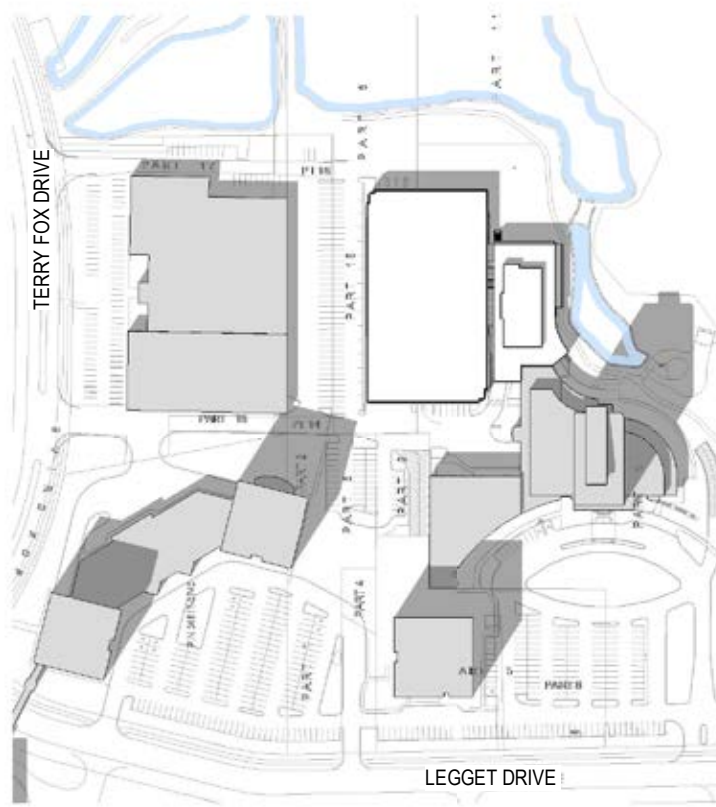
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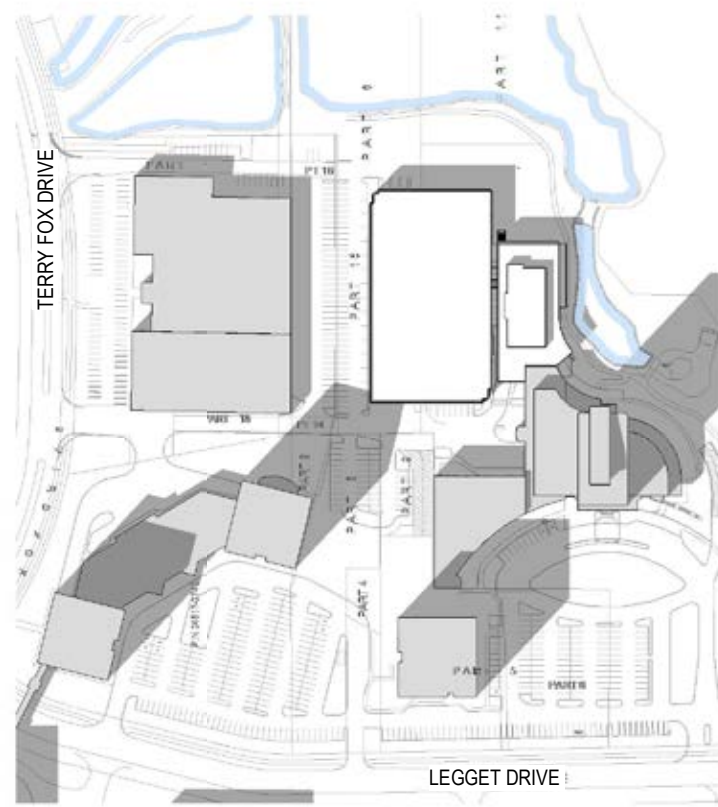
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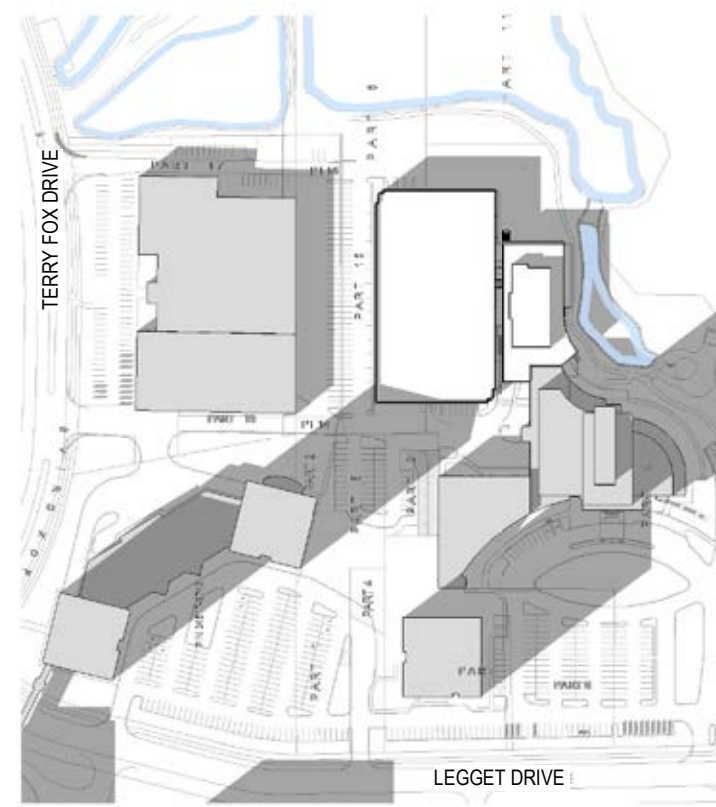




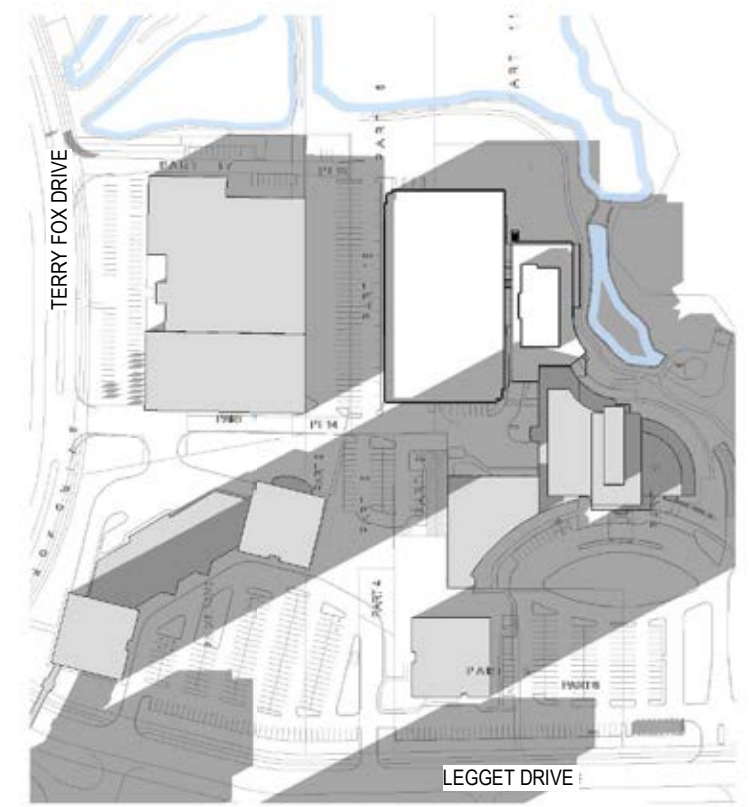
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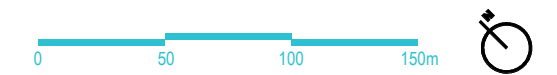


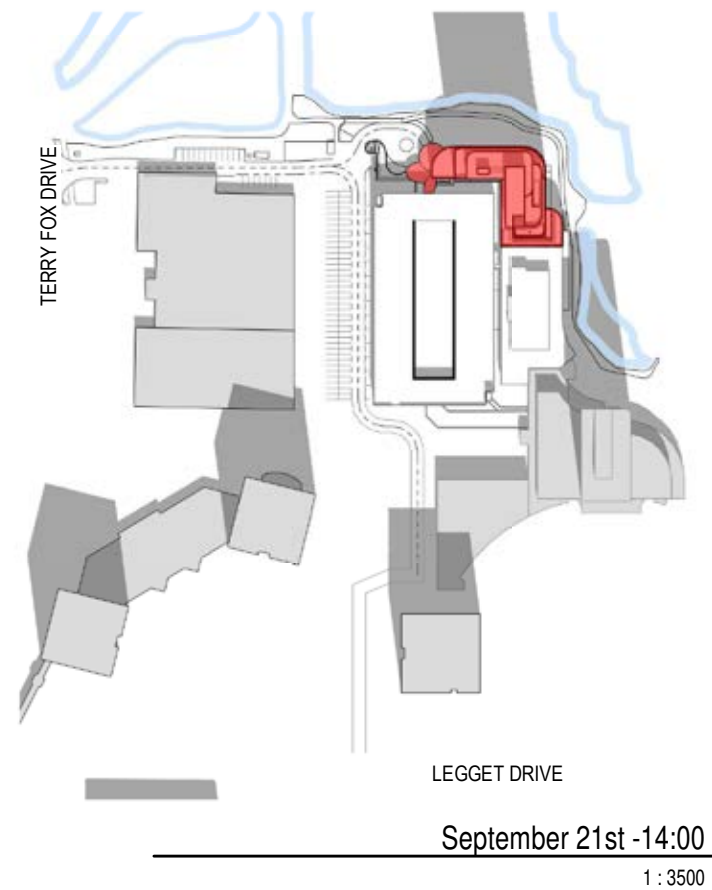
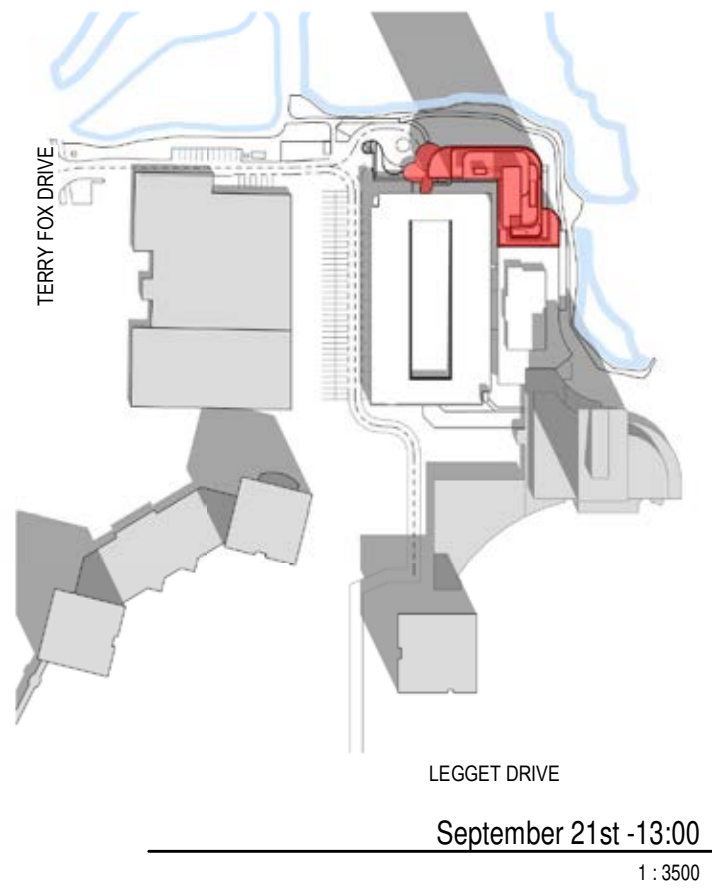
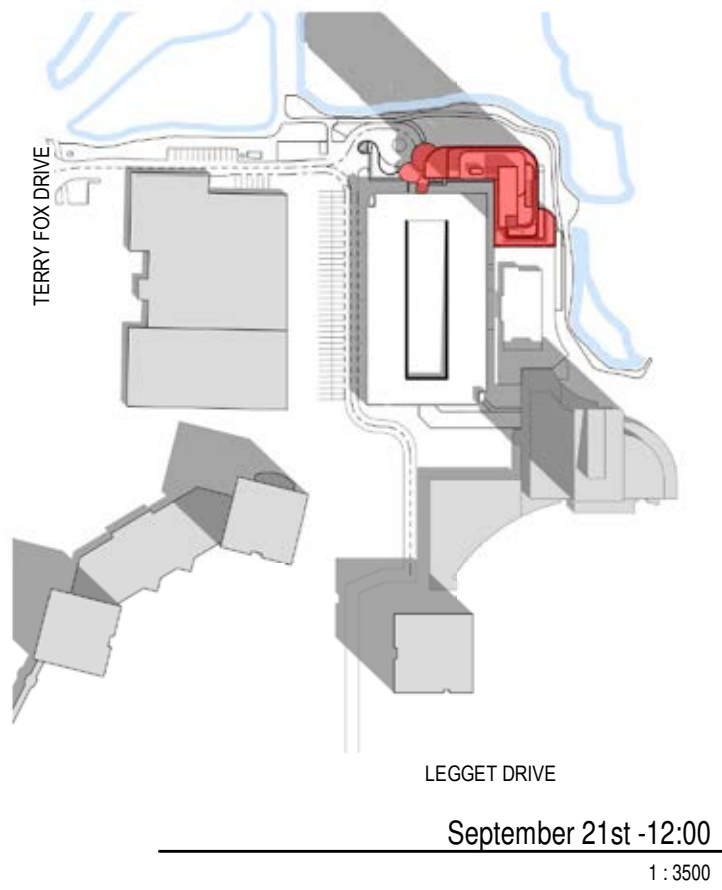
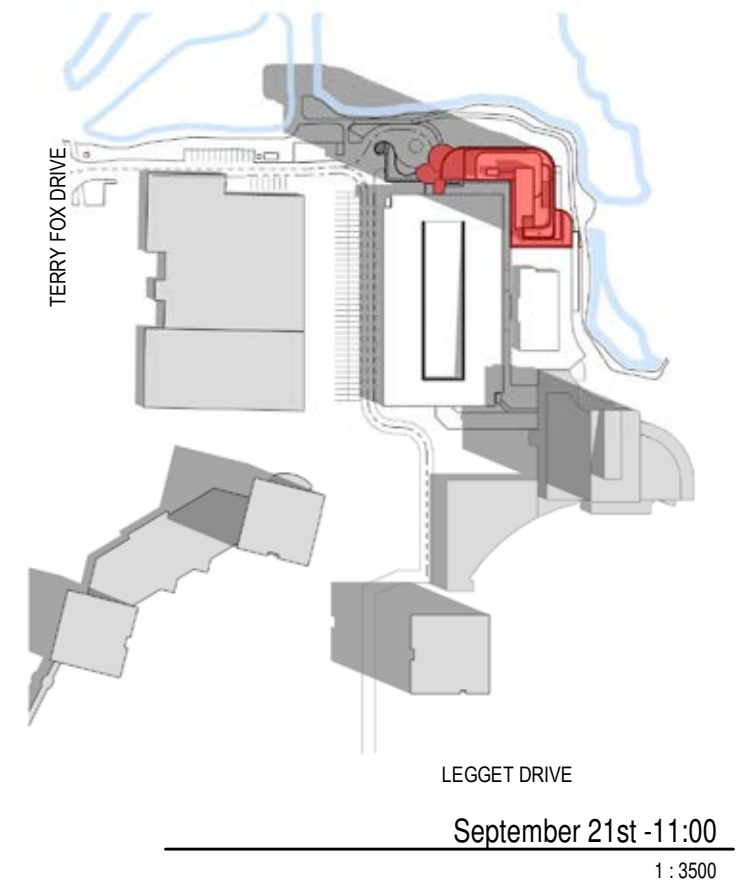
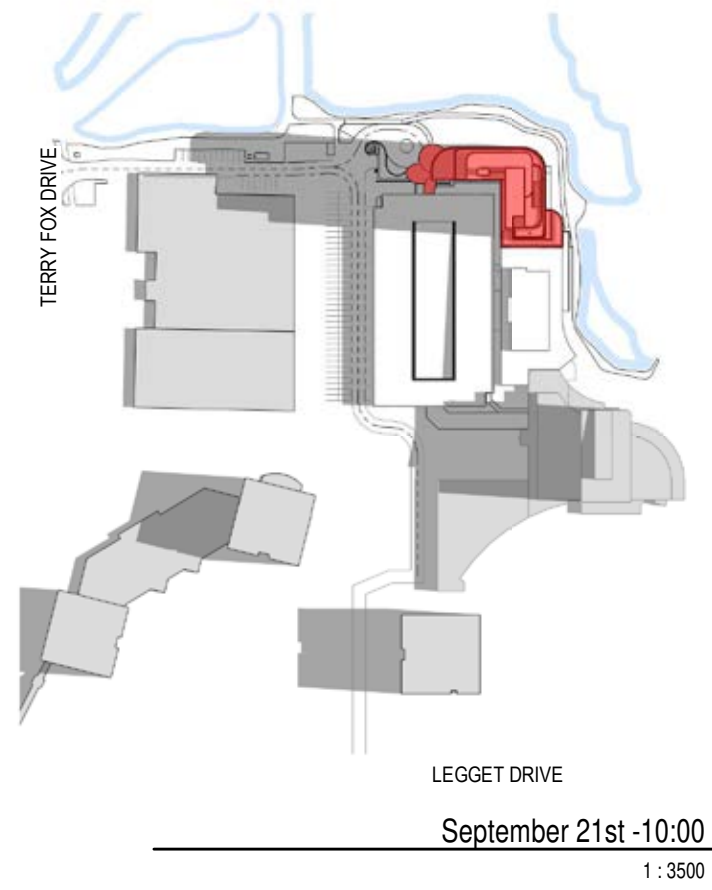
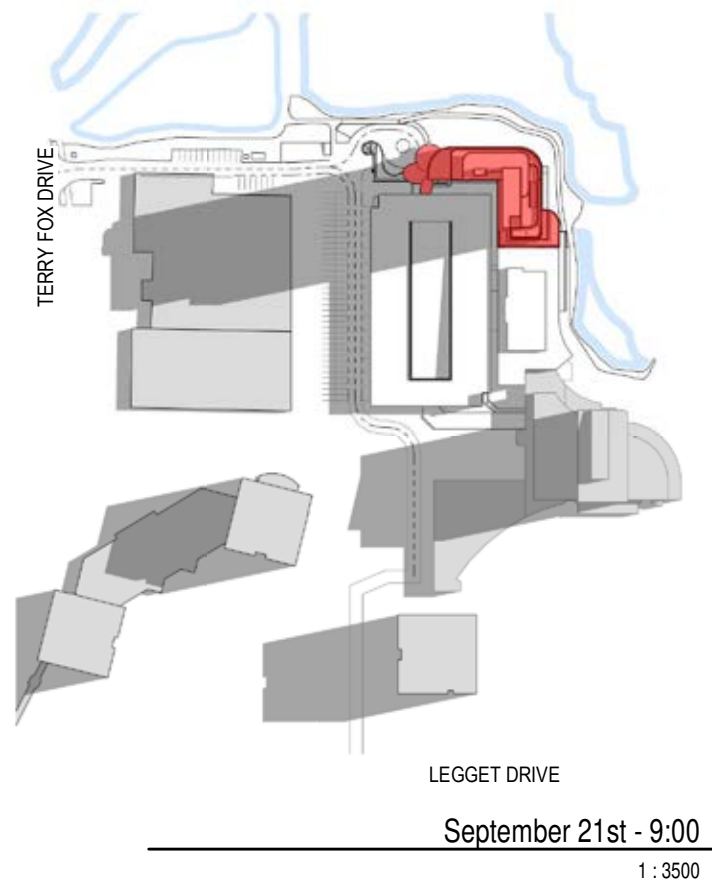
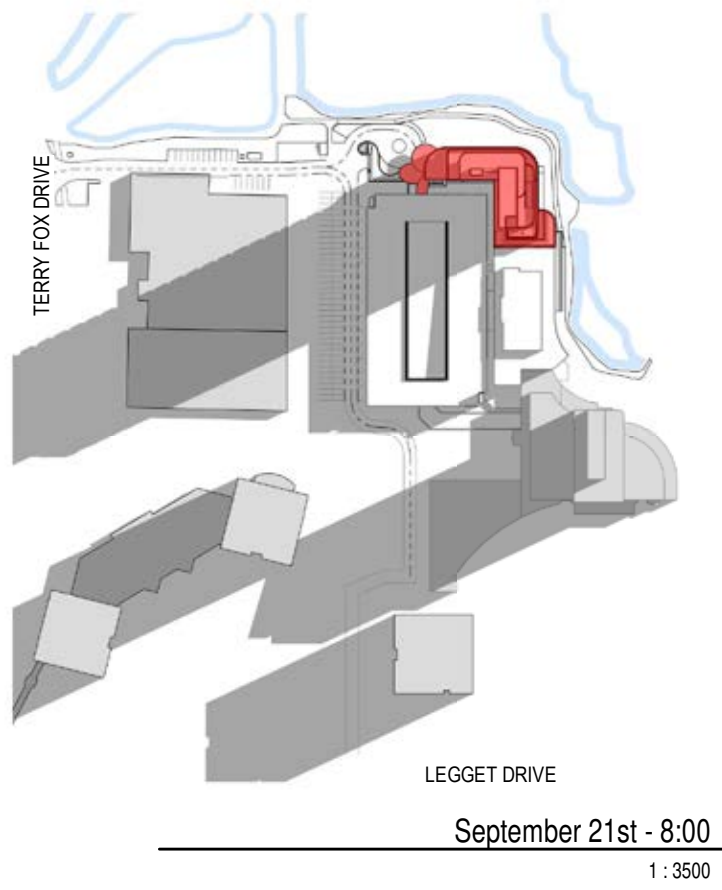
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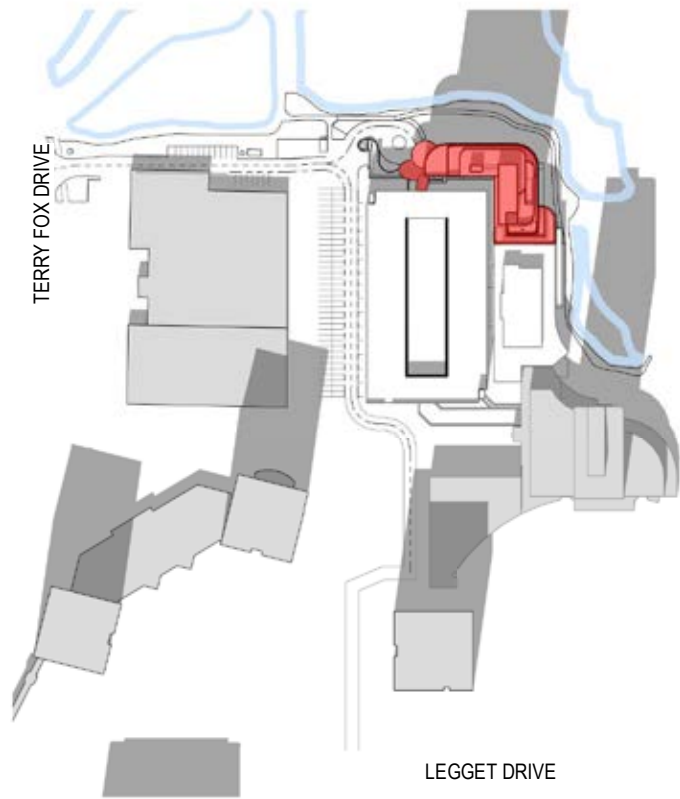




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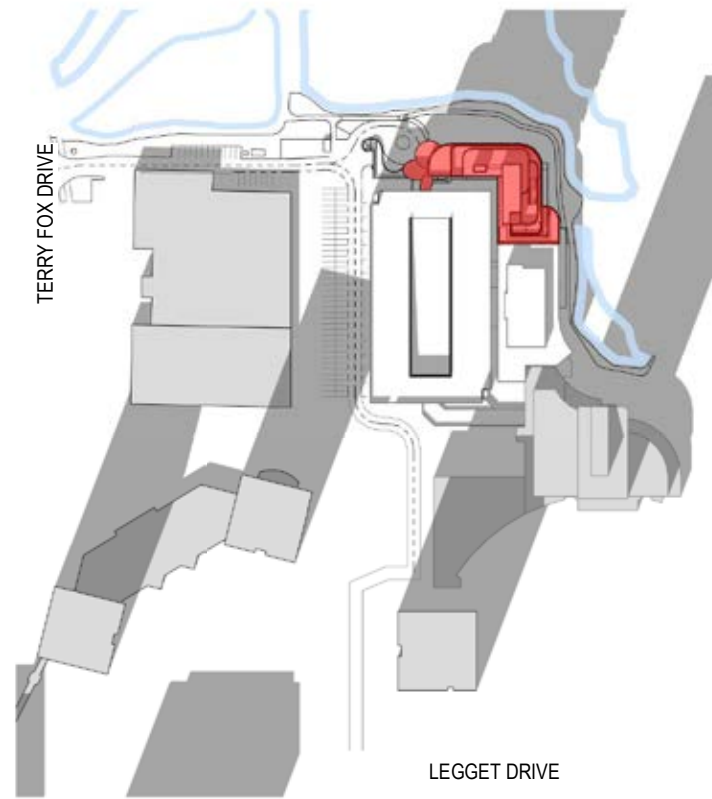
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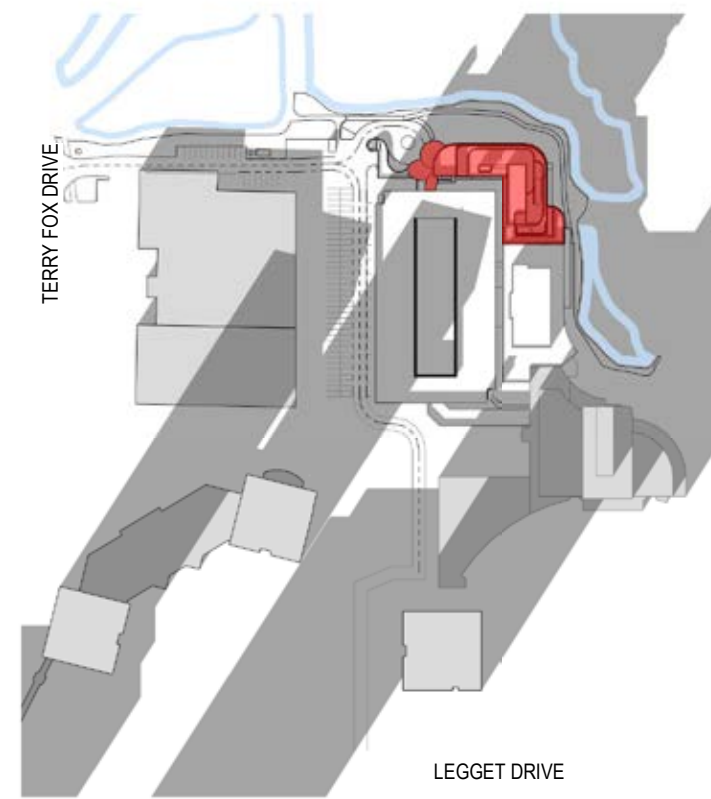
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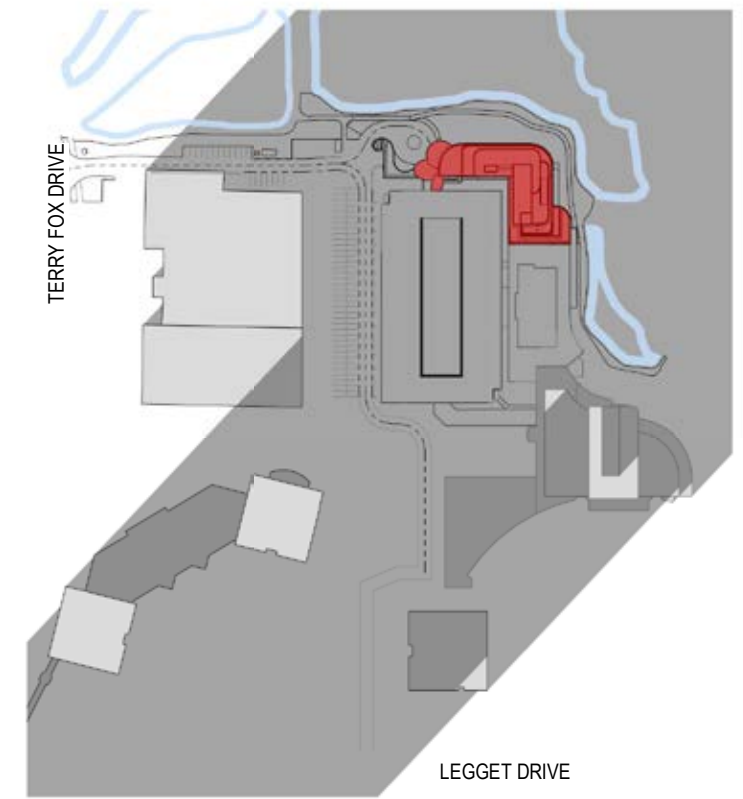
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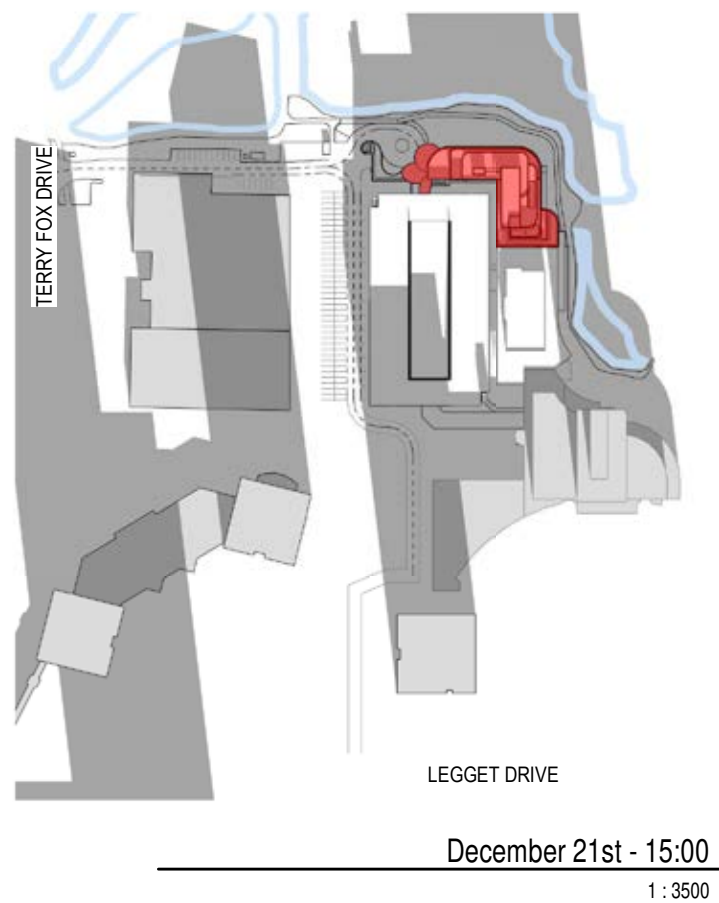
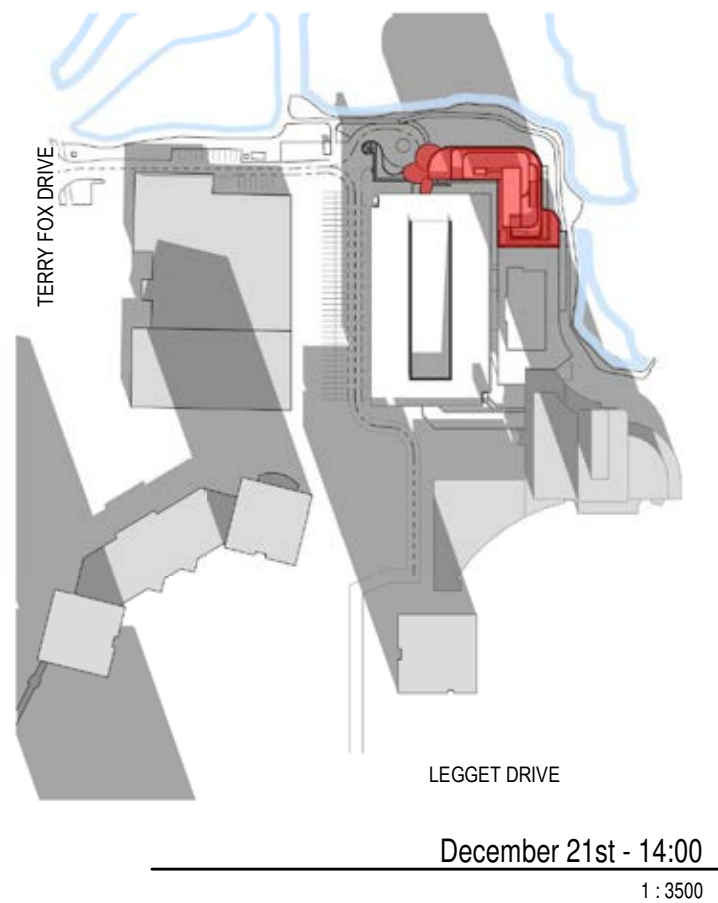
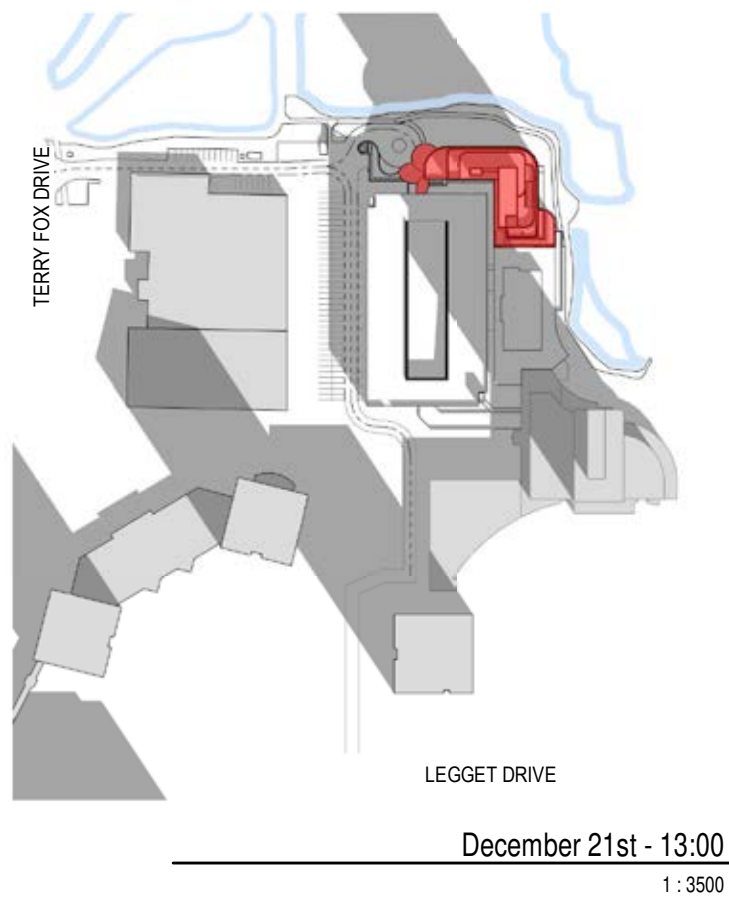
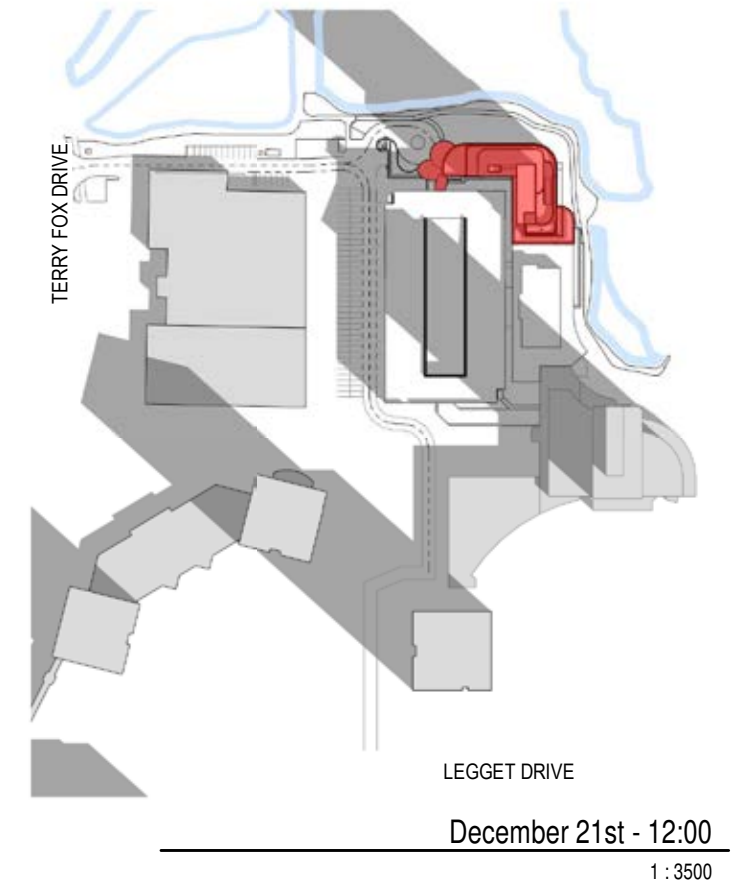
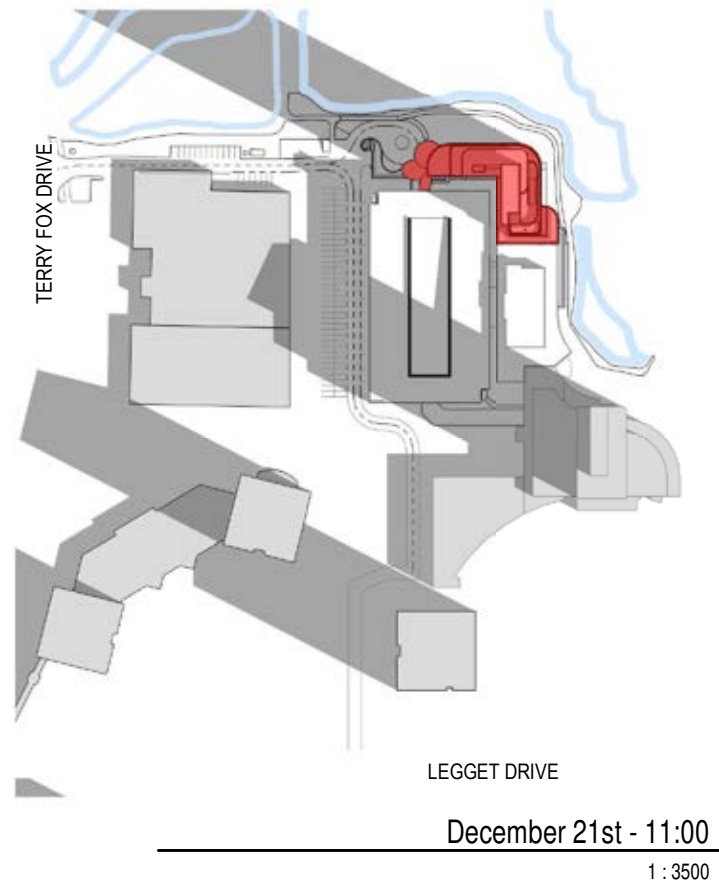
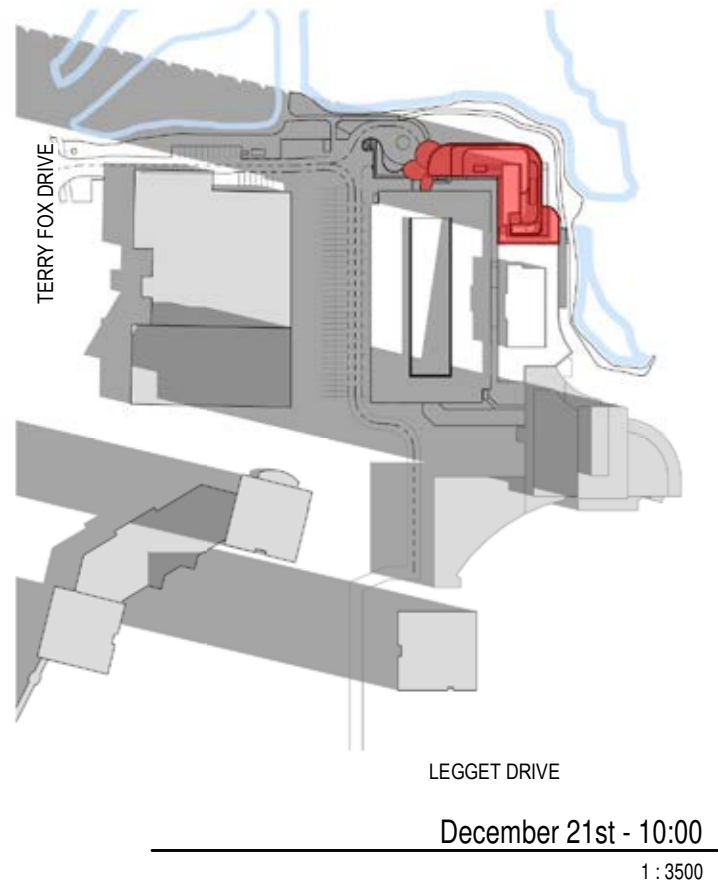
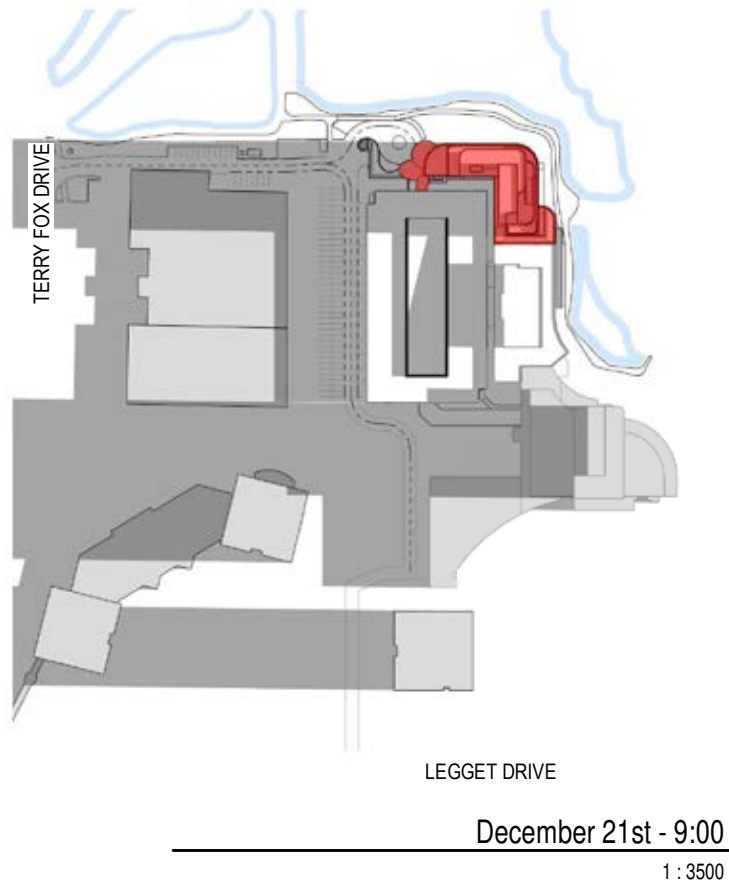


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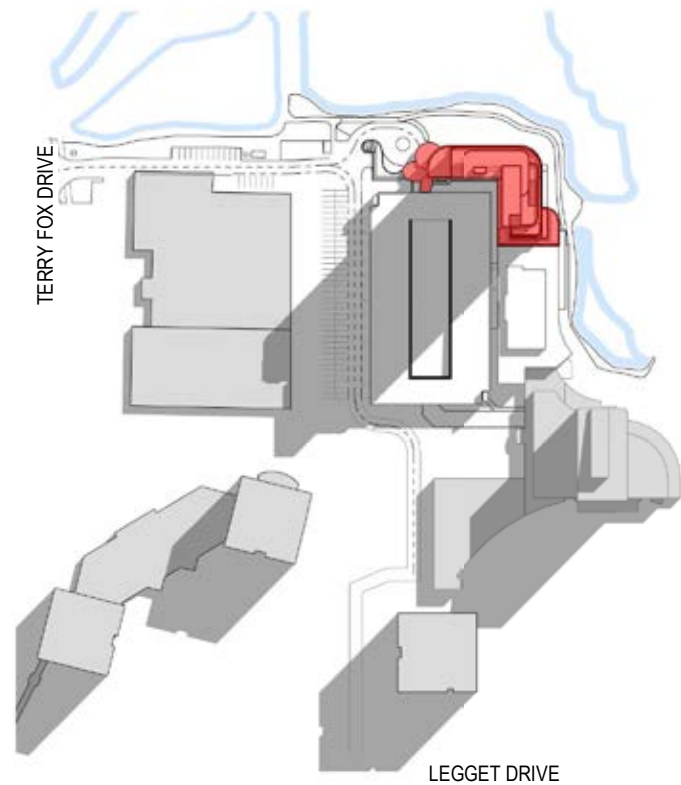
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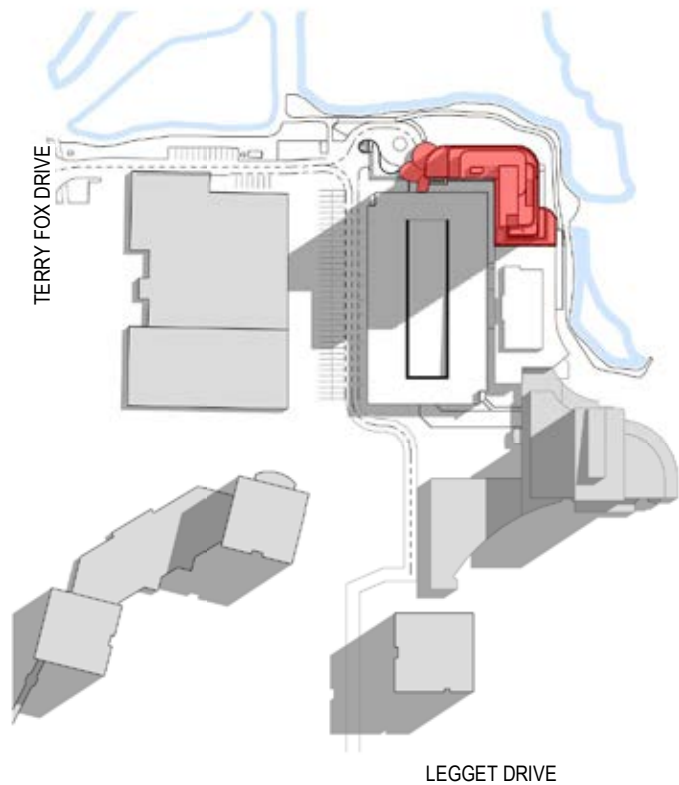
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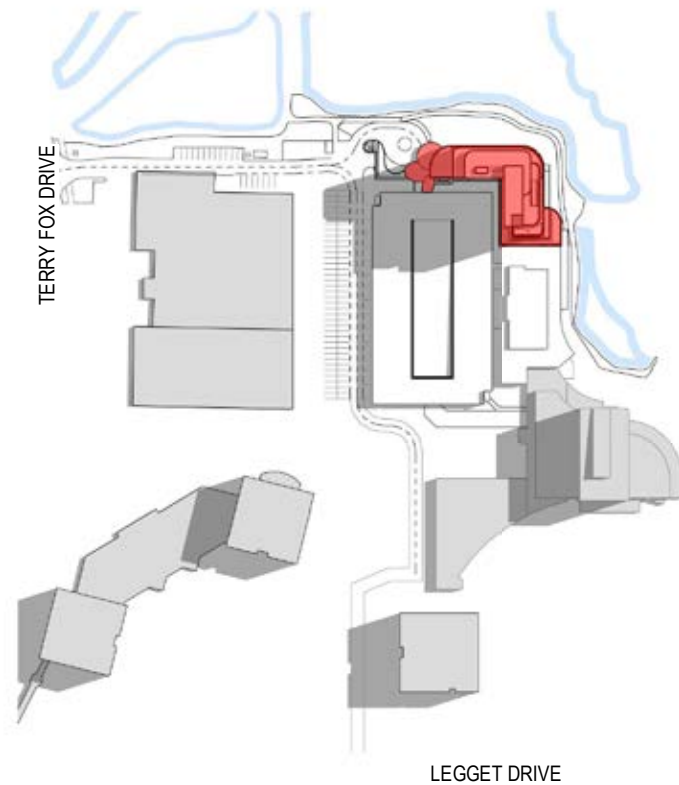
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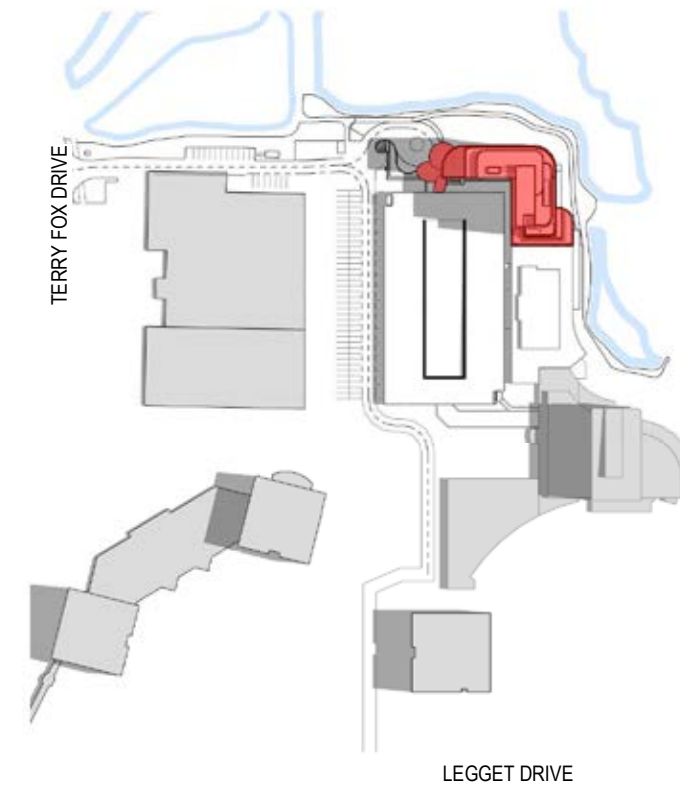
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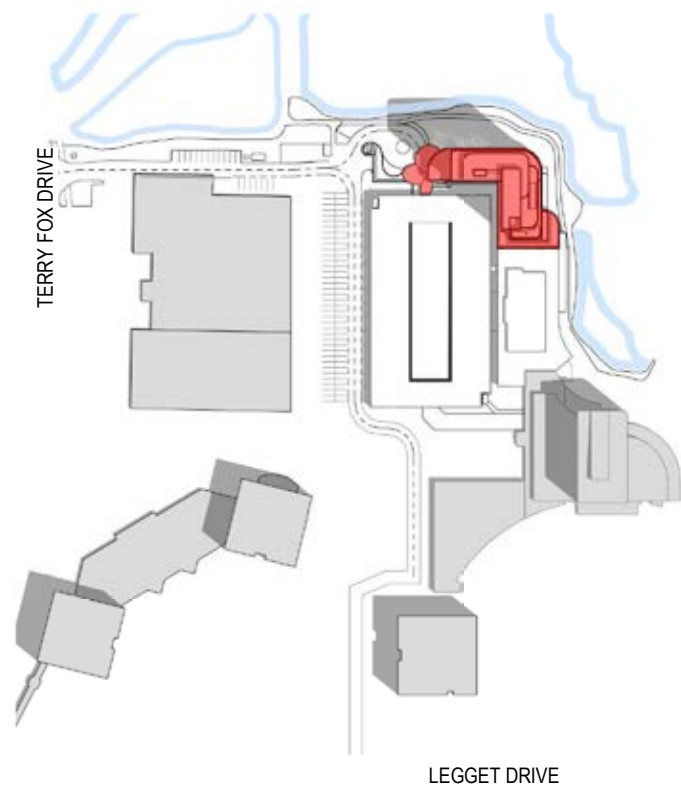
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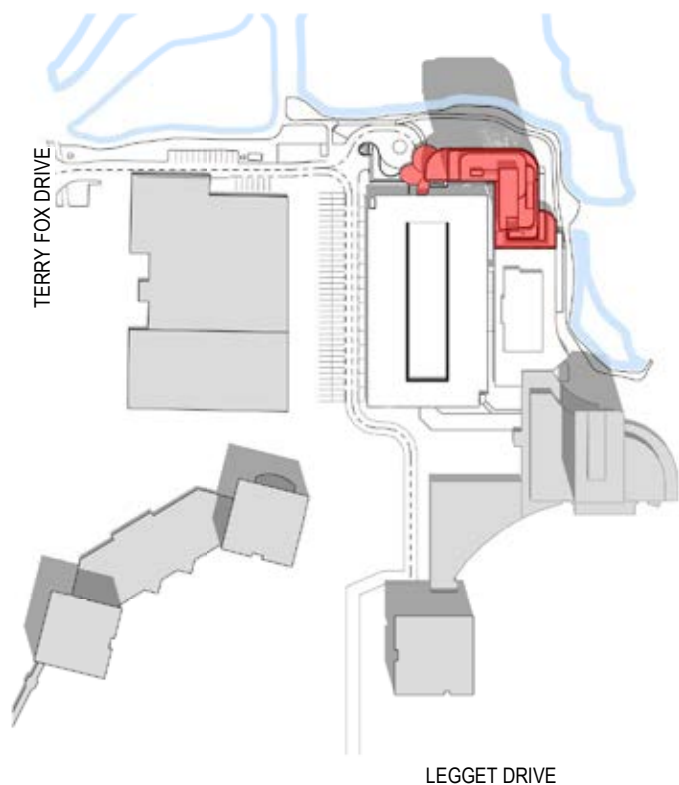
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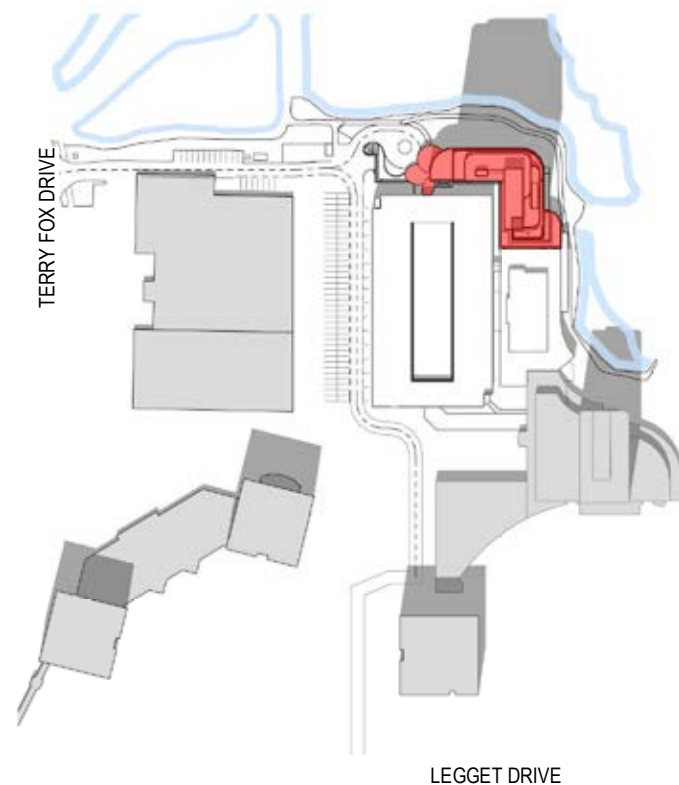
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1 : 3500



June 21st - 13:00

1 : 3500

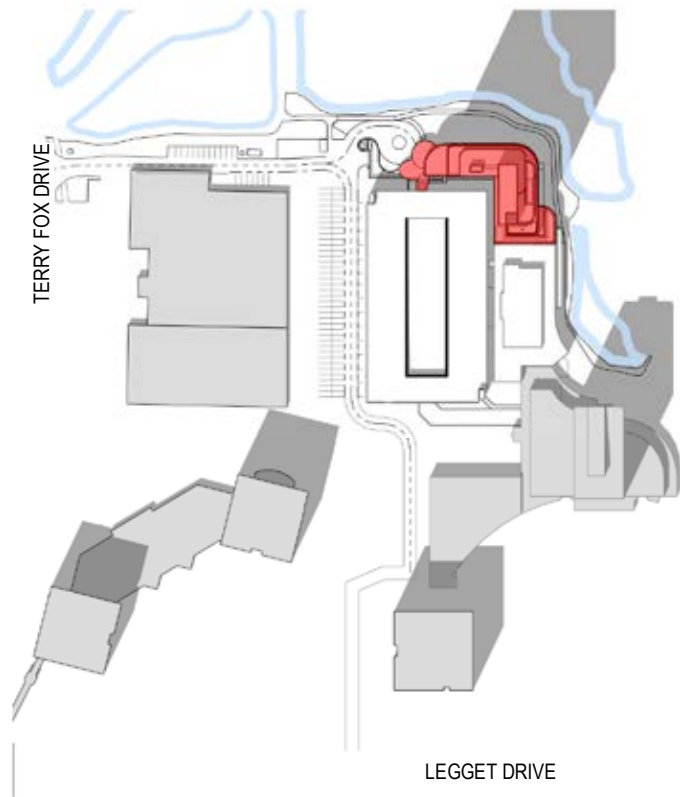


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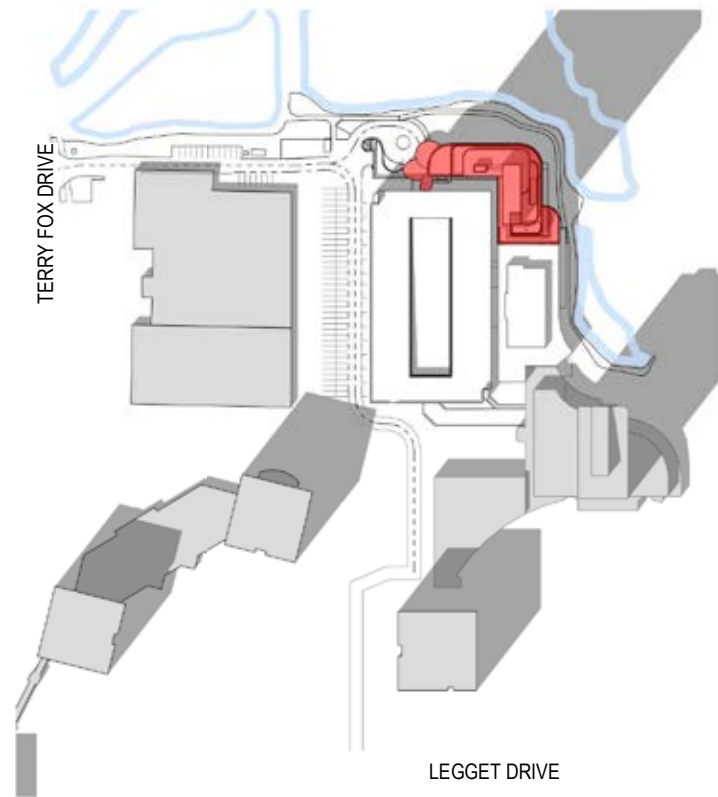
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SUN RISE / SUN SET / SOLAR NOON
5:15 / 20:55 / 13:05

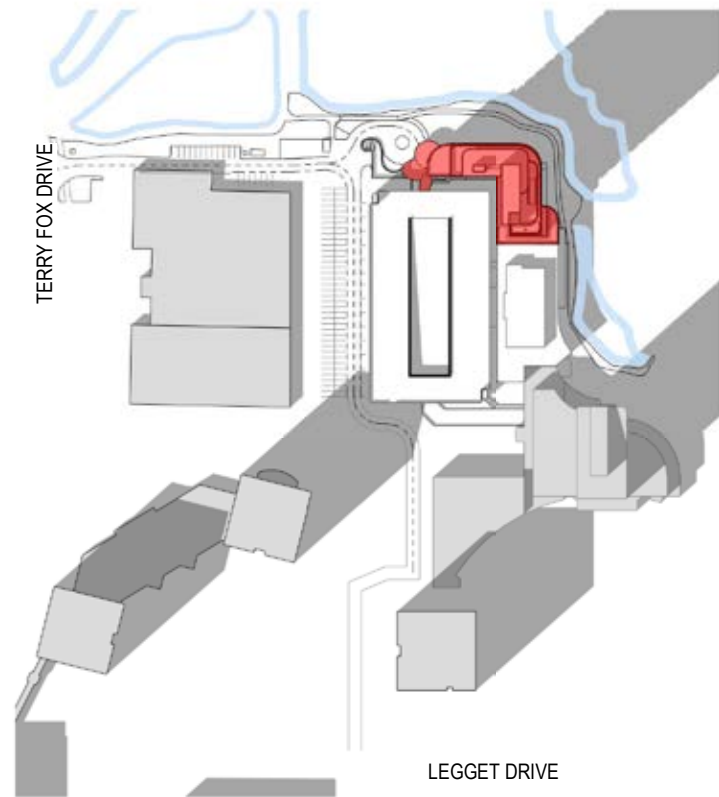




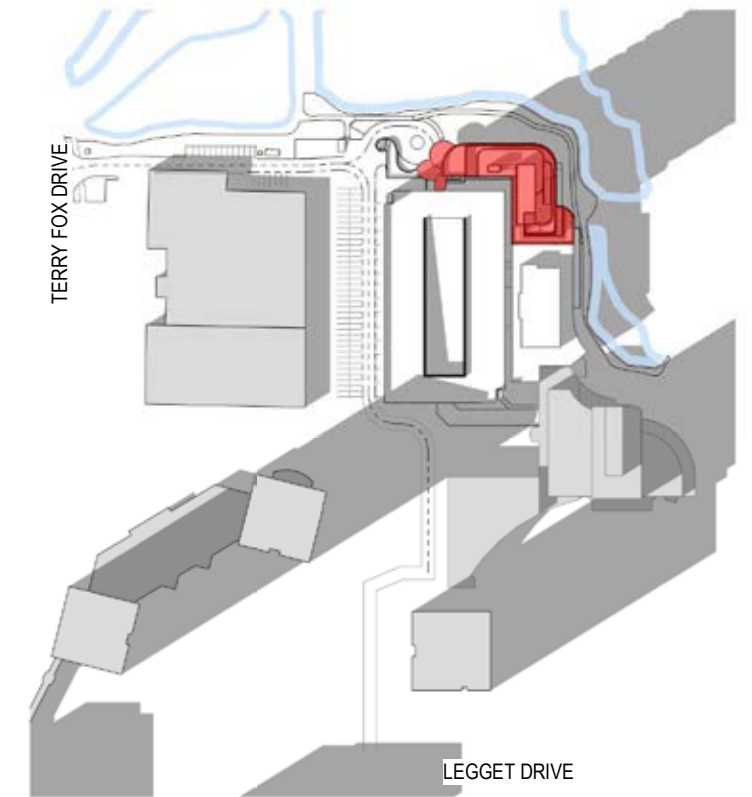
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June 21st - 16:00
1:3500

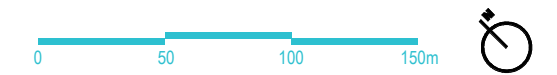


June 21st - 17:00
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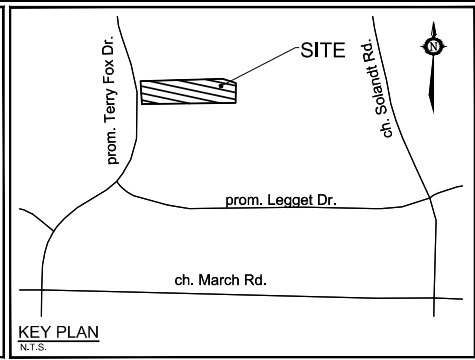
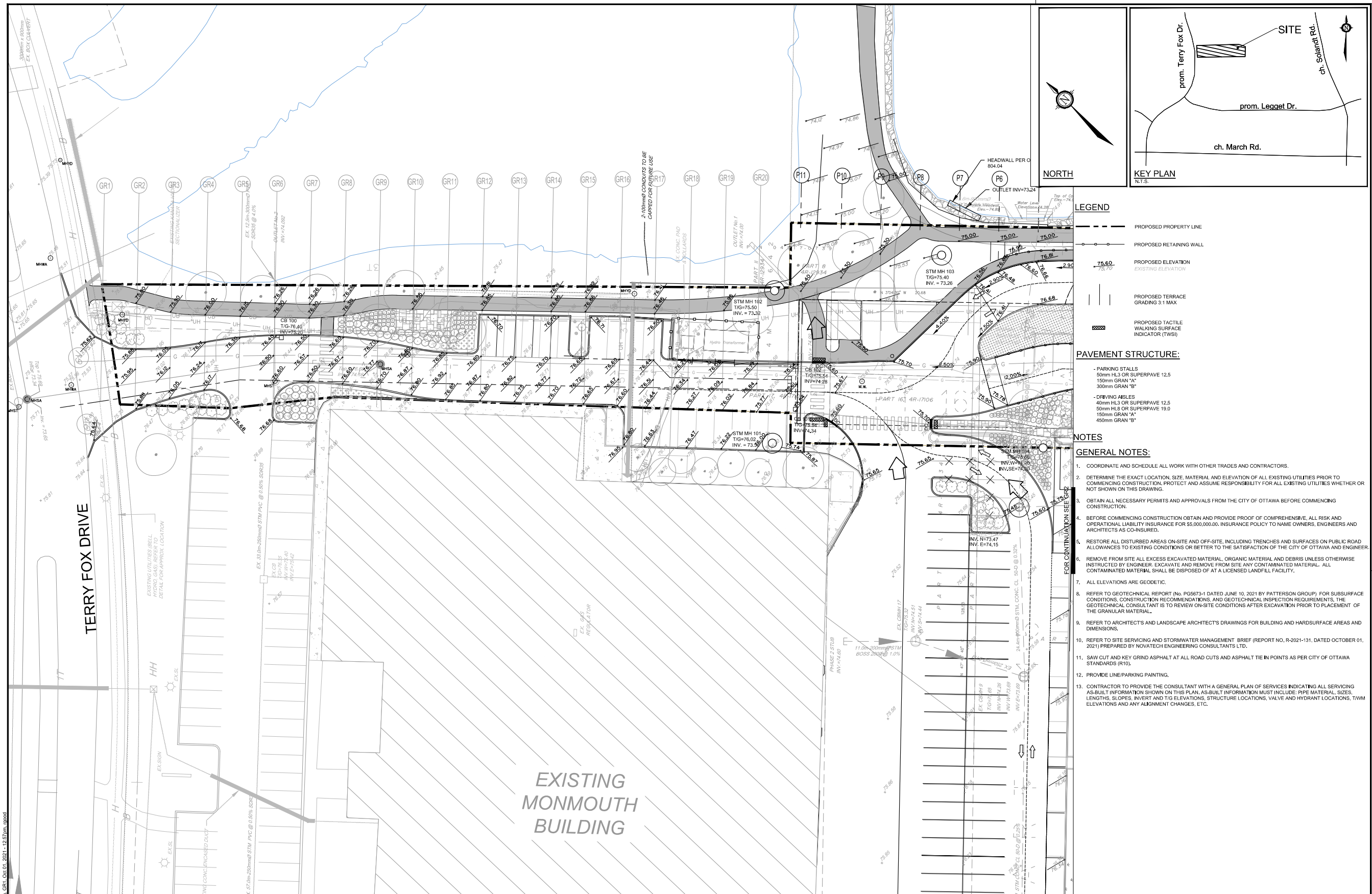
June 21st - 18:00
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SUN RISE / SUN SET / SOLAR NOON
5:15 / 20:55 / 13:05





A N N E X



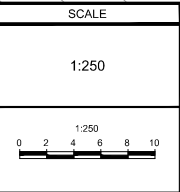
- LEGEND**
- PROPOSED PROPERTY LINE
 - PROPOSED RETAINING WALL
 - 75.60
75.70 PROPOSED ELEVATION
EXISTING ELEVATION
 - PROPOSED TERRACE
GRADING 3:1 MAX
 - PROPOSED TACTILE
WALKING SURFACE
INDICATOR (TWSI)
- PAVEMENT STRUCTURE:**
- PARKING STALLS
50mm HL3 OR SUPERPAVE 12.5
150mm GRAN "A"
300mm GRAN "B"
 - DRIVING AISLES
40mm HL3 OR SUPERPAVE 12.5
50mm HL3 OR SUPERPAVE 19.0
150mm GRAN "A"
450mm GRAN "B"

- NOTES**
- GENERAL NOTES:**
1. COORDINATE AND SCHEDULE ALL WORK WITH OTHER TRADES AND CONTRACTORS.
 2. DETERMINE THE EXACT LOCATION, SIZE, MATERIAL AND ELEVATION OF ALL EXISTING UTILITIES PRIOR TO COMMENCING CONSTRUCTION. PROTECT AND ASSUME RESPONSIBILITY FOR ALL EXISTING UTILITIES WHETHER OR NOT SHOWN ON THIS DRAWING.
 3. OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF OTTAWA BEFORE COMMENCING CONSTRUCTION.
 4. BEFORE COMMENCING CONSTRUCTION OBTAIN AND PROVIDE PROOF OF COMPREHENSIVE ALL RISK AND OPERATIONAL LIABILITY INSURANCE FOR \$5,000,000.00. INSURANCE POLICY TO NAME OWNERS, ENGINEERS AND ARCHITECTS AS CO-INSURED.
 5. RESTORE ALL DISTURBED AREAS ON-SITE AND OFF-SITE, INCLUDING TRENCHES AND SURFACES ON PUBLIC ROAD ALLOWANCES TO EXISTING CONDITIONS OR BETTER TO THE SATISFACTION OF THE CITY OF OTTAWA AND ENGINEER.
 6. REMOVE FROM SITE ALL EXCESS EXCAVATED MATERIAL, ORGANIC MATERIAL AND DEBRIS UNLESS OTHERWISE INSTRUCTED BY ENGINEER. EXCAVATE AND REMOVE FROM SITE ANY CONTAMINATED MATERIAL. ALL CONTAMINATED MATERIAL SHALL BE DISPOSED OF AT A LICENSED LANDFILL FACILITY.
 7. ALL ELEVATIONS ARE GEODETIC.
 8. REFER TO GEOTECHNICAL REPORT (No. PG5673-1 DATED JUNE 10, 2021 BY PATTERSON GROUP) FOR SUBSURFACE CONDITIONS, CONSTRUCTION RECOMMENDATIONS, AND GEOTECHNICAL INSPECTION REQUIREMENTS, THE GEOTECHNICAL CONSULTANT IS TO REVIEW ON-SITE CONDITIONS AFTER EXCAVATION PRIOR TO PLACEMENT OF THE GRANULAR MATERIAL.
 9. REFER TO ARCHITECTS AND LANDSCAPE ARCHITECT'S DRAWINGS FOR BUILDING AND HARDSURFACE AREAS AND DIMENSIONS.
 10. REFER TO SITE SERVICING AND STORMWATER MANAGEMENT BRIEF (REPORT NO. R-2021-131, DATED OCTOBER 01, 2021) PREPARED BY NOVATECH ENGINEERING CONSULTANTS LTD.
 11. SAW CUT AND KEY GRIND ASPHALT AT ALL ROAD CUTS AND ASPHALT TIE IN POINTS AS PER CITY OF OTTAWA STANDARDS (R10).
 12. PROVIDE LINE/PARKING PAINTING.
 13. CONTRACTOR TO PROVIDE THE CONSULTANT WITH A GENERAL PLAN OF SERVICES INDICATING ALL SERVICING AS-BUILT INFORMATION SHOWN ON THIS PLAN. AS-BUILT INFORMATION MUST INCLUDE: PIPE MATERIAL, SIZES, LENGTHS, SLOPES, INVERT AND TIG ELEVATIONS, STRUCTURE LOCATIONS, VALVE AND HYDRANT LOCATIONS, TWM ELEVATIONS AND ANY ALIGNMENT CHANGES, ETC.

NOTE:
THE POSITION OF ALL POLE LINES, CONDUITS, WATERMANS, SEWERS AND OTHER UNDERGROUND AND OVERGROUND UTILITIES AND STRUCTURES IS NOT NECESSARILY SHOWN ON THE CONTRACT DRAWINGS, AND WHERE SHOWN, THE ACCURACY OF THE POSITION OF SUCH UTILITIES AND STRUCTURES IS NOT GUARANTEED. BEFORE STARTING WORK, DETERMINE THE EXACT LOCATION OF ALL SUCH UTILITIES AND STRUCTURES AND ASSUME ALL LIABILITY FOR DAMAGE TO THEM.

Owner:
Wesley Clover International
c/o Richard Goldstein
KRP Properties
300-555 Legget Drive, Tower B,
Kanata, ON K2K 2K3
Phone: (613) 591-0594

No.	REVISION	DATE	BY
1.	ISSUED WITH ZONING AND SITE PLAN APPLICATION	OCT 01/21	GJM



FOR REVIEW ONLY

DESIGN	GJM
CHECKED	GJM
DRAWN	RJG
CHECKED	GJM
APPROVED	GJM

NOVATECH
Engineers, Planners & Landscape Architects
Suite 200, 240 Michael Cowland Drive
Ottawa, Ontario, Canada K2M 1P6
Telephone: (613) 254-9643
Facsimile: (613) 254-5867
Website: www.novatech-eng.com

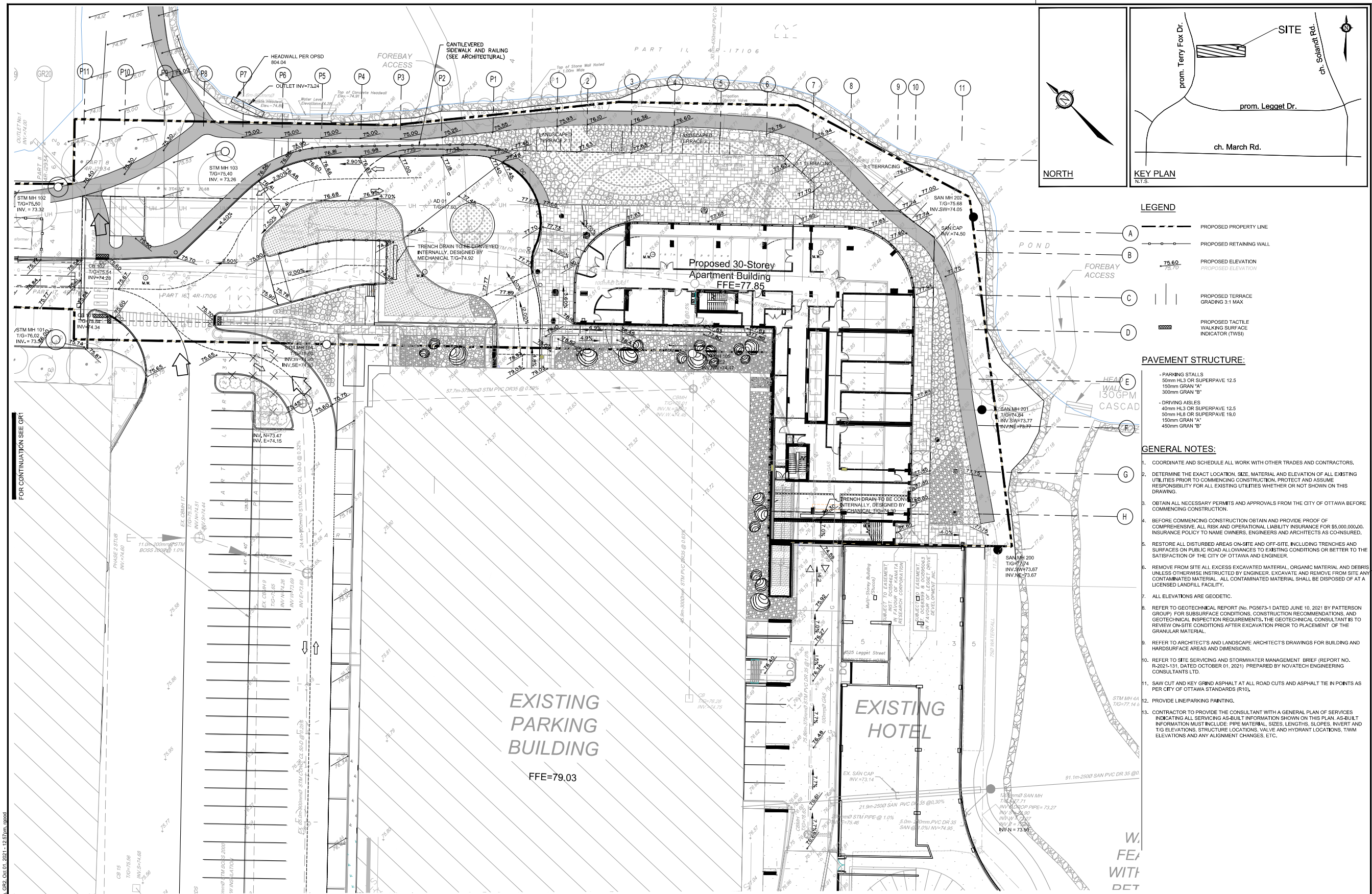
LOCATION
CITY OF OTTAWA
BROOKSTREET APARTMENTS

DRAWING NAME
GRADING PLAN

PROJECT NO.
120202-00

REV
REV 1

DRAWING NO.
120202-GR1



NOTE:
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300-555 Legget Drive, Tower B,
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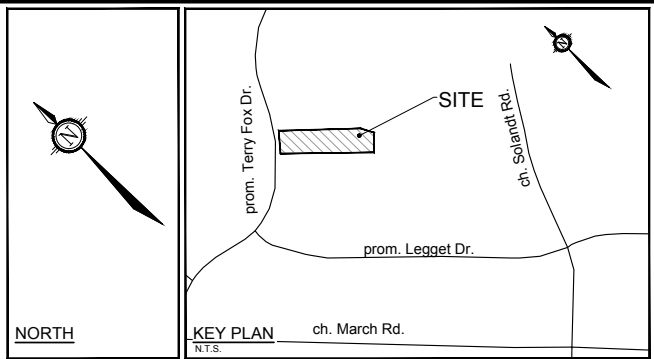
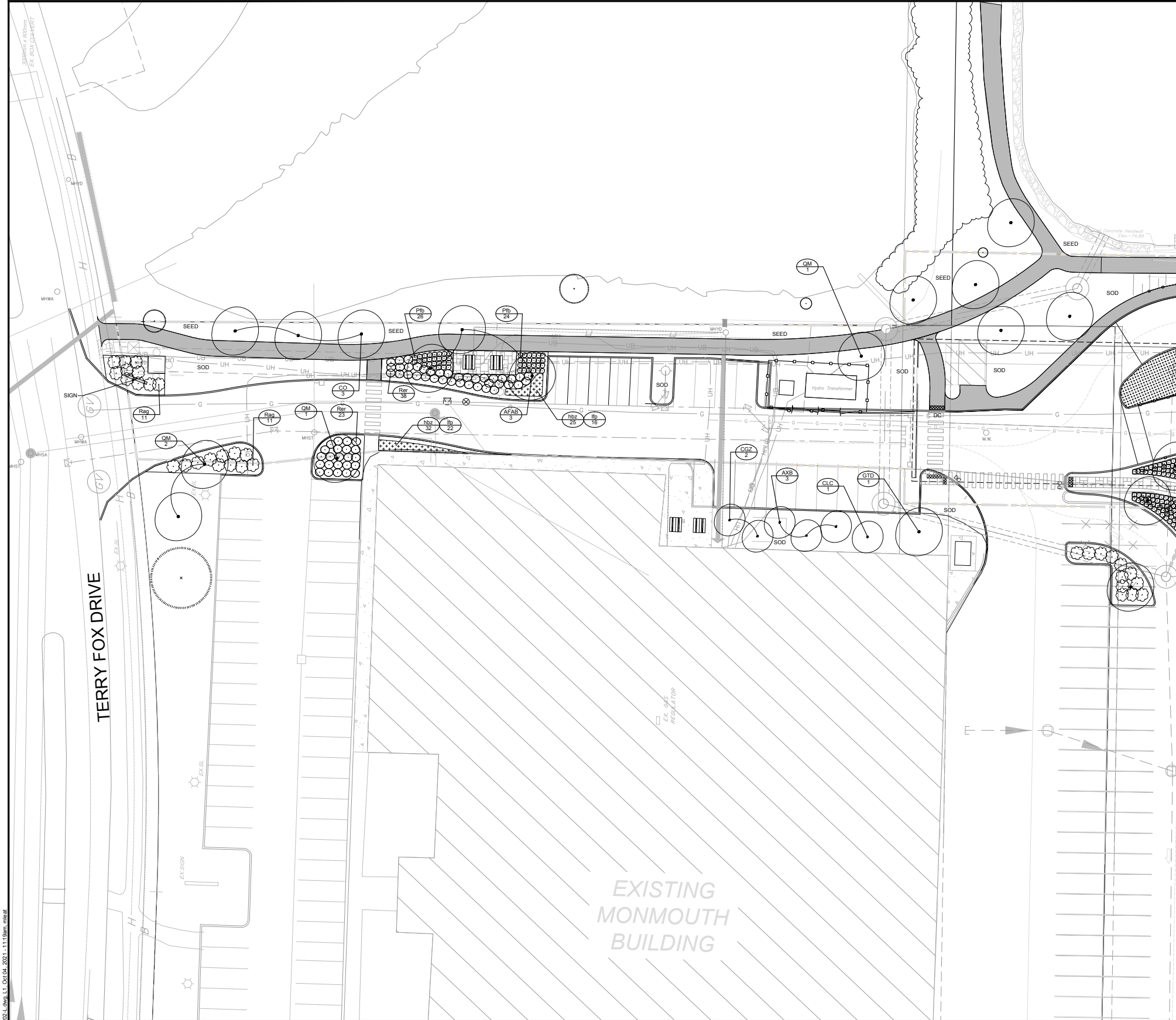
No.	REVISION	DATE	BY
1.	ISSUED WITH ZONING AND SITE PLAN APPLICATION	OCT 01/21	GJM

SCALE
1:250
0 2 4 6 8 10

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DESIGN	GJM
CHECKED	GJM
DRAWN	RJG
CHECKED	GJM
APPROVED	GJM



LOCATION CITY OF OTTAWA BROOKSTREET APARTMENTS	PROJECT NO. 120202-00
DRAWING NAME GRADING PLAN	REV REV 1
	DRAWING NO. 120202-GR2



- LEGEND**
- PROPOSED PAVERS
 - RIVER STONE
 - SOD
 - PERENNIALS
 - SEDUM MATS
 - PROPOSED DECIDUOUS TREE
 - EXISTING TREE TO REMAIN
 - PROPOSED SHRUBS
 - SPECIES (SEE PLANT LIST)
 - QUANTITY
 - WOOD PRIVACY FENCE 1.8m HT

- GENERAL**
1. Read and interpret this drawing/ drawing set in conjunction with all the contract details and specifications, including related civil, utility, structural, architectural, mechanical, electrical, environmental, geotechnical, and survey information.
 2. The Contractor is to determine the exact location, size, material, and elevation of all existing utilities prior to commencing construction. Protect and assume responsibility for all existing utilities regardless of being shown on the drawings.
 3. It is essential to use the plans and details in conjunction with the specifications and notes.
 4. Do not scale drawings. Work to dimensions only.
 5. Protect all existing and retained vegetation for the duration of construction according to the contract details and specifications.
 6. Reinstatement all areas and items damaged or disturbed, beyond the Limit of Work, because of construction activities, including but not limited to construction staging areas, haul roads, stockpile areas, etc. to the satisfaction of the Consultant. Unless otherwise noted, Contractor is to reinstate all areas to pre-construction condition or better to the satisfaction of the Contract Administrator.

- PLANTING**
1. Plant material to be No. 1 Grade and is to comply with Canadian Standards for Nursery Stock (latest edition) published by the Canadian Nursery Landscape Association. Use structurally sound plant material with strong fibrous root system free of disease, defects, and injuries. Use trees with straight trunks, well and characteristically branched for species. Obtain approval from consultant of plant material at source prior to digging. All trees and shrubs to be container grown, potted, W/B or B/B, as indicated on Plant List. Bare root plants are only acceptable for certain species and as approved by the Landscape Architect.
 2. Plant material substitutions are not permitted without the written approval from the Consultant, with 48 hours notice, prior to shipping plant material.
 3. Plant locations are schematic / approximate only. Contractor is to stake out locations on site for approval by the Landscape Architect prior to installation.
 4. The illustrated number of plants shown in the Planting Plan supersedes the estimated number in the Plant List. Contractor to report any discrepancies to the Landscape Architect prior to installation. Contractor will assume full responsibility if the Landscape Architect is not notified.
 5. Ensure trees are thoroughly watered following planting. Monitor material and ensure adequate moisture until acceptance.
 6. In heavy clay or poorly drained soils, set root ball with root collar 75-100mm higher than finished grade.
 7. Approved topsoil depths are as follows:
 - a. Plant Beds - 450mm continuous depth. Applies to shrubs, perennials, vines, and groundcovers.
 - b. Sod/Seed Areas - 100mm depth.
 - c. Reforestation - 300mm depth.
 8. Sod to be No. 1 Kentucky Bluegrass Sod grown from minimum mixture of 3 Kentucky Bluegrass cultivars. Quality and source are to comply with Canadian Standards for Nursery Stock, Section 17, (latest edition) published by the Canadian Nursery Landscape Nursery Landscape Association.
 9. Install a 1.2m sod strip adjacent to all hard surfaces. Note, sod is not typically graphically shown on plans.
 10. Apply the following mineral fertilizer unless soil tests show other requirements:
 - a. Plant Beds - (8-32-16), i.e. 8% Nitrogen, 32% Phosphorus, 16% Potash per manufacturer specifications.
 - b. Sod Areas - (8-32-16), i.e. 8% Nitrogen, 32% Phosphorus, 16% Potash at a rate of 350kg/ha.
 11. Where applicable, for any plant areas with a mix of species/cultivars notes, Contractor is to cluster like plants in groups of 3-5 and evenly distribute these in the noted area.

12002 - Plant List - L1

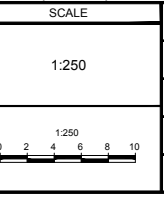
KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	COND	SPACING
ADAB	3	Acer x Freeman's Hybrid	Fractal Maple	50mm Cal	WB	As Shown
ARB	3	Artemisia x grandiflora Ballerina	Ballarina Silvercherry	50mm Cal	WB	As Shown
CO	3	Celtis occidentalis	Hackberry	50mm Cal	WB	As Shown
COA	2	Crataegus crus-galli 'Cruzan'	Crusader Hawthorn	50mm Cal	WB	As Shown
CLC	1	Crataegus binnigata 'Crimson Cloud'	Crimson Cloud English Hawthorn	50mm Cal	WB	As Shown
GTD	1	Quercus macrocarpa 'Silver'	Silver Keeper Locust	50mm Cal	WB	As Shown
GM	4	Quercus macrocarpa	Bur Oak	50mm Cal	WB	As Shown
Deciduous Shrubs						
Pfb	50	Platanus incana White Sol'	White Sol Platania	45cm H	PT	As Shown
Rag	23	Rosa aromatica 'Glo-Low'	Glo-Low Rugosa Rose	60cm H	PT	As Shown
Rur	61	Rosa Easy Elegance SA/rage	Easy Elegance At The Stage	60cm H	PT	As Shown
Perennials						
Niz	87	Nemacallis Bonanza	Bonanza Daylily	1g	PT	45cm O-C
Rp	38	Ruellia speciosa 'Horizon Purple'	Horizon Dayflower	1g	PT	45cm O-C

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Owner:
Wesley Clover International
c/o Richard Goldstein
KIP Properties
300-555 Legget Drive, Tower B,
Kanata, ON K2K 2K3
Phone: (613) 591-0594

NOT FOR CONSTRUCTION

No.	REVISION	DATE	BY
2	ISSUED FOR SITE PLAN APPROVAL	OCT 1/21	RGJ
1	ISSUED FOR COORDINATION	AUG 31/21	RGJ



DESIGN: RGJ
CHECKED: RGJ
DRAWN: MEL
CHECKED: RGJ
APPROVED: RGJ

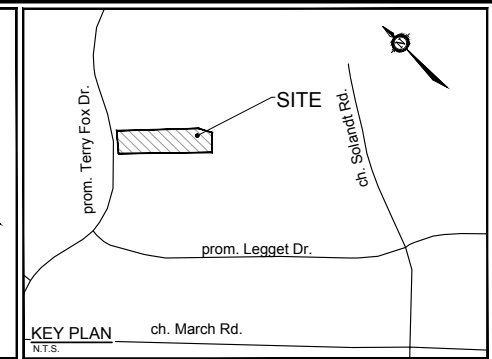
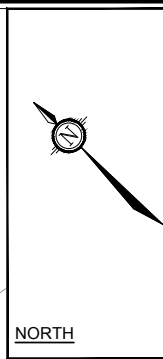
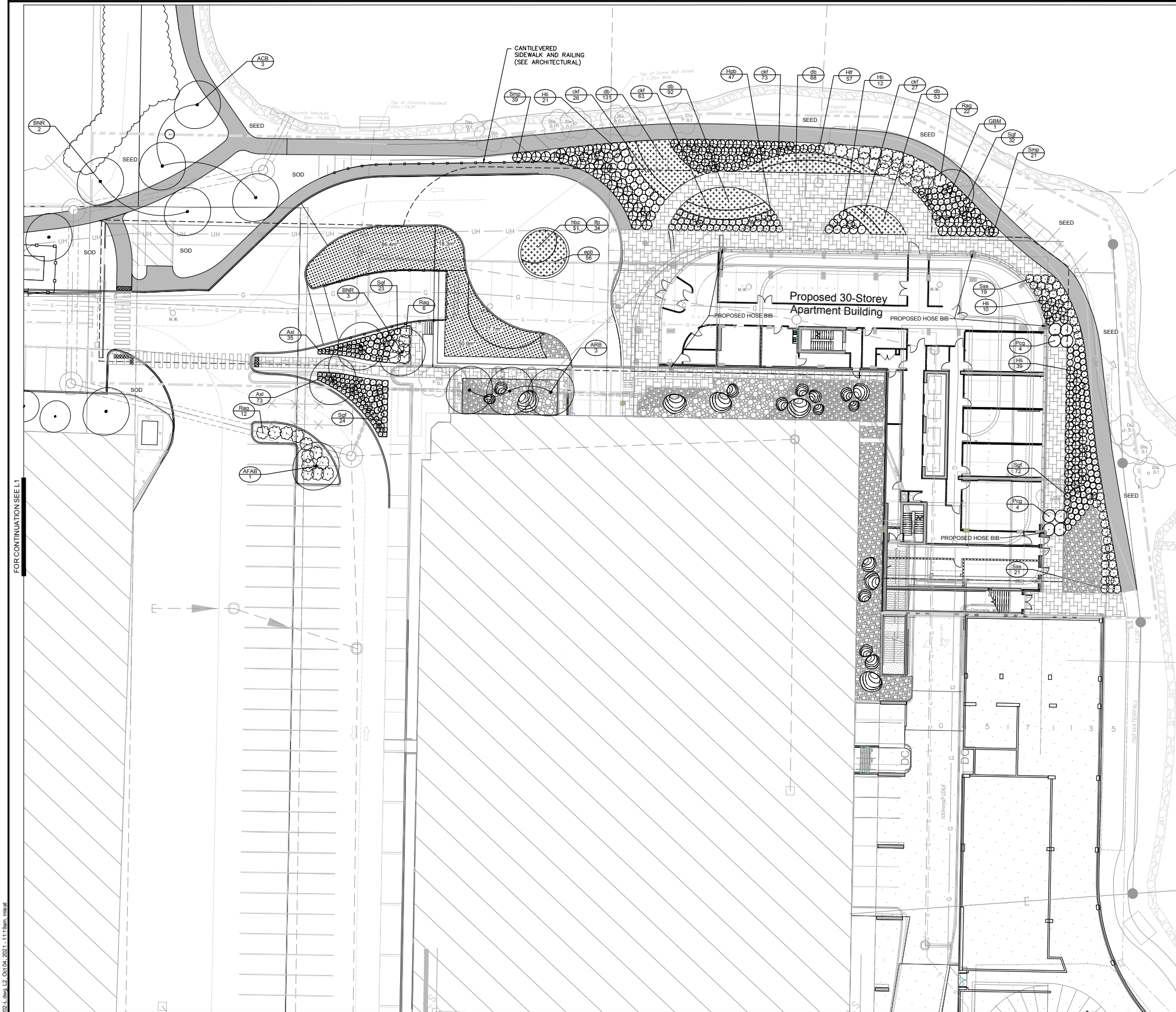
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NOVATECH
Engineers, Planners & Landscape Architects
Suite 200, 240 Michael Cowpland Drive
Ottawa, Ontario, Canada K2M 1P6
Telephone: (613) 254-9643
Facsimile: (613) 254-5867
Website: www.novatech-eng.com

LOCATION:
CITY OF OTTAWA
BROOKSTREET APARTMENTS

DRAWING NAME:
LANDSCAPE PLAN

PROJECT No.: 120202-00
REV: REV # 2
DRAWING No.: 120202-L1



- LEGEND**
- PROPOSED PAVERS
 - RIVER STONE
 - SOD
 - PERENNIALS
 - SEDUM MATS
 - PROPOSED DECIDUOUS TREE
 - EXISTING TREE TO REMAIN
 - PROPOSED SHRUBS
 - SPECIES (SEE PLANT LIST)
 - QUANTITY
 - WOOD PRIVACY FENCE 1.8m HT
 - PROPOSED HOSE BIB

PRODUCT INFORMATION
 Install products as per manufacturer specifications. Shop drawings required.

SEDUM MATS
 Bulletproof Mix by Sedum Master
 Location: Driveway Entrance to Apartment Building and Garage Entrance
 Size: 163.5m²

120202 - Plant List - L1

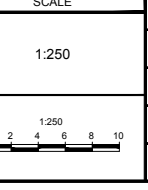
KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	COND.	SPACING
Deciduous Trees						
BNR 2	3	Acer rubrum 'Bourch'	Bourch Red Maple	50mm Cal	WB	As Shown
AFAB 1	1	Acer x Freeman 'Vireh'	Vireh Maple	50mm Cal	WB	As Shown
ACB 3	3	Aesculus x carnea 'Bro'	Ruby Red Horse Chestnut	45mm Cal	PT	As Shown
BNR 5	5	Betula nigra 'River'	River Birch - Clamp form 3-4 stem	50mm Cal	WB	As Shown
GBM 1	1	Cornus alba 'Major'	Major Dogwood	50mm Cal	WB	As Shown
Deciduous Shrubs						
Aul 108	108	Aronia x Low Scape Mound (COMMONMITS)	Low Scape Mound Chokeberry	50mm Ht	PT	As Shown
Hhd 47	47	Hydrangea paniculata 'Bombahel'	Bombahel Hydrangea	50cm Ht	PT	As Shown
Hs 82	82	Hydrangea paniculata 'Little Lime 'Jane'	Little Lime Hydrangea	2g	PT	As Shown
Hd 37	37	Hydrangea paniculata 'Sibbaldii Q'	Little Lime Fire Hydrangea	2g	PT	As Shown
Pog 8	8	Physocarpus opulifolius 'Centre Glow'	Centre Glow Ninesbark	60cm Ht	PT	As Shown
Hag 40	40	Rhus aromatica 'Vio-Low'	Grey-Low Fragrant Sumac	2g	PT	As Shown
Sas 40	40	Sarbania scorbida 'Sam'	Sam False Spirea	2g	PT	As Shown
Ssf 131	131	Spiraea japonica 'Goldflam'	Goldflame Spirea	2g	PT	As Shown
Smp 60	60	Syringa mayen 'Palter'	Dwarf Korean Lilac	2g	PT	As Shown
Perennials						
sub 96	96	Euphorbia polychroma 'Boulder'	Boulder Cushion Spurge	1g	PT	50cm O.C.
Hs 85	85	Hemerocallis 'Bonanza'	Bonanza Daylily	1g	PT	45cm O.C.
Hs 98	98	Liatris spicata 'Floristan Purple'	Floristan Gayfeather	1g	PT	45cm O.C.
Ornamental Grasses						
chl 109	109	Calamagrostis acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	1g	PT	50cm O.C.
chl 108	108	Chloranthus acutiflorus 'Wingspread'	Wingspread	1g	PT	50cm O.C.

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 KSP Properties
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 Phone: (613)591-0594

NOT FOR CONSTRUCTION

No.	REVISION	DATE	BY
2	ISSUED FOR SITE PLAN APPROVAL	OCT 1/21	RGJ
1	ISSUED FOR COORDINATION	AUG 31/21	RGJ



DESIGN: RGJ
 CHECKED: RGJ
 DRAWN: MEL
 CHECKED: RGJ
 APPROVED: RGJ

FOR REVIEW ONLY

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 Engineers, Planners & Landscape Architects
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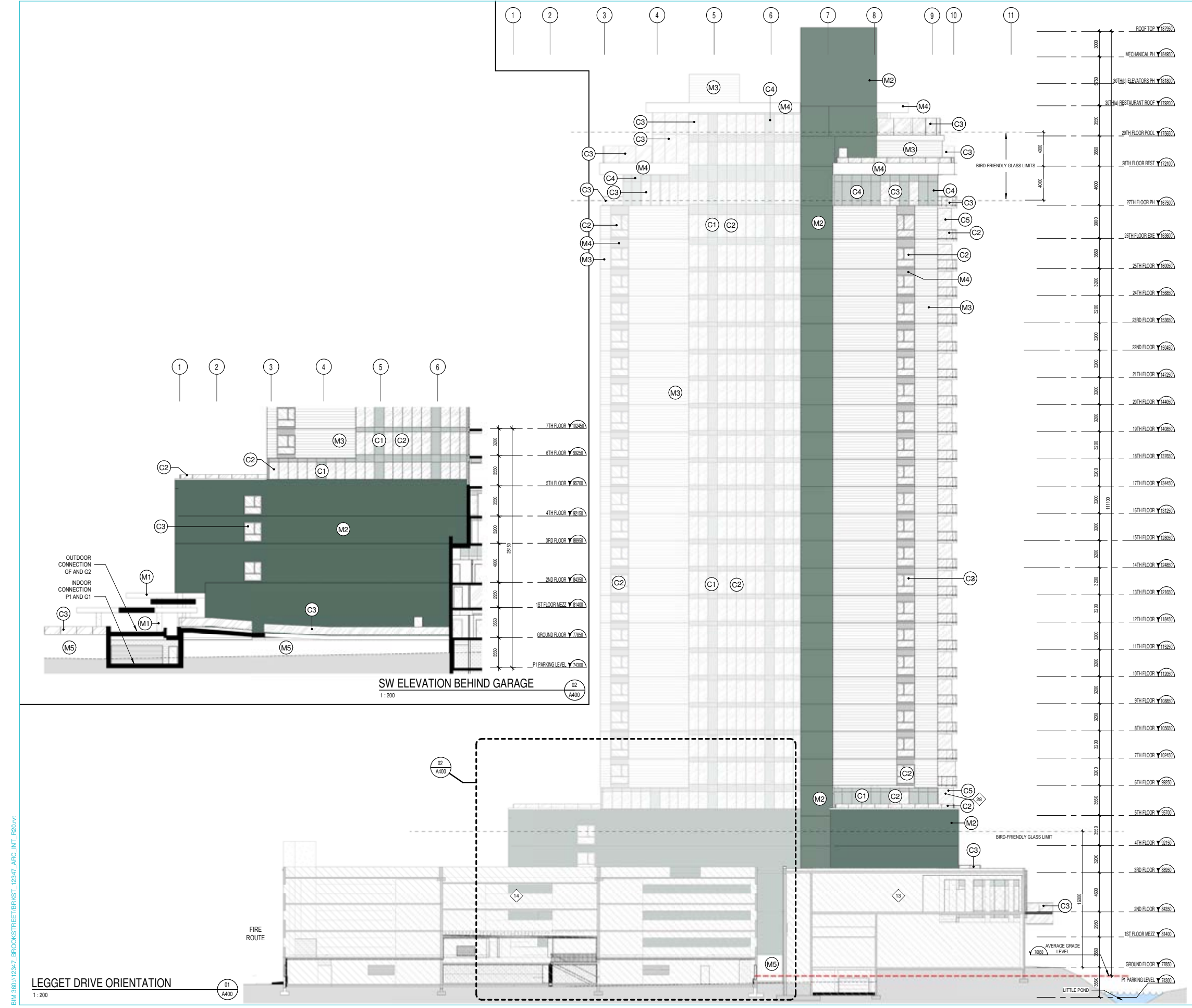
LOCATION
 CITY OF OTTAWA
 BROOKSTREET APARTMENTS

DRAWING NAME
 LANDSCAPE PLAN

PROJECT No.
 120202-00

REV
 REV # 2

DRAWING No.
 120202-L2



GENERAL NOTES	
# NOTE	DESCRIPTION
1	PROPERTY LINE
2	LEVELS 2 TO 4 FOOTPRINT
3	TOWER FOOTPRINT
4	GROUND FLOOR FOOTPRINT
5	PARKING P2 FOOTPRINT
6	PUBLIC TERRACE
7	28TH FLOOR FOOTPRINT
8	30TH FLOOR (ROOF PROFILE)
9	GROUND FLOOR DROP OFF ON P1 ROOF, HEATED SLAB
10	EXISTING PARALLEL PARKING ROW
11	EXISTING BALLROOM
12	MULTI LEVEL EXISTING PARKING GARAGE
13	EXISTING PARKING GARAGE NEW ENTRANCE
14	NEW BALLROOM STAIRS EXIT
15	FIRE ROUTE (ONE WAY AT DROP OFF)
16	MONMOUTH EXISTING BUILDING
17	EXISTING WALL HYDRANT
18	CANOPY PROFILE
19	MAJOR OVERLAND FLOW ROUTE UNDER BOARDWALK
20	ELECTRICAL CLOSELY SEE ELECTRICAL ENG.
21	AEDICULE, STAIRS AS AN EXHAUST AIR FROM P2
22	BALLROOM EXTENSION FOOTPRINT
23	TRENCH DRAIN
24	COOLING TOWER ON ROOF OF THE 29TH FLOOR, SEE MECHANICAL ENG.
25	SCREEN WALL
26	BIRD-FRIENDLY LOW REFLECTANCE GLASS
27	PRIVATE TERRACE
28	GARBAGE CHUTE
29	ROOF ACCESS
30	GENERATOR ON THE ROOF. SEE ELECTRICAL ENG.
31	EXISTING TRANSFORMER (MONMOUTH BUILDING)
32	RESIDENCE TRANSFORMER, SEE ELECTRICAL ENG.
33	GARBAGE COMPACTOR
34	EXISTING HOTEL
35	EXTERIOR SHOWER
36	SNOW STORAGE
37	PARKING P1 FOOTPRINT
38	PROPOSED PAD FOR NEW PLUMHOUSE ELECTRICAL SUPPLY

NOTES GÉNÉRALES / General Notes

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3. Veuillez utiliser l'échelle de toute dimension en cas de divergences entre ces documents et ceux des autres professionnels. / The architect must be notified of all errors, omissions and discrepancies between these documents and those of the others professionals.

4. Les dimensions sur ces documents doivent être lues et non mesurées. / The dimensions on these documents must be read and not measured.

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ELECTRICAL: Électrique
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T 613 227 9111 goodkey.com

STRUCTURAL: Structure
CUNLIFFE & ASSOCIATES
200-1500 Carling Ave., Ottawa, ON K1Z 8S8
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URBANISTE ET CIVIL: Urban planner and Civil
ARCHITECTE DE PAYSAGE: Landscape Architect
NOVATECH
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T 613 254 8643 novatech-eng.com

ARCHITECTE: Architect
DESIGN INTERIEUR: Interior Design
NEUF architect(e)s SENCRL
636, Blvd. René-Lévesque O., 3^e étage, Montréal QC H3B 1S6
T 514 847 1117 NEUFarchitectes.com

SCEAU / Seal

NEUF ARCHITECT(E)S

ARCHITECTES SENCRL

CLIENT Client

brookstreet APARTMENTS

OUVRAGE: Project
BROOKSTREET APARTMENTS

EMPLACEMENT Location NO PROJET No:
525 Legget Drive Kanata 12347
Ontario K2K 2W2

NO	RÉVISION	DATE (aa-mm-jj)
A	FOR INTERNAL REVIEW - ARCHITECT	2021 07 14
B	SITE PLAN APPROVAL	2021 10 04

PRELIMINARY
DO NOT USE FOR
CONSTRUCTION

EXTERIOR FINISHES LEGEND	
NOTE	DESCRIPTION
M1	CONCRETE PRECAST COLUMN - POLISHED CONCRETE FINISH
M2	PRECAST - COLOUR: GREENGREY AS PER EXISTING BUILDING
M3	HORIZONTAL METAL CLADDING - LIGHT GREY
M4	METAL CLADDING - DARK GREY
M5	E/F'S CONCRETE FOUNDATION FINISH - ADEX FINISH
C1	SPANDREL PANEL - LIGHT GREY
C2	CLEAR GLASS
C3	BIRD SAFE CLEAR GLASS
C4	BIRD SAFE SPANDREL PANEL
C5	TRANSLUCENT GLASS FOR PRIVACY SCREEN

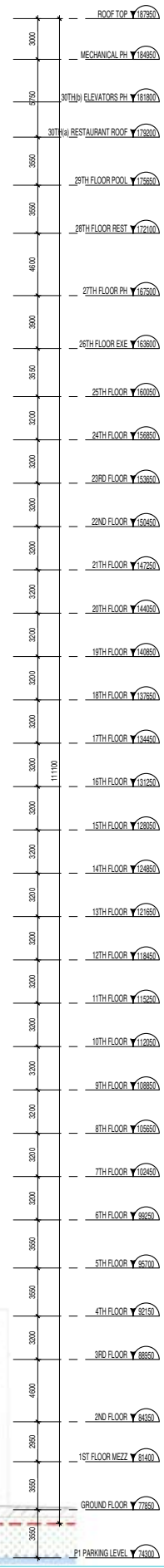
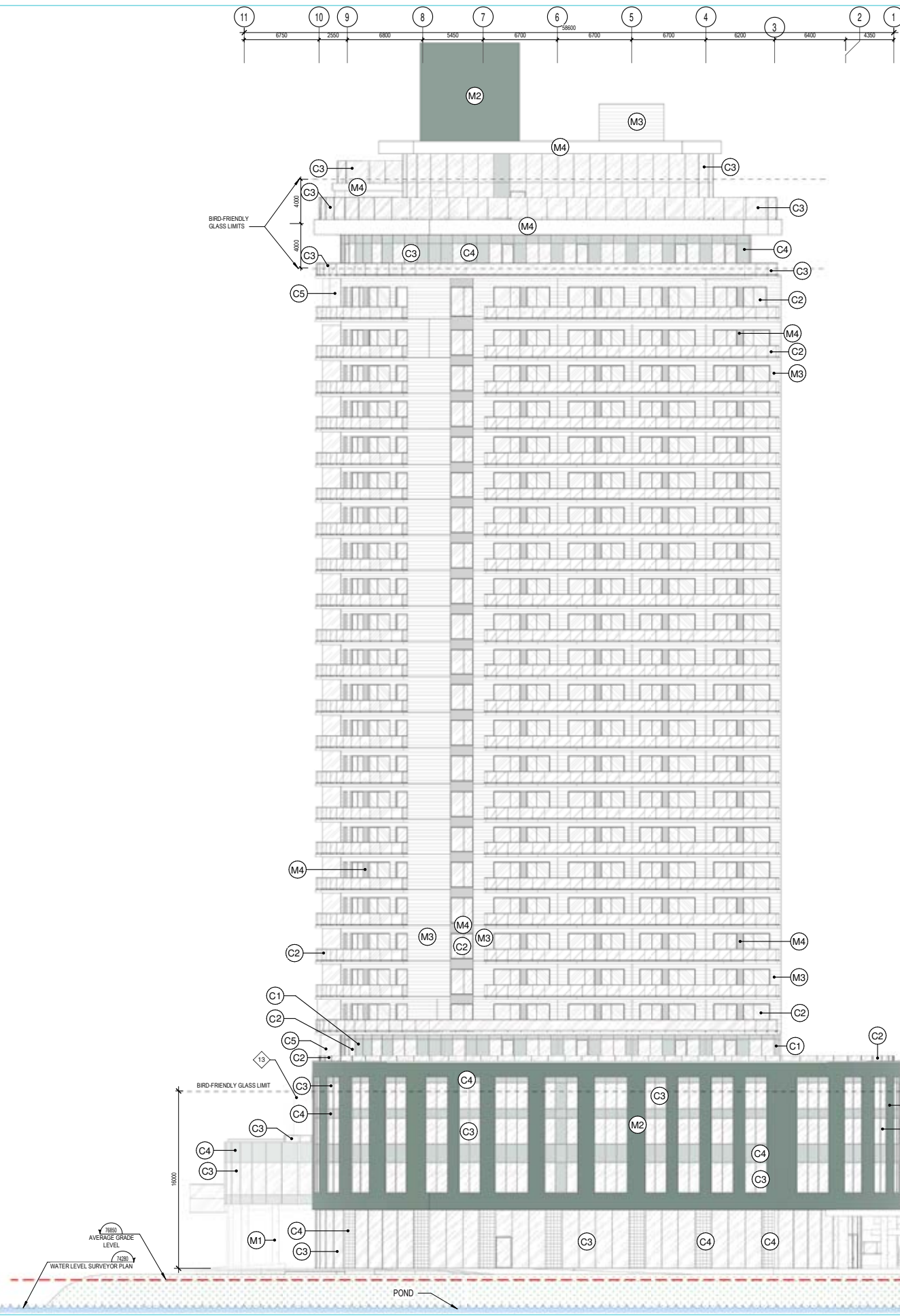
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DATE (aa-mm-jj): 210924 ECHELLE Scale: 1:200

TITRE DU DESSIN Drawing Title: **SOUTH-WEST ELEVATION LEGGET DRIVE**

RÉVISION Revision NO. DESSIN Draw Number: **B A400**

BIM 360//12347_BROOKSTREET/BRKST_12347_ARC_INT_P20.rvt



GENERAL NOTES	
# NOTE	DESCRIPTION
1	PROPERTY LINE
2	LEVELS 2 TO 4 FOOTPRINT
3	TOWER FOOTPRINT
4	GROUND FLOOR FOOTPRINT
5	PARKING P2 FOOTPRINT
6	PUBLIC TERRACE
7	25TH FLOOR FOOTPRINT
8	30TH FLOOR (ROOF PROFILE)
9	GROUND FLOOR DROP OFF ON P1 ROOF, HEATED SLAB
10	EXISTING PARALLEL PARKING ROW
11	EXISTING BALLROOM
12	MULTI LEVEL EXISTING PARKING GARAGE
13	EXISTING PARKING GARAGE NEW ENTRANCE
14	NEW BALLROOM STAIRS EXIT
15	FIRE ROUTE (ONE WAY AT DROP OFF)
16	MONMOUTH EXISTING BUILDING
17	EXISTING WALL HYDRANT
18	CANOPY PROFILE
19	MAJOR OVERLAND FLOW ROUTE UNDER BOARDWALK
20	ELECTRICAL CLOSE, SEE ELECTRICAL ENG.
21	AEDICULE, STAIRS AS AN EXHAUST AIR FROM P2
22	TRENCH DRAIN
23	COOLING TOWER ON ROOF OF THE 29TH FLOOR, SEE MECHANICAL ENG.
24	RESIDENCE TRANSFORMER, SEE ELECTRICAL ENG.
25	SCREEN WALL
26	BIRD-FRIENDLY LOW REFLECTANCE GLASS
27	PRIVATE TERRACE
28	GARBAGE CHUTE
29	ROOF ACCESS
30	GENERATOR ON THE ROOF, SEE ELECTRICAL ENG.
31	EXISTING TRANSFORMER (MONMOUTH BUILDING)
32	EXISTING HOTEL
33	EXTERIOR SHOWER
34	SNOW STORAGE
35	PARKING P1 FOOTPRINT
36	PROPOSED PAD FOR NEW PLUMHOUSE ELECTRICAL SUPPLY

EXTERIOR FINISHES LEGEND	
NOTE:	DESCRIPTION:
M1	CONCRETE PRECAST COLUMN - POLISHED CONCRETE FINISH
M2	PRECAST - COLOUR: GREENGREY AS PER EXISTING BUILDING
M3	HORIZONTAL METAL CLADDING - LIGHT GREY
M4	METAL CLADDING - DARK GREY
M5	EFS CONCRETE FOUNDATION FINISH - ADEX FINISH COAT - COLOUR: GREENGREY
C1	SPANDREL PANEL - LIGHT GREY
C2	CLEAR GLASS
C3	BIRD SAFE CLEAR GLASS
C4	BIRD SAFE SPANDREL PANEL
C5	TRANSLUCENT GLASS FOR PRIVACY SCREEN

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ARCHITECTE DE PAYSAGE: Landscape Architect

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DESIGN INTERIEUR: Interior Design

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CLIENT Client

brookstreet APARTMENTS

OUVRAGE Project

BROOKSTREET APARTMENTS

EMPLACEMENT Location NO PROJET No.
525 Legget Drive Kanata 12347
Ontario K2K 2W2

NO RÉVISION DATE (aa-mm-jj)
A FOR INTERNAL REVIEW - ARCHITECT 2021 07 14
B SITE PLAN APPROVAL 2021 10 04

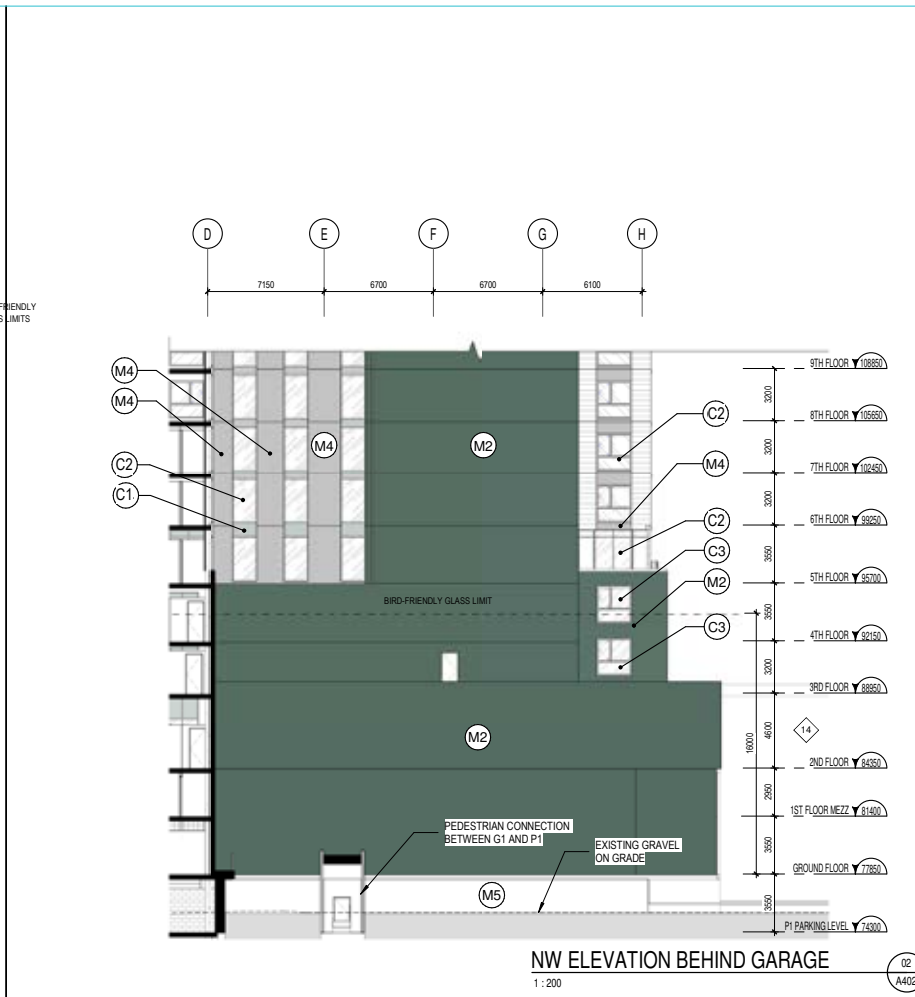
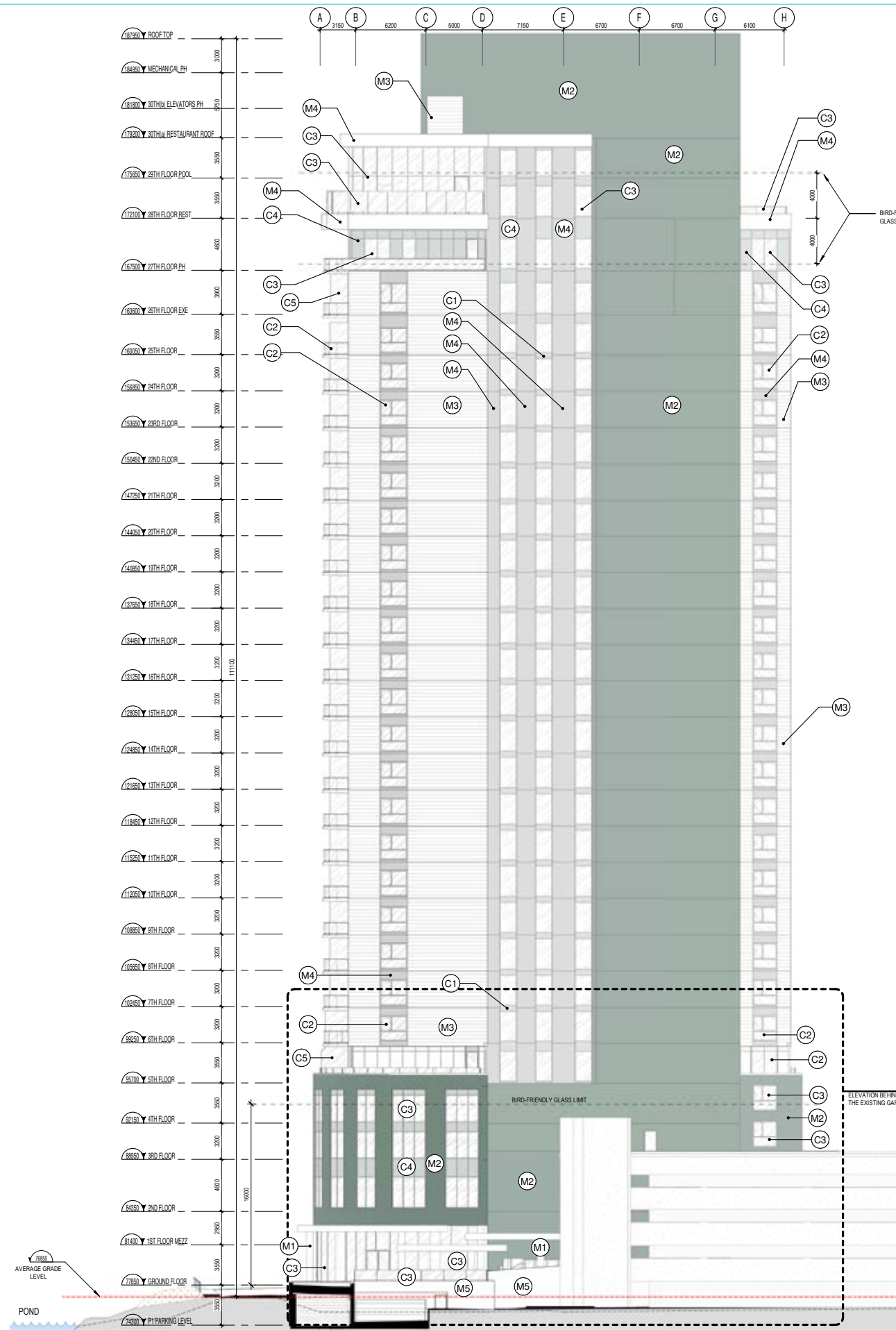
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DESSINÉ PAR Drawn by VÉRIFIÉ PAR Checked
AT DM KP BSJ
DATE (aa-mm-jj) ÉCHELLE Scale
210924 1:200
TITRE DU DESSIN Drawing Title

NORTH-EAST ELEVATION POND

RÉVISION Revision NO. DESSIN Draw Number
B A401

BIM 300/12347_BROOKSTREET/BRKST_12347_ARC_INT_F020.rvt



GENERAL NOTES	
# NOTE	DESCRIPTION
1	PROPERTY LINE
2	LEVELS 2 TO 4 FOOTPRINT
3	TOWER FOOTPRINT
5	GROUND FLOOR FOOTPRINT
6	PARKING P2 FOOTPRINT
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8	25TH FLOOR FOOTPRINT
9	30TH FLOOR (ROOF PROFILE)
10	GROUND FLOOR DROP OFF ON P1 ROOF, HEATED SLAB
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19	EXISTING WALL HYDRANT
20	CANOPY PROFILE
21	MAJOR OVERLAND FLOW ROUTE UNDER BOARDWALK
22	ELECTRICAL CLOSE, SEE ELECTRICAL ENG.
23	ACEDUCLE, STAIRS AS AN EXHAUST AIR FROM P2
24	BALLROOM EXTENSION FOOTPRINT
25	TRENCH DRAIN
27	COOLING TOWER ON ROOF OF THE 29TH FLOOR, SEE MECHANICAL ENG.
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29	BIRD-FRIENDLY LOW REFLECTANCE GLASS
30	PRIVATE TERRACE
31	GARBAGE CHUTE
32	ROOF ACCESS
35	GENERATOR ON THE ROOF, SEE ELECTRICAL ENG.
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38	GARBAGE COMPACTOR
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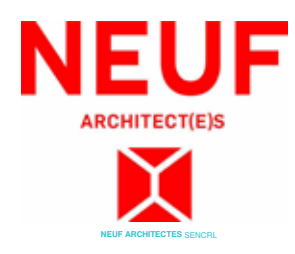
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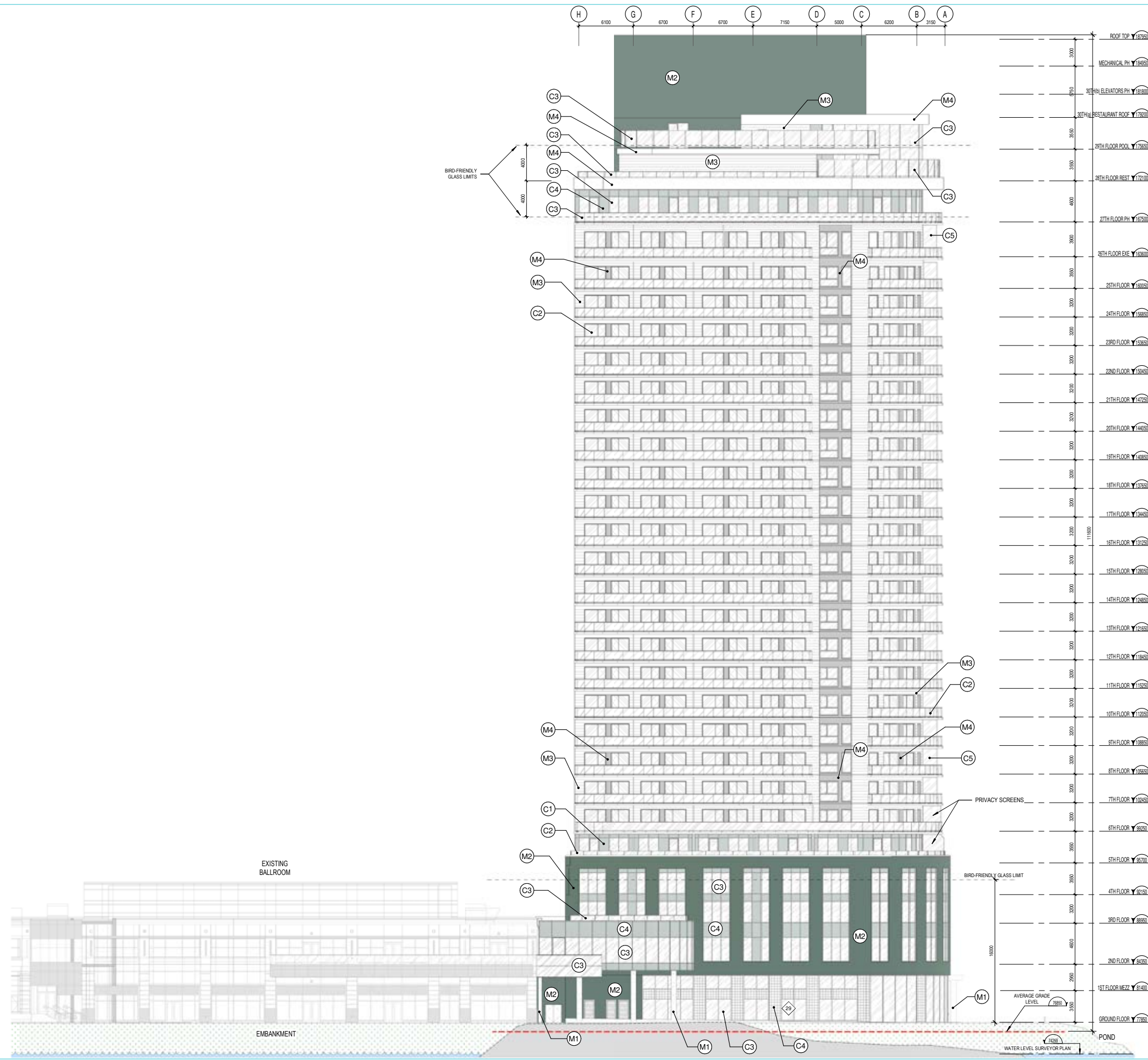
NO	RÉVISION	DATE (aa-mm-jj)
A	FOR INTERNAL REVIEW - ARCHITECT	2021 07 14
B	SITE PLAN APPROVAL	2021 10 04

EXTERIOR FINISHES LEGEND	
NOTE	DESCRIPTION
M1	CONCRETE PRECAST COLUMN - POLISHED CONCRETE FINISH
M2	PRECAST - COLOUR: GREENGREY AS PER EXISTING BUILDING
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C4	BIRD SAFE SPANDREL PANEL
C5	TRANSLUCENT GLASS FOR PRIVACY SCREEN

DESSINÉ PAR / Drawn by AT DM
DATE (aa-mm-jj) 210924
TITRE DU DESSIN / Drawing Title
NORTH-WEST ELEVATION TERRY FOX

VÉRIFIÉ PAR / Checked by KP BSJ
ECHELLE / Scale 1:200
NO. DESSIN / Draw Number
A402

BIM 360://12347_BROOKSTREET/BRKST_12347_ARC_INT_R20.rvt



GENERAL NOTES	
# NOTE	DESCRIPTION
1	PROPERTY LINE
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9	GROUND FLOOR DROP OFF ON P1 ROOF, HEATED SLAB
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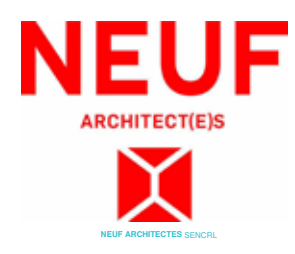
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NO PROJET No. 12347

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AT DM

DATE (aa-mm-jj)
210924

TITRE DU DESSIN / Drawing Title
SOUTH-EAST ELEVATION GOLF

VÉRIFIÉ PAR / Checked
KP BSJ

ECHELLE / Scale
1:200

RÉVISION / Revision
B

NO. DESSIN / Draw Number
A403