

# NEUF

ARCHITECT(E)S

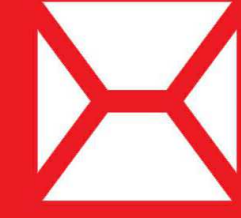


BROOKSTREET DRAWING LIST SITE PLAN APPROVAL DRAWING LIST

PAGE	DRAWING TITLE	REV.	Current Revision Date
A101	GENERAL SITE PLAN	F	2022 01 28
A102a	IMPLANTATION PLAN PART A	D	2022 01 28
A102b	IMPLANTATION PLAN PART B	F	2022 01 28
A103	SITE PLAN - P1 AND G1	F	2022 01 28
A104	SITE PLAN - GF AND G2	G	2022 01 28
A200a	P2 PARKING LEVEL	AA	2022 01 28
A400	SOUTH-WEST ELEVATION LEGGET DRIVE	E	2022 01 28
A401	NORTH-EAST ELEVATION POND	E	2022 01 28
A402	NORTH-WEST ELEVATION TERRY FOX	E	2022 01 28
A403	SOUTH-EAST ELEVATION GOLF	E	2022 01 28



2022-01-31

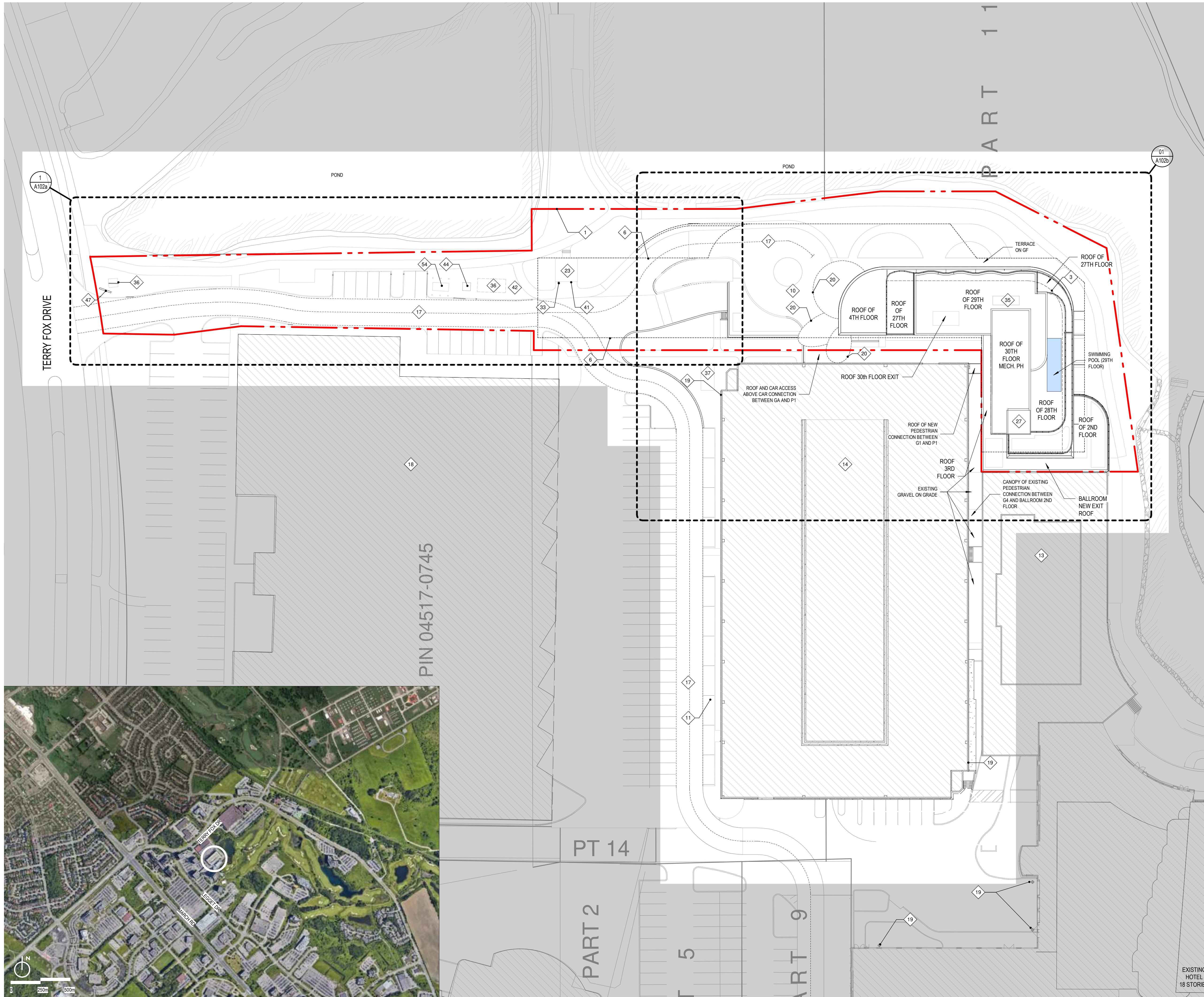


**NEUF**  
ARCHITECT(E)S

**BROOKSTREET APARTMENTS**  
525 Legget Drive Kanata Ontario K2K 2W2  
CLIENT : KRP PROPERTIES

COORDINATION Coordination  
EMISSION SPA Site Plan Application REV 1 2022 01 28  
PERMIS Permit  
SOUSSION Tender  
REVISION GENEFALE General revision  
CONSTRUCTION Construction  
FIN DES TRAVAUX Record Drawings





LOCATION MAP

GENERAL SITE PLAN

1:400

**GENERAL NOTES**

# NOTE	DESCRIPTION
1	PROPERTY LINE
2	LEVELS 2 TO 4 FOOTPRINT
3	TOWER FOOTPRINT
4	HOSE BIB FOR LANDSCAPE
5	GROUND FLOOR FOOTPRINT
6	PARKING P2 FOOTPRINT
7	PUBLIC TERRACE
8	28TH FLOOR FOOTPRINT
9	30TH FLOOR ROOF PROFILE
10	GROUND FLOOR DROP OFF ON P1 ROOF (HEATED)
11	EXISTING PARALLEL PARKING ROW
12	WINDOWS ADDED TO MEET 2% OPENING FOR SMOKE CONTROL REQUIREMENT
13	EXISTING BALLROOM
14	MULTI LEVEL EXISTING PARKING GARAGE
15	EXISTING PARKING GARAGE NEW ENTRANCE
16	NEW BALLROOM STAIRS EXIT
17	FIRE ROUTE (ONE WAY AT DROP OFF)
18	MONMOUTH EXISTING BUILDING
19	EXISTING WALL HYDRANT
20	CANOPY PROFILE
21	ELECTRICAL CLOSET, SEE ELECTRICAL ENG.
22	AEDICULE STAIRS #3 AN EXHAUST AIR FROM P2
23	BALLROOM EXTENSION FOOTPRINT
24	TRENCH DRAIN
25	PATHWAY C/W CIRCULATION MEMBRANE
26	COOLING TOWER ON ROOF OF THE 29TH FLOOR, SEE MECHANICAL ENG.
27	SCREEN WALL
28	BIRD-FRIENDLY LOW REFLECTANCE GLASS
29	PRIVATE TERRACE
30	GARBAGE CHUTE
31	ROOF ACCESS
32	SWIMMING POOL
33	SCUPPER WITH SIMPLE DRAIN
34	GENERATOR ON THE ROOF, SEE ELECTRICAL ENG.
35	EXISTING TRANSFORMER TO BE RELOCATED (MONMOUTH BUILDING)
36	RESIDENCE TRANSFORMER, SEE ELECTRICAL ENG.
37	GARBAGE COMPACTOR
38	EXISTING HOTEL
39	EXTERIOR SHOWER
40	EXTERIOR BIKE RACKS
41	SNOW STORAGE
42	PARKING P1 FOOTPRINT
43	PAD FOR NEW PUMPHOUSE ELECTRICAL SUPPLY
44	ELECTRIC BASE TO BE RELOCATED
45	PUMP HOUSE TO BE RELOCATED
46	PROJECT SIGNAGE
47	GUARDRAIL
48	TWSI (SEE CIVIL GRADING PLAN)
49	GARBAGE CHUTE
50	29TH FLOOR ROOF

**ZONING BY LAW**

ZONING PROVISION (APARTMENT DWELLING, HIGH RISE)	PROPOSED R/F (XXX) H(10)	PROVIDED
MINIMUM LOT WIDTH	15 (m) / 161 (ft)	18 (m) / 193 (ft)
MINIMUM LANDSCAPE AREA	30%	49%
MINIMUM FRONT YARD SETBACK	3 (m) / 9.8 (ft)	169 (m) / 554 (ft)
MINIMUM CORNER YARD SETBACK	3 (m) / 9.8 (ft)	N/A
MINIMUM REAR YARD SETBACK	0 (m) / (ft)	5 (m) / 16 (ft)
MINIMUM INTERIOR SIDE YARD SETBACK	0 (m) / (ft)	0 (m) / (ft)
SECTION 110 LANDSCAPING PROVISIONS FOR PARKING LOTA	1.5 m LANDSCAPED BUFFER NOT ABUTTING A STREET	4.4 (m) / 14.4 (ft)
MAXIMUM BUILDING HEIGHT	115 (m) / 377 (ft)	111.1 (m) / 364.5 (ft)
MINIMUM LOT AREA	540 (m²) / 5 812 (ft²)	7075 (m²) / 76 154 (ft²)
MINIMUM RESIDENTIAL PARKING	304 MIN PARKING STALLS	
MINIMUM VISITOR PARKING	51 MIN PARKING STALLS	397 PARKING STALLS
MINIMUM RESTAURANT PARKING	42 MIN PARKING STALLS	
TOTAL PARKING	397 MIN PARKING STALLS	
MINIMUM BICYCLE PARKING	128 MIN BICYCLE PARKING	128 BICYCLE PARKING
TOTAL PRIVATE AMENITY SPACE	1 516 (m²) / 16 340 (ft²)	3 015 (m²) / 32 453 (ft²)
TOTAL COMMUNAL AMENITY AREA	759 (m²) / 8 170 (ft²)	759 (m²) / 8 170 (ft²)

**SURFACE LEGEND**

[Symbol]	POND (WATER SURFACE)
[Symbol]	OUT OF INTERVENTION AREA
[Symbol]	INTERVENTION AREA
[Symbol]	FUTURE CONSTRUCTION
[Symbol]	EXISTING BUILDING
[Symbol]	PROPERTY LINE

**NOTES GÉNÉRALES** General Notes

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ELECTRICAL: Électrique  
**GOODKEY, WEEDMARK & ASSOCIATES LIMITED**  
1888 Woodbine Dr., Ottawa, ON K2C 3R6  
T 613 727 5111 gwa.com

STRUCTURAL: Structure  
**CUNLIFFE & ASSOCIATES**  
200-1550 Carling Ave., Ottawa, ON K1Z 8S8  
www.cunliffe.ca

URBANISTE ET CIVIL: Urban planner and Civil  
ARCHITECTE DE PAYSAGE: Landscape Architect  
**NOVATECH**  
240 Michael Cowan Drive, Suite 200, Ottawa, ON, K2M 1P6  
T 613 254 9643 novatech-eng.com

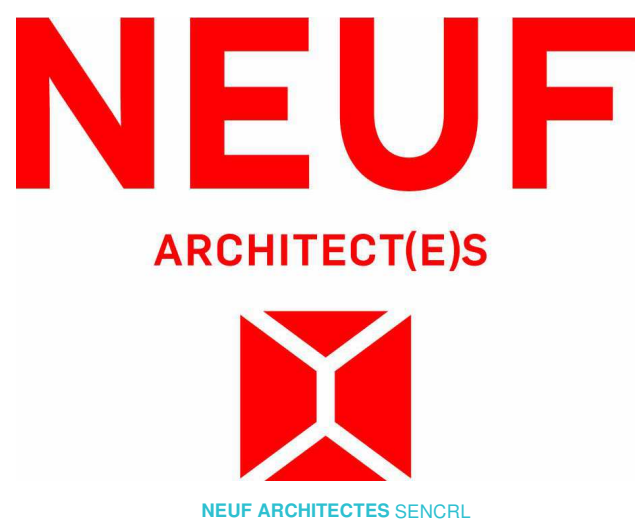
ARCHITECTE: Architect  
DESIGN INTERIEUR: Interior Design

**NEUF architect(e)s** SENCRL  
630, boul. René-Lévesque O., 52e étage, Montréal QC H3B 1S6  
T 514 847 1117 NEUFarchitectes.com

SCEAU / Seal



2022-01-31



CLIENT Client



**brookstreet**  
APARTMENTS

OUVRAGE Project

**BROOKSTREET APARTMENTS**

EMPLACEMENT Location

525 Legget Drive Kanata  
Ontario K2K 2W2

NO PROJET No.

12347

NO RÉVISION DATE (aa-mm-jj)

A	FOR INTERNAL REVIEW - ARCHITECT	2021 02 02
B	FOR INTERNAL REVIEW - ARCHITECT	2021 07 14
C	SITE PLAN APPROVAL	2021 10 04
D	FOR COORDINATION	2021 10 27
E	FOR INTERNAL REVIEW - ARCHITECT	2021 11 23
F	SITE PLAN APPROVAL REV 1	2022 01 28

Preliminary  
**DO NOT USE FOR CONSTRUCTION**

DESSINÉ PAR Drawn by

MM AT

DATE (aa.mm.jj)

2022 01 28

TITRE DU DESSIN Drawing Title

**GENERAL SITE PLAN**

VÉRIFIÉ PAR Checked

KP BJS

ÉCHELLE Scale

Comme

indiqué

RÉVISION Revision

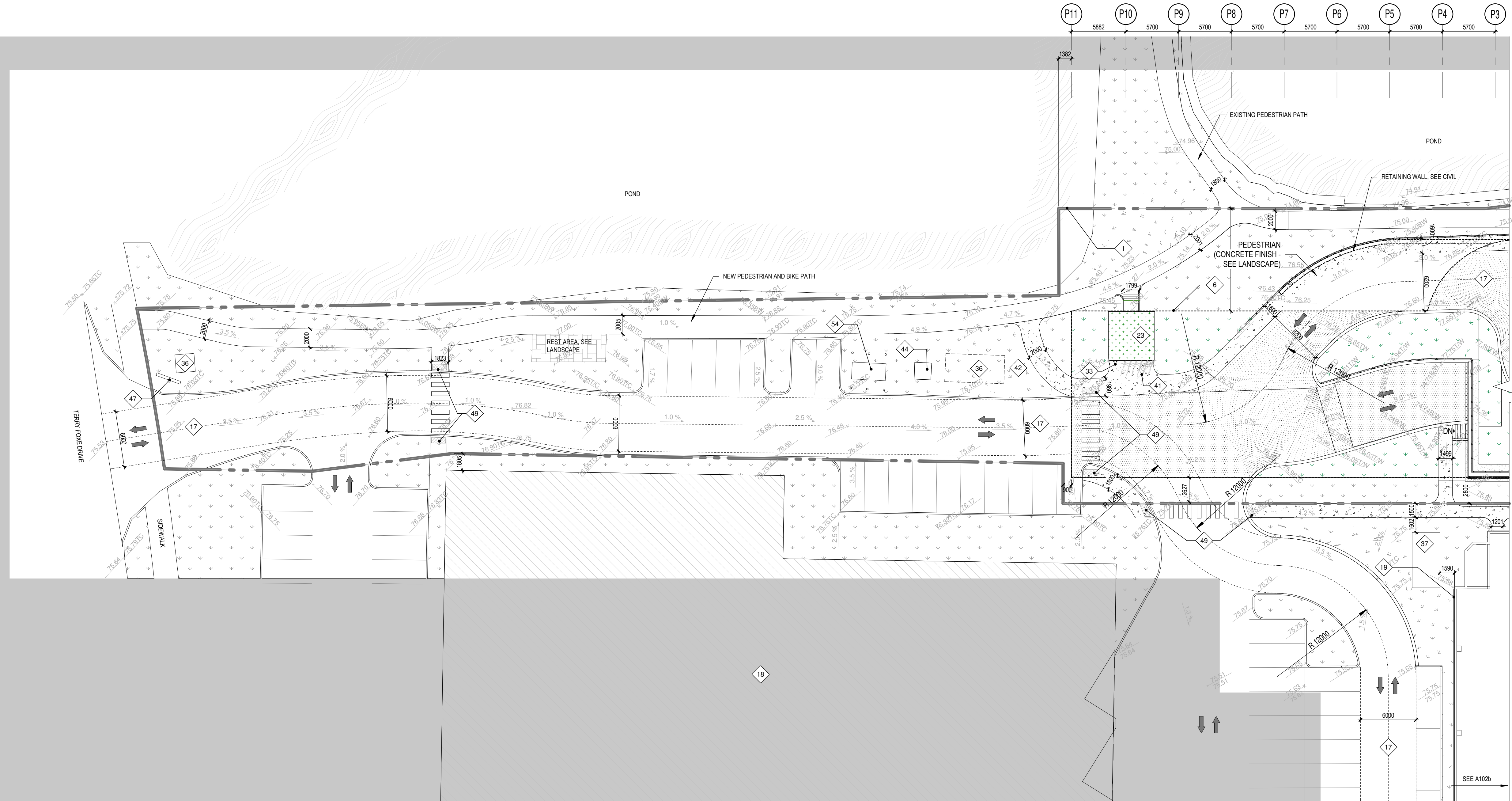
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NO. DESSIN Dwg Number

A101

#18007

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IMPLANTATION PLAN PART A

1:250

1  
A102a

GENERAL NOTES	
# NOTE	DESCRIPTION
1	PROPERTY LINE
2	LEVELS 2 TO 4 FOOTPRINT
3	TOWER FOOTPRINT
4	HOSE BIB FOR LANDSCAPE
5	GROUND FLOOR FOOTPRINT
6	PARKING P2 FOOTPRINT
7	PUBLIC TERRACE
8	28TH FLOOR FOOTPRINT
9	30TH FLOOR ROOF PROFILE
10	GROUND FLOOR DROP OFF ON P1 ROOF (HEATED)
11	EXISTING PARALLEL PARKING ROW
12	WINDOWS ADDED TO MEET 2% OPENING FOR SMOKE CONTROL REQUIREMENT
13	EXISTING BALLROOM
14	MULTI LEVEL EXISTING PARKING GARAGE
15	EXISTING PARKING GARAGE NEW ENTRANCE
16	NEW BALLROOM STAIRS EXIT
17	FIRE ROUTE (ONE WAY AT DROP OFF)
18	MCKINOUTH EXISTING BUILDING
19	EXISTING WALL HYDRANT
20	CANOPY PROFILE
22	ELECTRICAL CLOSET, SEE ELECTRICAL ENG.
23	AEDICULE STAIRS #3 AN EXHAUST AIR FROM P2
24	BALLROOM EXTENSION FOOTPRINT
25	TRENCH DRAIN
26	PATHWAY CW CIRCULATION MEMBRANE
27	COOLING TOWER ON ROOF OF THE 28TH FLOOR, SEE MECHANICAL ENG.
28	SCREEN WALL
29	BIRD-FRIENDLY LOW REFLECTANCE GLASS
30	PRIVATE TERRACE
31	GARBAGE CHUTE
32	ROOF ACCESS
33	SUMMISE
34	SCULPPER WITH SIMPLE DRAIN
35	GENERATOR ON THE ROOF, SEE ELECTRICAL ENG.
36	EXISTING TRANSFORMER TO BE RELOCATED (MCKINOUTH BUILDING)
37	RESIDENCE TRANSFORMER, SEE ELECTRICAL ENG.
38	GARBAGE COMPACTOR
39	EXISTING HOTEL
40	EXTERIOR SHOWER
41	EXTERIOR BIKE RACKS
42	SNOW STORAGE
43	PARKING P1 FOOTPRINT
44	PAD FOR NEW PUMPHOUSE ELECTRICAL SUPPLY
45	ELECTRIC BASE TO BE RELOCATED
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48	GUARDRAIL
49	TWSI (SEE CIVIL GRADING PLAN)
50	GARBAGE CHUTE
51	29TH FLOOR ROOF

SURFACE LEGEND	
	LANDSCAPE ON GRADE
	LANDSCAPING ON SLAB
	CONCRETE
	ASPHALT
	ASPHALT OVER PARKING LEVEL
	PAVERS
	GRAVEL ON GRADE
	ROOF
	TERRACE
	EXISTING BUILDING
	OUT OF INTERVENTION AREA
	POND
	EXIT ARROW (EGRESS)

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ARCHITECTE DE PAYSAGE Landscape Architect

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ARCHITECTE Architect  
DESIGN INTÉRIEUR Interior Design

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SCEAU / Seal



2023-01-31



CLIENT Client

**brookstreet APARTMENTS**

OUVRAGE Project

**BROOKSTREET APARTMENTS**

EMPLACEMENT Location NO PROJET No. 12347

525 Legget Drive Kanata Ontario K2K 2W2

NO	RÉVISION	DATE (aa-mm-ii)
A	SITE PLAN APPROVAL	2021 10 04
B	FOR COORDINATION	2021 10 27
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D	SITE PLAN APPROVAL REV 1	2022 01 28

Preliminary  
DO NOT USE FOR CONSTRUCTION

DESSINÉ PAR Drawn by  
MM DM

DATE (aa.mm.jj)  
2022 01 28

TITRE DU DESSIN Drawing Title

VERIFIÉ PAR Checked  
KP BSJ

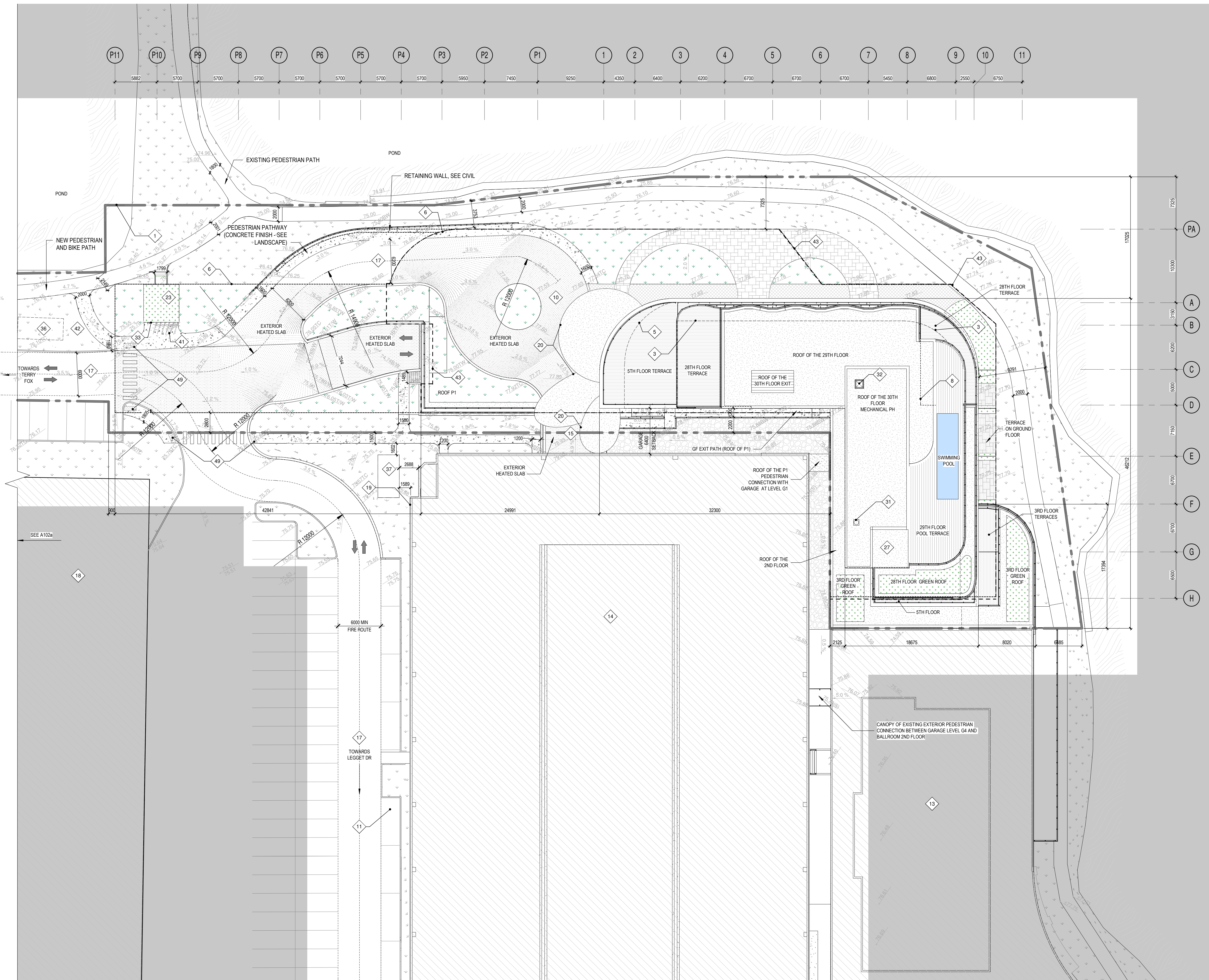
ÉCHELLE Scale  
Comme indiqué

IMPLANTATION PLAN PART A

RÉVISION Revision NO. DESSIN Dwg Number

**D A102a**

DOT-12-21-0160  
#18607



IMPLANTATION PLAN PART B

1:250

01  
A102b

GENERAL NOTES	
# NOTE	DESCRIPTION
1	PROPERTY LINE
2	LEVELS 2 TO 4 FOOTPRINT
3	TOWER FOOTPRINT
4	HOSE BIB FOR LANDSCAPE
5	GROUND FLOOR FOOTPRINT
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26	COOLING TOWER ON ROOF OF THE 29TH FLOOR, SEE MECHANICAL ENG.
27	SCREEN WALL
28	BIRD-FRIENDLY LOW REFLECTANCE GLASS
29	PRIVATE TERRACE
30	GARBAGE CHUTE
31	ROOF ACCESS
32	SNIMSE
33	SCUPPER WITH SIMPLE DRAIN
34	GENERATOR ON THE ROOF, SEE ELECTRICAL ENG.
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47	GUARDRAIL
48	TWSI (SEE CIVIL GRADING PLAN)
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SURFACE LEGEND	
	LANDSCAPE ON GRADE
	LANDSCAPING ON SLAB
	CONCRETE
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ONTARIO ASSOCIATION OF ARCHITECTS  
KIM PHAM LICENCE# 9305  
2023-01-31

**NEUF ARCHITECT(E)S**

CLIENT Client

**brookstreet APARTMENTS**

OUVRAGE Project

**BROOKSTREET APARTMENTS**

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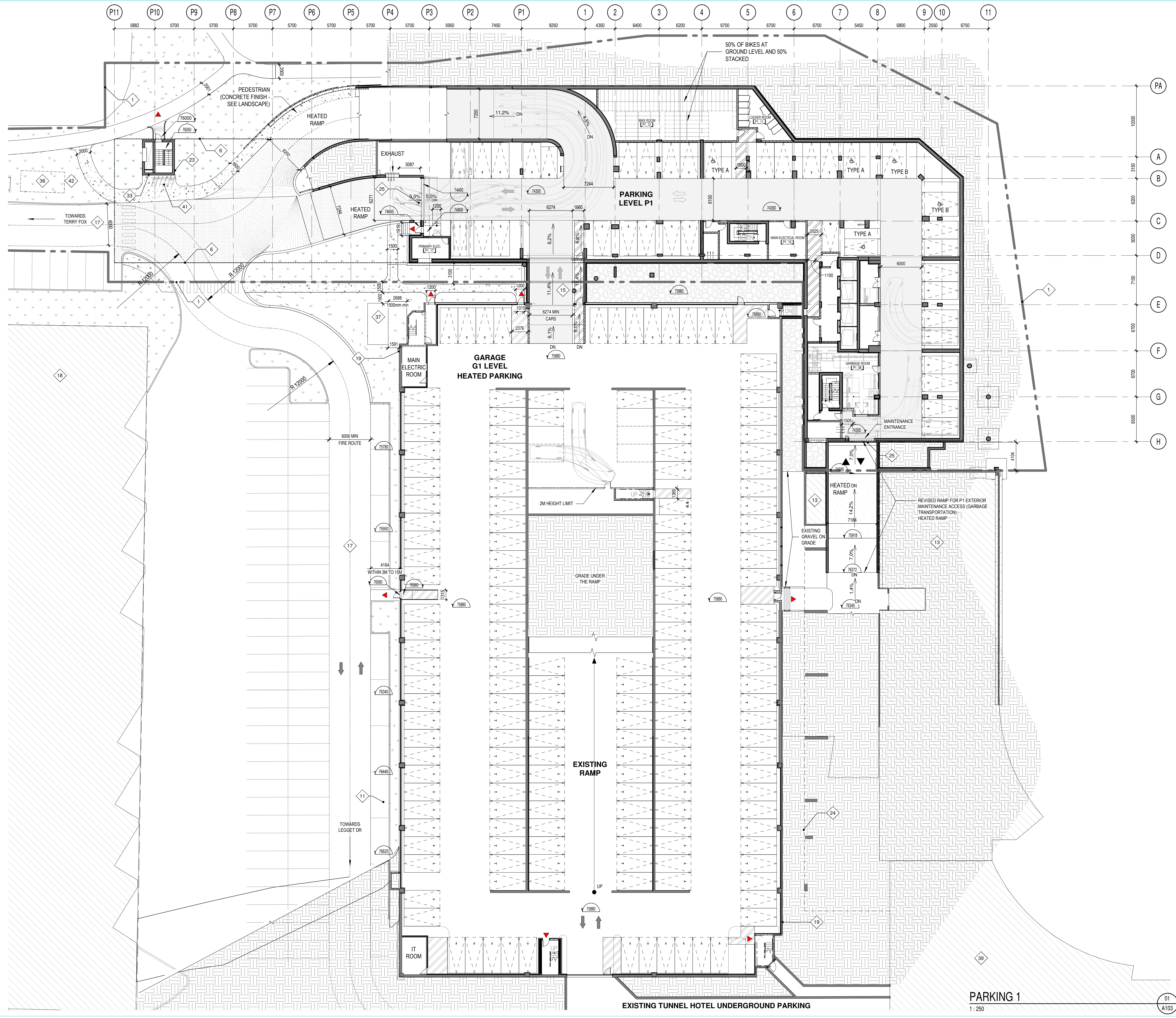
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B FOR INTERNAL REVIEW - ARCHITECT 2021 07 14  
C SITE PLAN APPROVAL 2021 10 04  
D FOR COORDINATION 2021 11 27  
E FOR INTERNAL REVIEW - ARCHITECT 2021 11 23  
F SITE PLAN APPROVAL REV 1 2022 01 28

Preliminary  
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DESSINÉ PAR Drawn by AT MM VERIFIÉ PAR Checked KP BSJ  
DATE (aa.mm.ij) 2022 01 28 ÉCHELLE Scale Comme  
TITRE DU DESSIN Drawing Title Imprimé

**IMPLANTATION PLAN PART B**

REVISION Revision NO. DESSIN Dwg Number  
**F** **A102b** #18607



GENERAL NOTES	
# NOTE	DESCRIPTION
1	PROPERTY LINE
2	LEVELS 2 TO 4 FOOTPRINT
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49	GARBAGE CHUTE
50	GARBAGE CHUTE
51	29TH FLOOR ROOF

PARKING SPACES IN EXISTING GARAGE	
GARAGE G2 LEVEL (RESIDENTIAL)	
STANDARD SMALL: 2400x4600 GARAGE	4
GARAGE G1 LEVEL (HEATED)	
STANDARD: 2600x5200 GARAGE EXISTING RESIDENTIAL	189
GARAGE G2 LEVEL (RESTAURANT)	
BARRIER FREE: TYPE A 2400mmx5200mm RESTAURANT	1
STANDARD: 2600x5200 GARAGE EXISTING RESTAURANT	41
GARAGE G2 LEVEL (VISITORS)	
BARRIER FREE: TYPE A 2400mmx5200mm VISITORS	1
STANDARD: 2600x5200 GARAGE EXISTING VISITORS	58
TOTAL:	288

UNDERGROUND PARKING SPACE	
P2 PARKING LEVEL	
BARRIER FREE: TYPE A 2400mmx5200mm	2
BARRIER FREE: TYPE B 3500mmx5200mm	3
STANDARD: 2600x5200	63
STANDARD SMALL: 2400x4600	4
STANDARD SMALL: 2600x4600 WIDE	1
73	
P1 PARKING LEVEL	
BARRIER FREE: TYPE A 2400mmx5200mm	3
BARRIER FREE: TYPE B 3500mmx5200mm	2
STANDARD: 2600x5200	38
STANDARD SMALL: 2400x4600 GARAGE	1
STANDARD SMALL: 2400x4600	2
38	
TOTAL:	111

SURFACE LEGEND	
	LANDSCAPE ON GRADE
	LANDSCAPING ON SLAB
	CONCRETE
	ASPHALT
	ASPHALT OVER PARKING LEVEL
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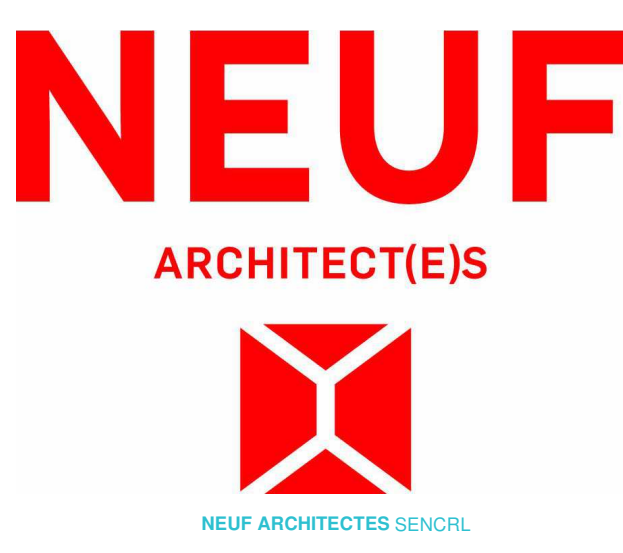
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ARCHITECTE DE PAYSAGE / Landscape Architect  
**NOVATECH**  
240 Michael Cowland Drive, Suite 200, Ottawa, ON, K2M 1P6  
T 613 254 9643 novatech-eng.com

ARCHITECTE / Architect  
DESIGN INTERIEUR / Interior Design  
**NEUF architect(e)s** SENCRL  
630, St-Jacques, Montréal, QC H3B 1S6  
T 514 847 1117 NEUFarchitectes.com

SCEAU / Seal



CLIENT / Client  
**brookstreet APARTMENTS**  
OUVREUR / Project  
**BROOKSTREET APARTMENTS**

EMPLACEMENT / Location NO PROJET / No. 12347  
525 Legget Drive Kanata Ontario K2K 2W2

NO	REVISION	DATE (aa-mm-ii)
A	FOR INTERNAL REVIEW - ARCHITECT	2021 07 14
B	SITE PLAN APPROVAL	2021 10 04
C	FOR COORDINATION	2021 10 27
D	FOR INTERNAL REVIEW - ARCHITECT	2021 11 23
E	FOR COORDINATION	2021 12 16
F	SITE PLAN APPROVAL REV 1	2022 01 28

DESSINÉ PAR / Drawn by  
DM AT  
DATE (aa.mm.ii)  
2022 01 28  
TITRE DU DESSIN / Drawing Title  
SITE PLAN - P1 AND G1

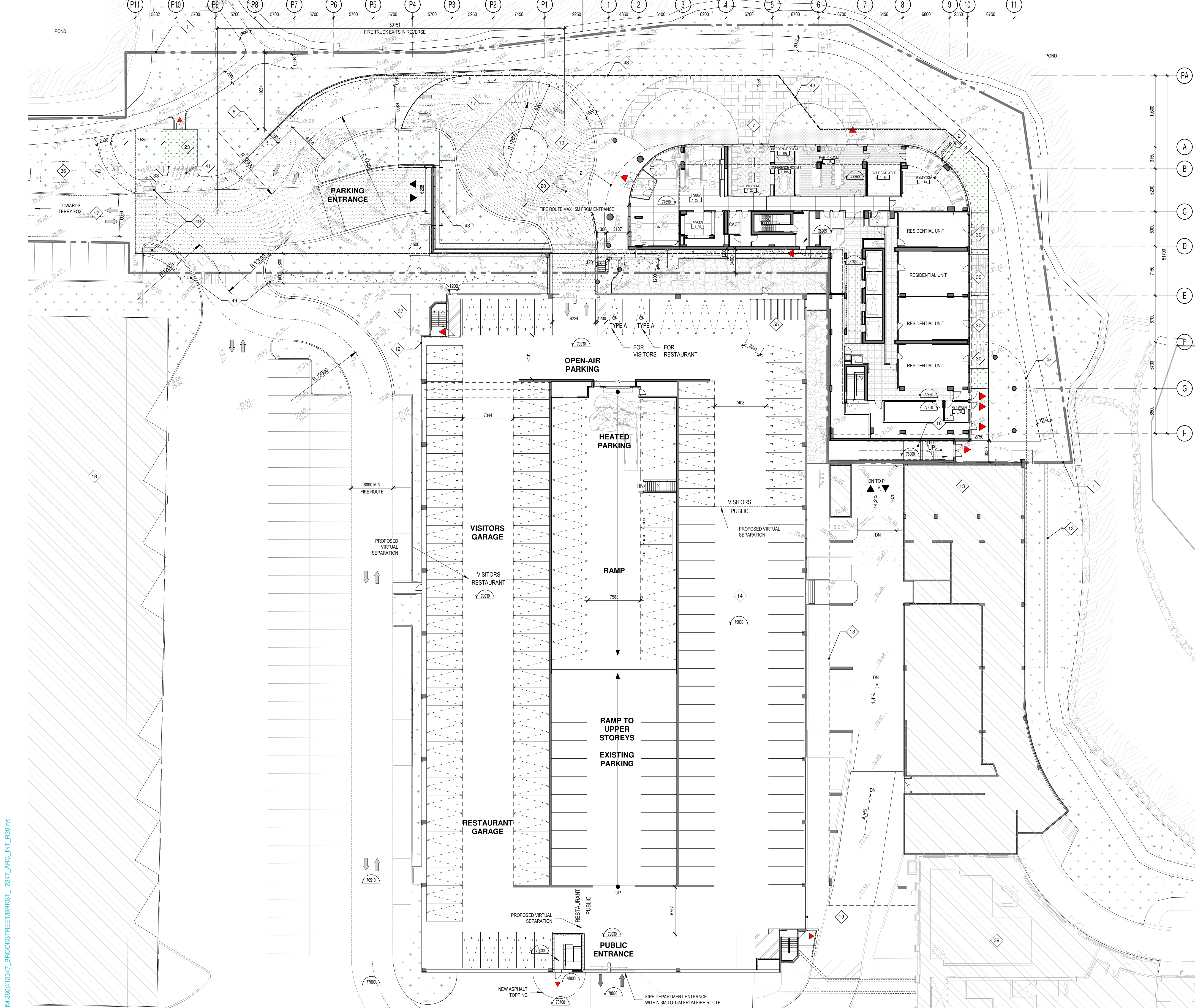
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KP BJSJ  
ÉCHELLE / Scale  
Comme indiqué

REVISION / Revision NO. DESSIN / Dwg Number  
**F** **A103**

BIM 360/12347\_BROOKSTREET/BRKST\_12347\_ARC\_INT\_R20.rvt

PARKING 1  
1:250

01  
A103  
#18007



GENERAL NOTES	
# NOTE	DESCRIPTION
1	PROPERTY LINE
2	LEVELS 2 TO 4 FOOTPRINT
3	TOWER FOOTPRINT
4	HOSE BIB FOR LANDSCAPE
5	GROUND FLOOR FOOTPRINT
6	PARKING P2 FOOTPRINT
7	PUBLIC TERRACE
8	28TH FLOOR FOOTPRINT
9	27TH FLOOR ROOF PROFILE
10	GROUND FLOOR DROP OFF ON P1 ROOF (HEATED)
11	EXISTING PARALLEL PARKING ROW
12	WINDOWS ADDED TO MEET 2% OPENING FOR SMOKE CONTROL REQUIREMENT
13	EXISTING BALLROOM
14	MULTI LEVEL EXISTING PARKING GARAGE
15	EXISTING PARKING GARAGE NEW ENTRANCE
16	NEW BALLROOM STAIRS EXIT
17	FIRE ROUTE (ONE WAY AT DROP OFF)
18	MONMOUTH EXISTING BUILDING
19	EXISTING WALL HYDRANT
20	CANOPY PROFILE
21	ELECTRICAL CLOSET, SEE ELECTRICAL ENG.
22	AEDUCULE STAIRS #3 AN EXHAUST AIR FROM P2
23	BALLROOM EXTENSION FOOTPRINT
24	TRENCH DRAIN
25	PATHWAY CW CIRCULATION MEMBRANE
26	COOLING TOWER ON ROOF OF THE 29TH FLOOR, SEE MECHANICAL ENG.
27	SCREEN WALL
28	BIRD-FRIENDLY LOW REFLECTANCE GLASS
29	PRIVATE TERRACE
30	GARBAGE CHUTE
31	ROOF ACCESS
32	SCISSOR
33	SCUPPER WITH SIMPLE DRAIN
34	GENERATOR ON THE ROOF, SEE ELECTRICAL ENG.
35	EXISTING TRANSFORMER TO BE RELOCATED (MONMOUTH BUILDING)
36	RESIDENCE TRANSFORMER, SEE ELECTRICAL ENG.
37	GARBAGE COMPACTOR
38	EXISTING HOTEL
39	EXTERIOR SHOWER
40	EXTERIOR BIKE RACKS
41	SNOW STORAGE
42	PARKING P1 FOOTPRINT
43	PAD FOR NEW PUMPHOUSE ELECTRICAL SUPPLY
44	ELECTRIC BASE TO BE RELOCATED
45	PUMP HOUSE TO BE RELOCATED
46	PROJECT SIGNAGE
47	GUARDRAIL
48	TYSI (SEE CIVIL GRADING PLAN)
49	GARBAGE CHUTE
50	29TH FLOOR ROOF

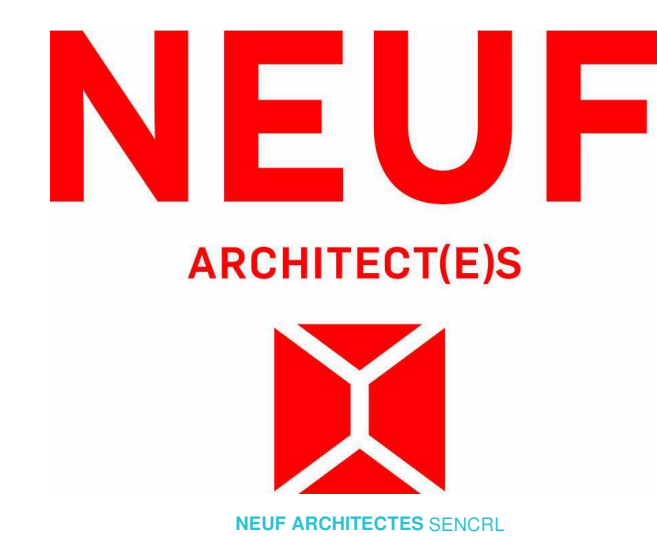
**MECHANICAL** Mécanique  
**ELECTRICAL** Électrique  
**GOODKEY, WEEDMARK & ASSOCIATES LIMITED**  
 1888 Woodbine Dr. Orono, ON L3C 0Z6  
 T 613 727 5111 gwel.com

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 T 514 847 1117 NEUFarchitectes.com

**SCEAU / Seal**



TOPOGRAPHIC SURVEY OF PART OF BLOC 11 REGISTERED PLAN 4M-1096 AND PART OF LOT 8 CONCESSION 4 GEOGRAPHIC TOWNSHIP OF MARCH NOW CITY OF OTTAWA

CIVIL PLAN - DATED 2022-01-27

LANDSCAPING PLAN - DATED 2022-01-27

SURFACE LEGEND	
[Symbol]	LANDSCAPE ON GRADE
[Symbol]	LANDSCAPING ON SLAB
[Symbol]	CONCRETE
[Symbol]	ASPHALT
[Symbol]	ASPHALT OVER PARKING LEVEL
[Symbol]	PAVERS
[Symbol]	GRAVEL ON GRADE
[Symbol]	ROOF
[Symbol]	TERRACE
[Symbol]	EXISTING BUILDING
[Symbol]	OUT OF INTERVENTION AREA
[Symbol]	POND
[Symbol]	EXIT ARROW (EGRESS)

CLIENT Client  
**brookstreet**  
 APARTMENTS  
 OUVRAGE Project  
**BROOKSTREET APARTMENTS**  
 EMPLACEMENT Location NO PROJET No.  
 525 Legget Drive Kanata 12347  
 Ontario K2K 2W2

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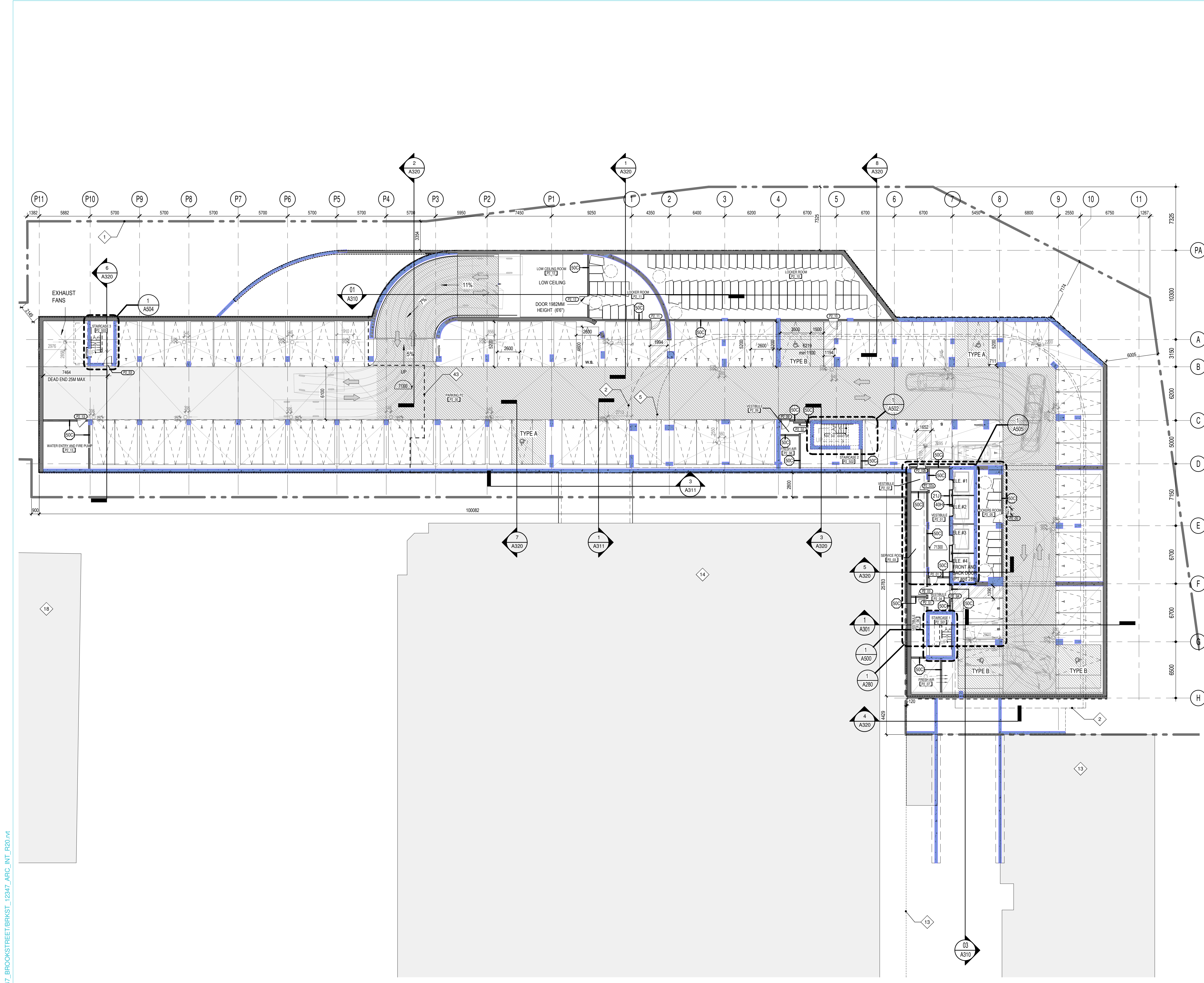
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 MM AT  
 DATE (aa.mm.ii)  
 2022 01 28

VERIFIÉ PAR Checked  
 KP BJSJ  
 ÉCHELLE Scale  
 1 : 250

TITRE DU DESSIN Drawing Title  
**SITE PLAN - GF AND G2**

REVISION Revision NO. DESSIN Dwg Number  
**G A104**  
 #18607

BIM 360/12347\_BROOKSTREET/BRKST\_12347\_ARC\_INT\_R20.rvt



**GENERAL NOTES**

# NOTE	DESCRIPTION
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4	HOSE BIB FOR LANDSCAPE
5	GROUND FLOOR FOOTPRINT
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9	33TH FLOOR ROOF PROFILE
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13	EXISTING BALLROOM
14	MULTI LEVEL EXISTING PARKING GARAGE
15	EXISTING PARKING GARAGE NEW ENTRANCE
16	NEW BALLROOM STAIRS EXIT
17	FIRE ROUTE (ONE WAY AT DROP OFF)
18	MOMMOUTH EXISTING BUILDING
19	EXISTING WALL HYDRANT
20	CANOPY PROFILE
21	ELECTRICAL CLOSET, SEE ELECTRICAL ENG.
22	AED/CLOSET STAIRS #3 AN EXHAUST AIR FROM P2
23	BALLROOM EXTENSION FOOTPRINT
24	TRENCH DRAIN
25	PATHWAY CW CIRCULATION MEMBRANE
26	COOLING TOWER ON ROOF OF THE 29TH FLOOR, SEE MECHANICAL ENG.
27	SCREEN WALL
28	BIRD-FRIENDLY LOW REFLECTANCE GLASS
29	PRIVATE TERRACE
30	GARBAGE CHUTE
31	ROOF ACCESS
32	SWIMMING POOL
33	SCULLERY WITH SIMPLE DRAIN
34	GENERATOR ON THE ROOF, SEE ELECTRICAL ENG.
35	EXISTING TRANSFORMER TO BE RELOCATED (MOMMOUTH BUILDING)
36	RESIDENCE TRANSFORMER, SEE ELECTRICAL ENG.
37	GARBAGE COMPACTOR
38	EXISTING HOTEL
39	EXTERIOR SHOWER
40	EXTERIOR BIKE RACKS
41	SNOW STORAGE
42	PARKING P1 FOOTPRINT
43	PAD FOR NEW PUMPHOUSE ELECTRICAL SUPPLY
44	ELECTRIC BASE TO BE RELOCATED
45	PUMP HOUSE TO BE RELOCATED
46	PROJECT SIGNAGE
47	QUADRANTAL
48	TV/SI (SEE CIVIL GRADING PLAN)
49	GARBAGE CHUTE
50	29TH FLOOR ROOF

**BICYCLE RACK COUNTING.**

P1 PARKING LEVEL	INTERIOR STACKED	123
EXTERIOR BIKE		6
<b>TOTAL:</b>		<b>129</b>

**PARKING SPACE.**

P2 PARKING LEVEL	STANDARD	2
BARRIER FREE: TYPE A 2400mmx2000mm		3
BARRIER FREE: TYPE B 3500mmx2000mm		63
STANDARD: 2600x5200		4
STANDARD SMALL: 2400x4600		1
STANDARD SMALL: 2600x4600 WIDE		1
<b>TOTAL:</b>		<b>111</b>

**LOCKERS**

P2 PARKING LEVEL	LOCKERS	92
P1 PARKING LEVEL	LOCKERS	9
<b>1ST FLOOR MEZZ</b>	LOCKERS	<b>151</b>
<b>TOTAL:</b>		<b>252</b>

**PLAN SYMBOL LEGEND**

- RAILING OR GUARDRAIL TYPE
- PRIVACY SCREEN TYPE
- GENERAL NOTES
- WINDOW OR CURTAIN WALL TYPE
- WALL TYPE
- ROOF TYPE
- DOOR NUMBER
- ROOM
- EXTERIOR MATERIAL TYPE

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CLIENT Client

**brookstreet APARTMENTS**

OUVRAGE Project

**BROOKSTREET APARTMENTS**

EMPLACEMENT Location NO PROJET No. 12347

525 Legget Drive Kanata Ontario K2K 2W2

NO REVISION DATE (aa-mm-ij)

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G	FOR COORDINATION	2021 12 16
AA	SITE PLAN APPROVAL REV 1	2022 01 28

DESSINÉ PAR Drawn by AT MM

DATE (aa.mm.ij) 2022 01 28

TITRE DU DESSIN Drawing Title

VERIFIÉ PAR Checked BSJ KP

ÉCHELLE Scale Comme indiqué

**P2 PARKING LEVEL**

REVISION Revision NO. DESSIN Dwg Number

**AA A200a**

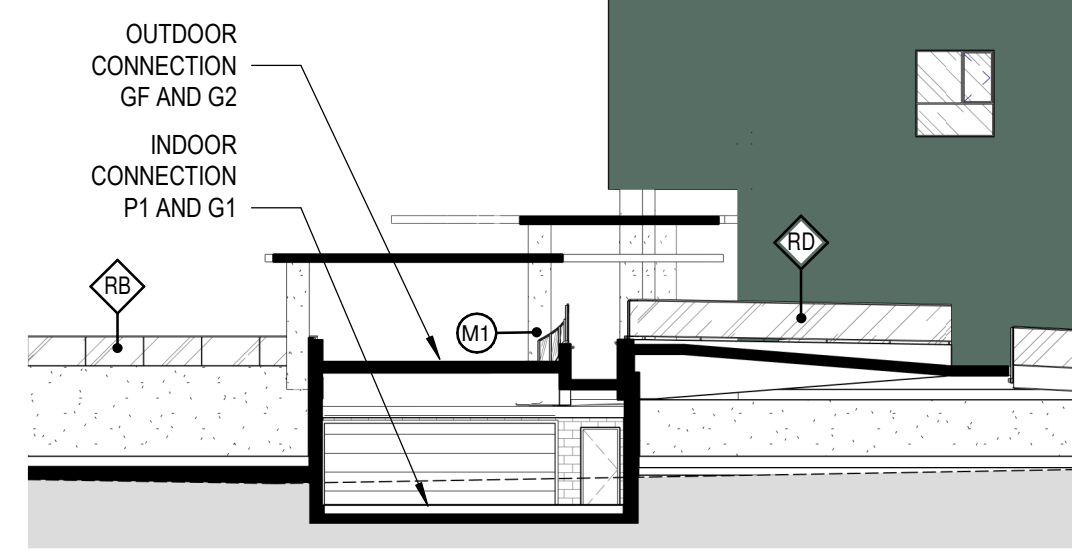
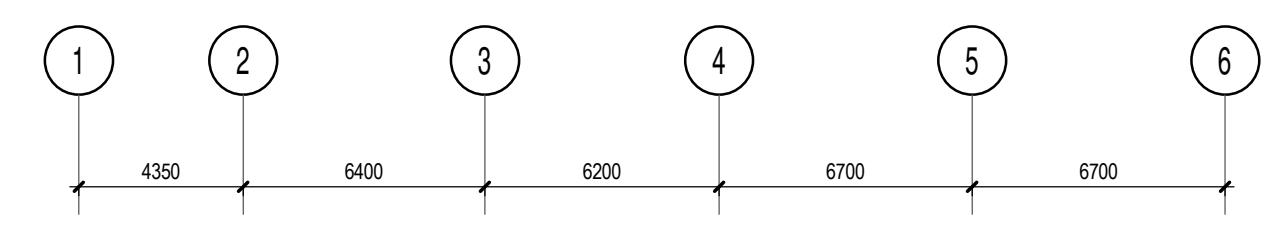
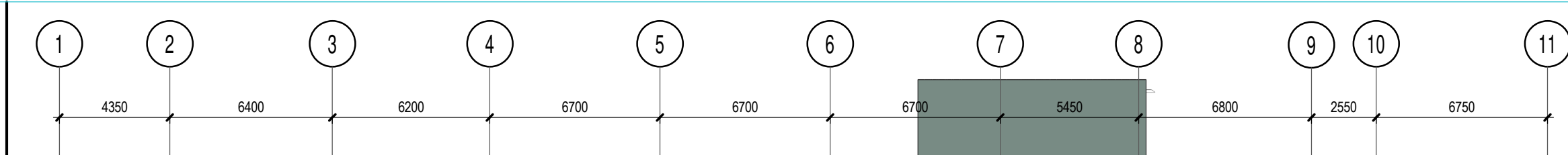
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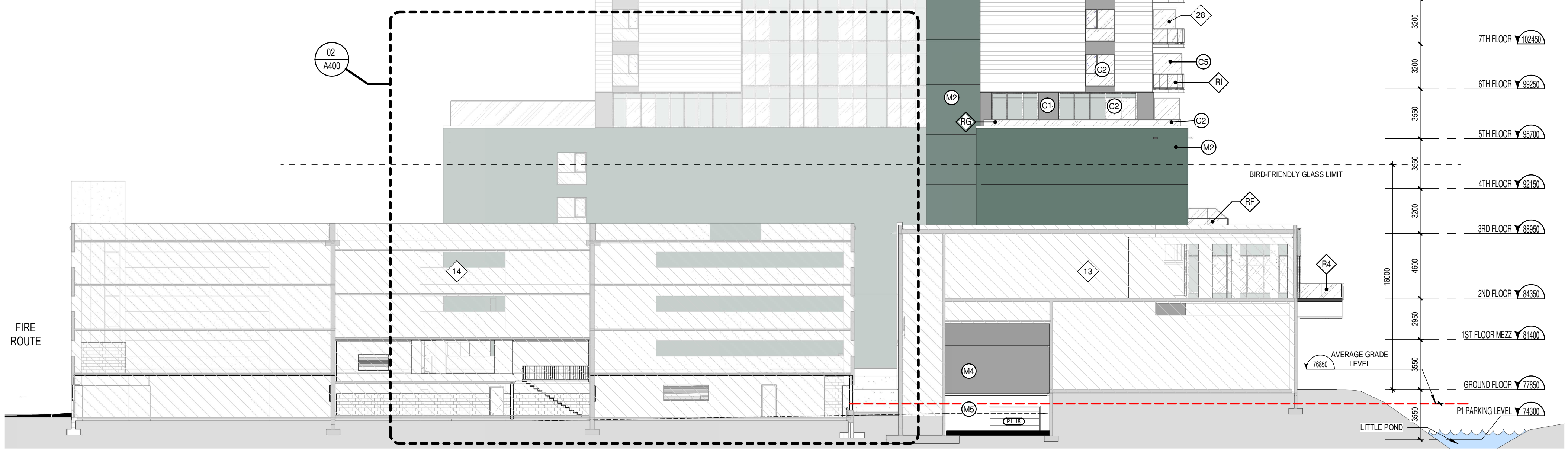
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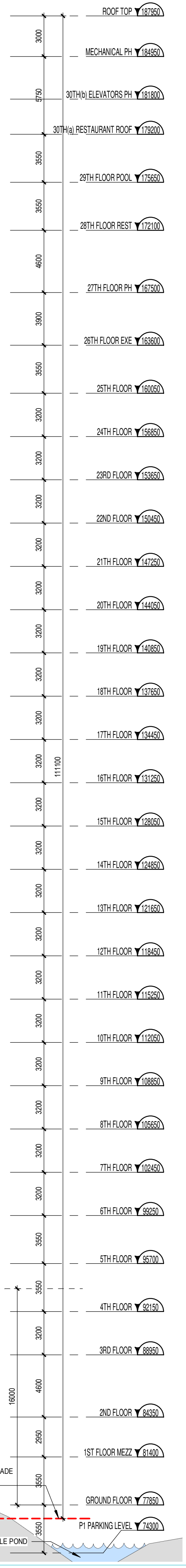
01 A200a



SW ELEVATION BEHIND GARAGE  
1:200



LEGGET DRIVE ORIENTATION  
1:200



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32	ROOF ACCESS
33	SWIMMING POOL
34	SCULPPER WITH SIMPLE DRAIN
35	GENERATOR ON THE ROOF, SEE ELECTRICAL ENG.
36	EXISTING TRANSFORMER TO BE RELOCATED (MONMOUTH BUILDING)
37	RESIDENCE TRANSFORMER, SEE ELECTRICAL ENG.
38	GARBAGE COMPACTOR
39	EXISTING HOTEL
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47	PROJECT SIGNAGE
48	GUARDRAIL
49	TWSI (SEE CIVIL GRADING PLAN)
50	GARBAGE CHUTE
51	29TH FLOOR ROOF

EXTERIOR FINISHES LEGEND	
NOTE	DESCRIPTION
M1	CONCRETE PRECAST COLUMN - POLISHED CONCRETE FINISH
M2	PRECAST - COLOUR - GREEN/ GREY AS PER EXISTING BUILDING
M3	HORIZONTAL METAL CLADDING - LIGHT GREY
M4	METAL CLADDING - DARK GREY
M5	EIFS CONCRETE FOUNDATION FINISH - ADEX FINISH COAT - COLOUR - GREEN/ GREY
C1	SPANDREL PANEL - LIGHT GREY
C2	CLEAR GLASS
C3	BIRD SAFE CLEAR GLASS
C4	BIRD SAFE SPANDREL PANEL
C5	TRANSLUCENT GLASS FOR PRIVACY SCREEN

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OUVRAGE Project  
**BROOKSTREET APARTMENTS**

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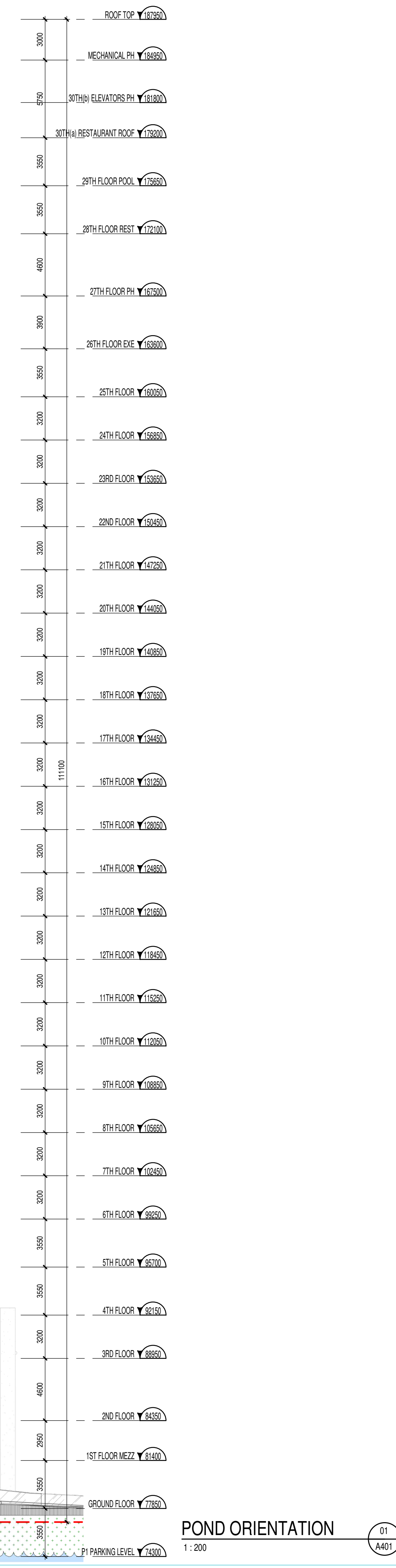
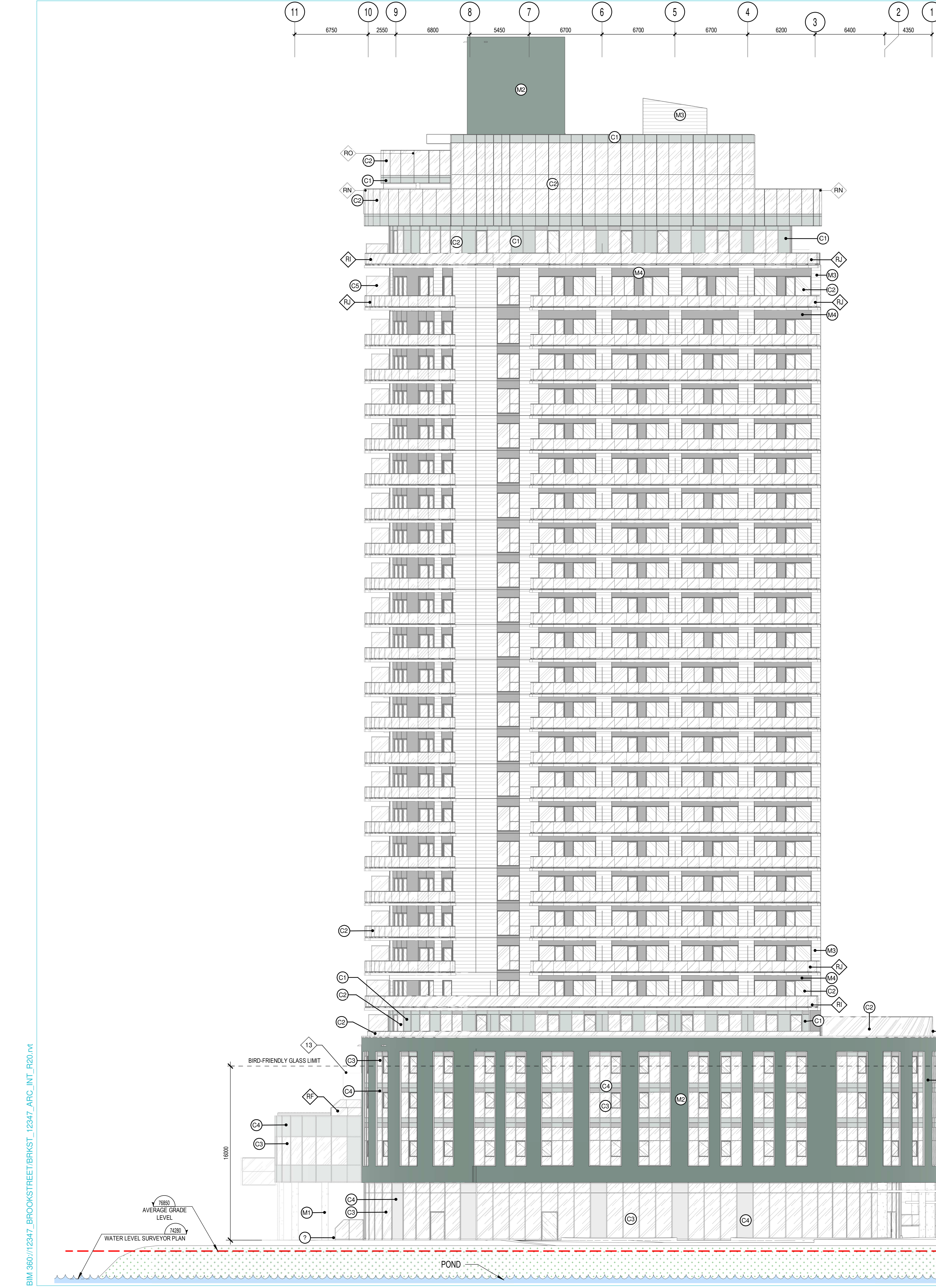
TITRE DU DESSIN Drawing Title  
**SOUTH-WEST ELEVATION LEGGET DRIVE**

REVISION Revision NO. DESSIN Dwg Number  
**E A400**

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007-12-21-0160 #18607





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36	EXISTING TRANSFORMER TO BE RELOCATED (MONMOUTH BUILDING)
37	RESIDENCE TRANSFORMER, SEE ELECTRICAL ENG.
38	GARBAGE COMPACTOR
39	EXISTING HOTEL
40	EXTERIOR SHOWER
41	EXTERIOR BIKE RACKS
42	SNOW STORAGE
43	PARKING P1 FOOTPRINT
44	PAD FOR NEW PUMPHOUSE ELECTRICAL SUPPLY
45	ELECTRIC BASE TO BE RELOCATED
46	PUMP HOUSE TO BE RELOCATED
47	PROJECT SIGNAGE
48	GUARDRAIL
49	TWSI (SEE CIVIL GRADING PLAN)
50	GARBAGE CHUTE
51	29TH FLOOR ROOF

# NOTE	DESCRIPTION
1	PROPERTY LINE
2	LEVELS 2 TO 4 FOOTPRINT
3	TOWER FOOTPRINT
4	HOSE BIB FOR LANDSCAPE
5	GROUND FLOOR FOOTPRINT
6	PARKING P2 FOOTPRINT
7	PUBLIC TERRACE
8	28TH FLOOR FOOTPRINT
9	30TH FLOOR ROOF PROFILE
10	GROUND FLOOR DROP OFF ON P1 ROOF (HEATED)
11	EXISTING PARALLEL PARKING ROW
12	WINDOWS ADDED TO MEET 2% OPENING FOR SMOKE CONTROL REQUIREMENT
13	EXISTING BALLROOM
14	MULTI LEVEL EXISTING PARKING GARAGE
15	EXISTING PARKING GARAGE NEW ENTRANCE
16	NEW BALLROOM STAIRS EXIT
17	FIRE ROUTE (ONE WAY AT DROP OFF)
18	MONMOUTH EXISTING BUILDING
19	EXISTING WALL HYDRANT
20	CANOPY PROFILE
21	ELECTRICAL CLOSET, SEE ELECTRICAL ENG.
22	AEDICULE, STAIRS #3 AN EXHAUST AIR FROM P2
23	BALLROOM EXTENSION FOOTPRINT
24	TRENCH DRAIN
25	SCUPPER WITH SIMPLE DRAIN
26	PATHWAY CW CIRCULATION MEMBRANE
27	COOLING TOWER ON ROOF OF THE 29TH FLOOR, SEE MECHANICAL ENG.
28	SCREEN WALL
29	BIRD-FRIENDLY LOW REFLECTANCE GLASS
30	PRIVATE TERRACE
31	GARBAGE CHUTE
32	ROOF ACCESS
33	SIAMISE
34	SCUPPER WITH SIMPLE DRAIN
35	GENERATOR ON THE ROOF, SEE ELECTRICAL ENG.
36	EXISTING TRANSFORMER TO BE RELOCATED (MONMOUTH BUILDING)
37	RESIDENCE TRANSFORMER, SEE ELECTRICAL ENG.
38	GARBAGE COMPACTOR
39	EXISTING HOTEL
40	EXTERIOR SHOWER
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4. Les dimensions sur ces documents doivent être lues et non mesurées. / The dimensions on these documents must be read and not measured.

MECHANICAL: Mécanique  
ELECTRICAL: Électricité

**GOODKEY, WEEDMARK & ASSOCIATES LIMITED**  
1888 Woodbine Dr., Orono, ON N2C 3R6  
T 613 727 5111 gweal.com

STRUCTURAL: Structure

**CUNLIFFE & ASSOCIATES**  
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ARCHITECTE DE PAYSAGE Landscape Architect

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ARCHITECTE Architect  
DESIGN INTERIEUR Interior Design

**NEUF architect(e)s** SENCRL  
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T 514 847 1117 NEUFarchitectes.com

SCEAU / Seal



CLIENT Client

**BROOKSTREET APARTMENTS**

OUVRAGE Project

EMPLACEMENT Location NO PROJET No.  
525 Legget Drive Kanata 12347  
Ontario K2K 2W2

NO	RÉVISION	DATE (aa-mm-ii)
A	FOR INTERNAL REVIEW - ARCHITECT	2021 07 14
B	SITE PLAN APPROVAL	2021 10 04
C	FOR COORDINATION	2021 10 27
D	FOR INTERNAL REVIEW - ARCHITECT	2021 11 23
E	SITE PLAN APPROVAL REV 1	2022 01 28

*Preliminary*  
**DO NOT USE FOR CONSTRUCTION**

DESSINÉ PAR Drawn by  
AT DM

VERIFIÉ PAR Checked  
KP BSJ

DATE (aa.mm.ii)  
2022 01 28

ÉCHELLE Scale  
1:200

TITRE DU DESSIN Drawing Title

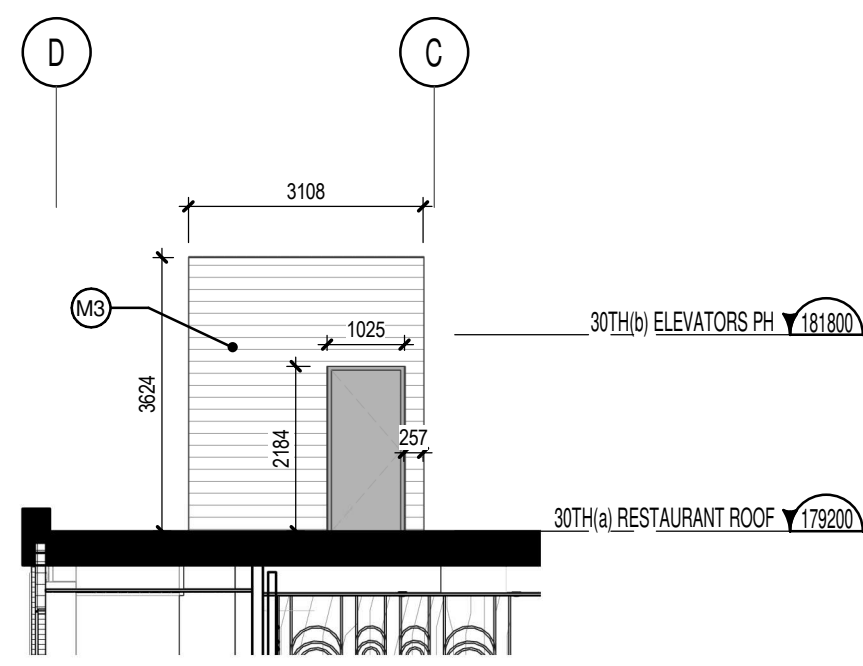
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RÉVISION Revision NO. DESSIN Dwg Number  
**E** **A401**  
#18607

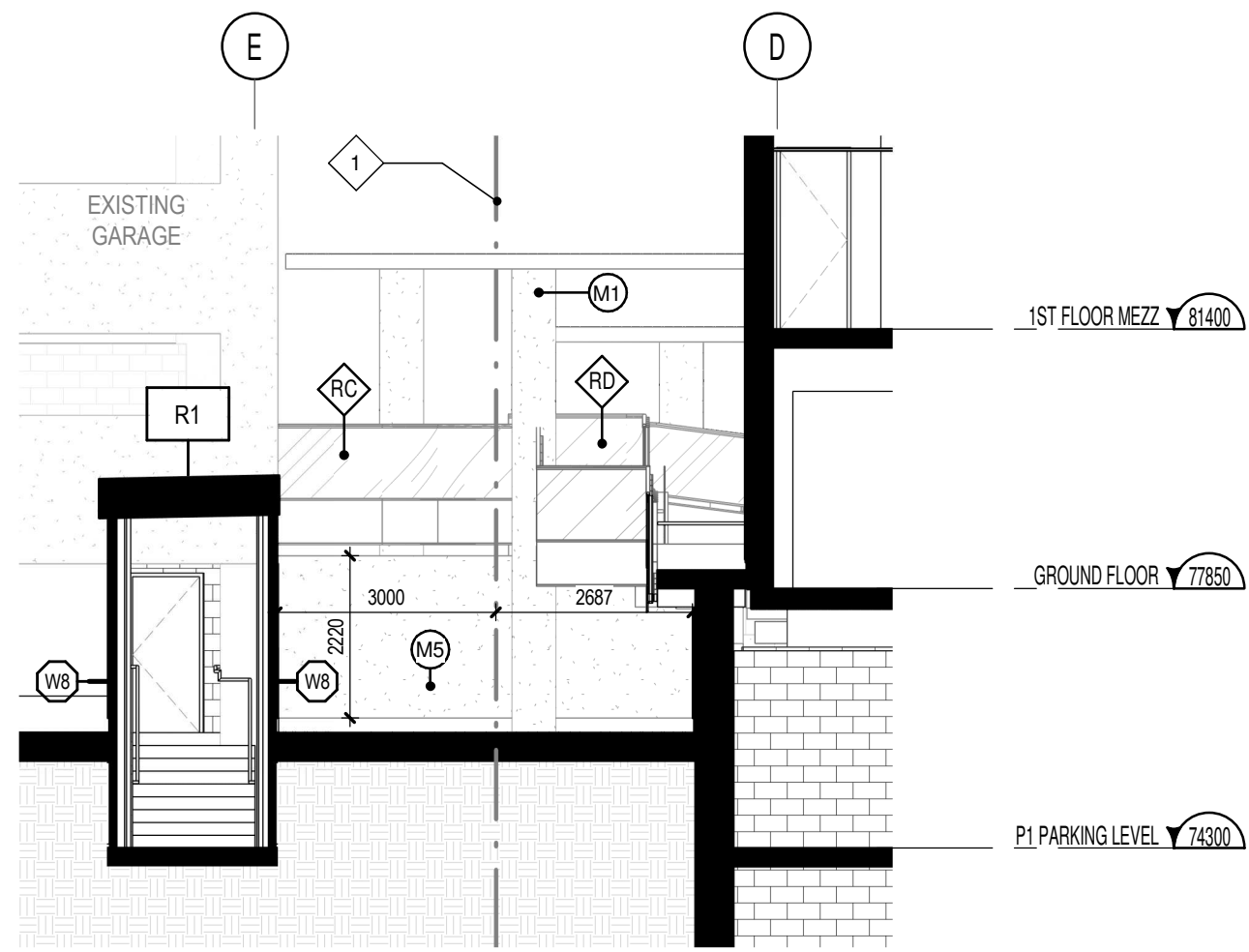
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**POND ORIENTATION**  
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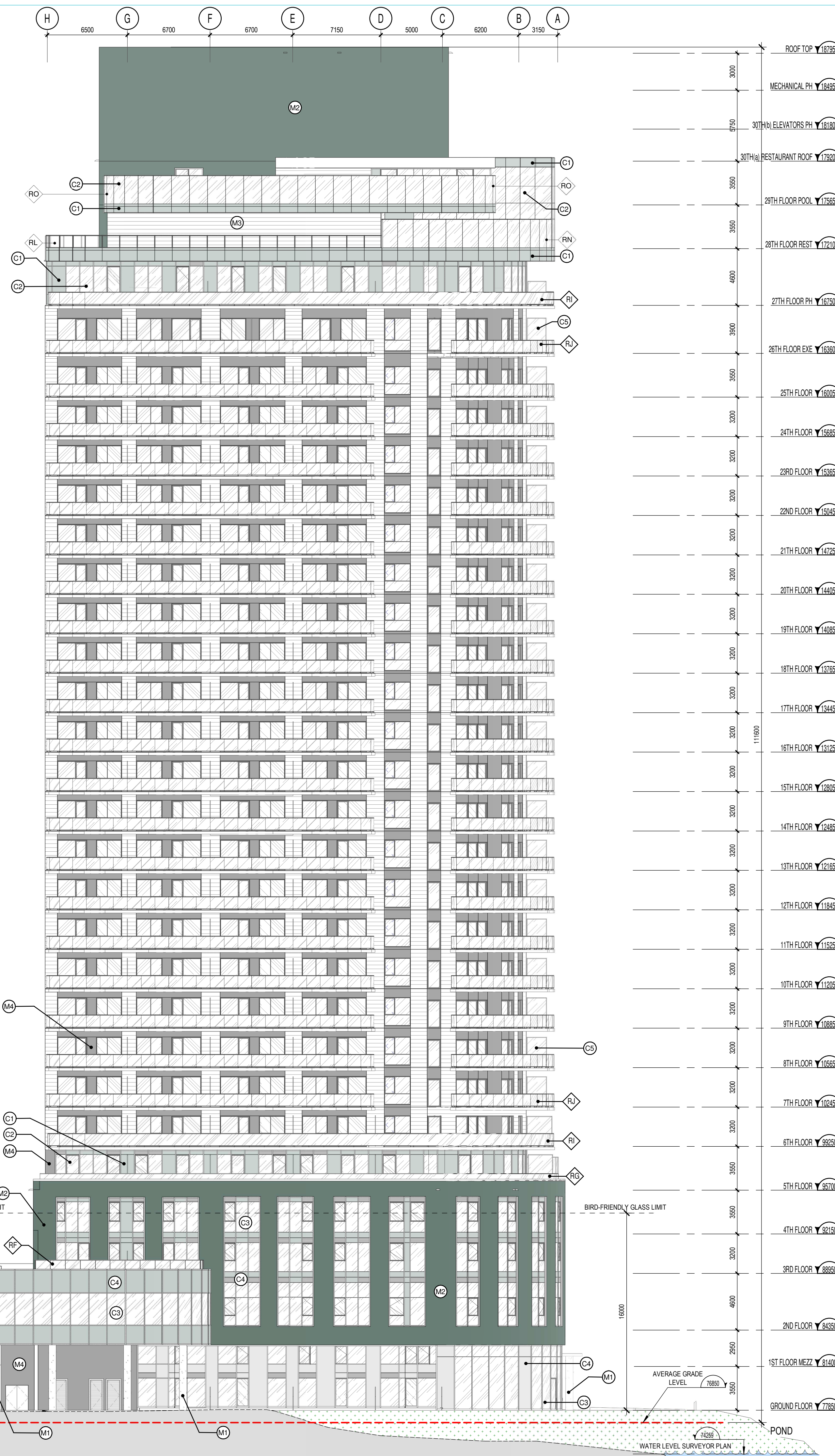


SE ELEVATION - STAIR 2 AEDICULE  
1 : 100  
A403



SE ELEVATION - VESTIBULE TO GARAGE  
1 : 100  
A403

GOLF ORIENTATION  
1 : 200  
A403



GENERAL NOTES	
# NOTE	DESCRIPTION
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25	TRENCH DRAIN
26	PATHWAY CW CIRCULATION MEMBRANE
27	COOLING TOWER ON ROOF OF THE 28TH FLOOR, SEE MECHANICAL ENG.
28	SCREEN WALL
29	BIRD-FRIENDLY LOW REFLECTANCE GLASS
30	PRIVATE TERRACE
31	GARBAGE CHUTE
32	ROOF ACCESS
33	SWIMMING POOL
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51	29TH FLOOR ROOF

EXTERIOR FINISHES LEGEND	
NOTE	DESCRIPTION
M1	CONCRETE PRECAST COLUMN - POLISHED CONCRETE FINISH
M2	PRECAST - COLOUR - GREEN/ GREY AS PER EXISTING BUILDING
M3	HORIZONTAL METAL CLADDING - LIGHT GREY
M4	METAL CLADDING - DARK GREY
M5	EIFS CONCRETE FOUNDATION FINISH - ADEX FINISH COAT - COLOUR - GREEN/ GREY
C1	SPANDREL PANEL - LIGHT GREY
C2	CLEAR GLASS
C3	BIRD SAFE CLEAR GLASS
C4	BIRD SAFE SPANDREL PANEL
C5	TRANSLUCENT GLASS FOR PRIVACY SCREEN

NOTES GÉNÉRALES General Notes

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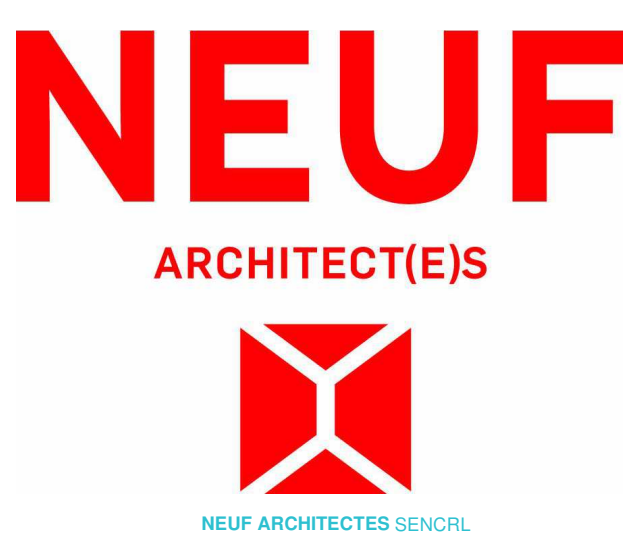
MECHANICAL Mécanique  
ELECTRICAL Électrique  
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STRUCTURAL Structure  
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ARCHITECTE Architect  
DESIGN INTERIEUR Interior Design  
**NEUF architect(e)s** SENCRL  
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T 514 847 1117 NEUFarchitectes.com

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CLIENT Client  
**brookstreet APARTMENTS**

OUVRAGE Project  
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EMPLACEMENT Location NO PROJET No.  
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Ontario K2K 2W2

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AT DM  
DATE (aa.mm.ii)  
2022 01 28  
TITRE DU DESSIN Drawing Title

VERIFIÉ PAR Checked  
KP BJSJ  
ÉCHELLE Scale  
1:200  
**SOUTH-EAST ELEVATION GOLF**

RÉVISION Revision NO. DESSIN Dwg Number  
**E A403**  
#18607

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