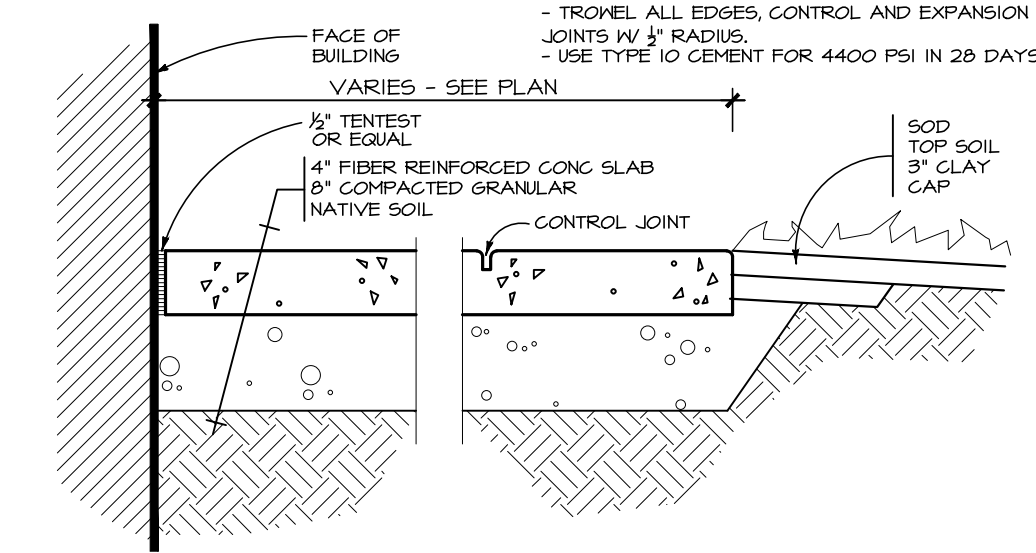
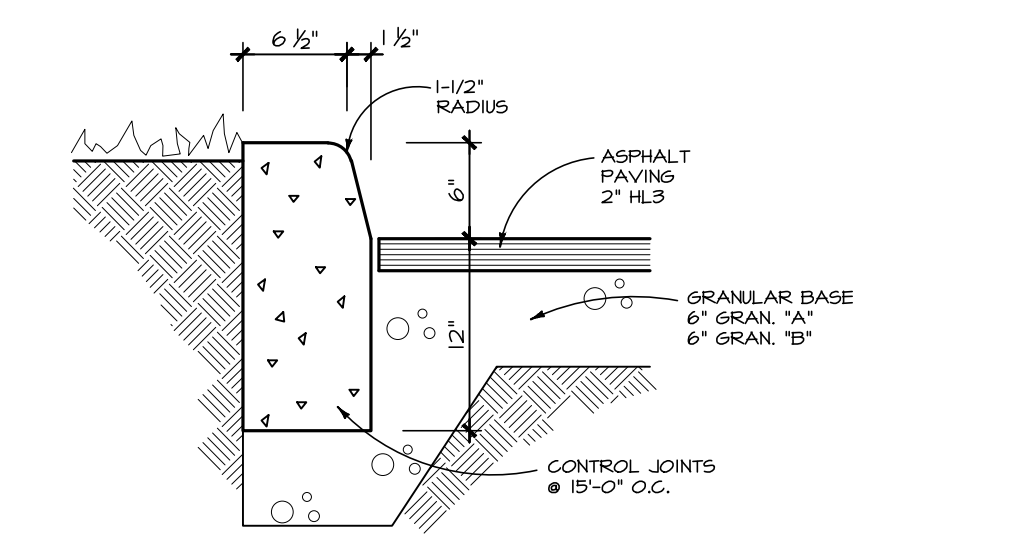


ZONING MECHANISMS PROPOSED OFFICE USE	PROVISIONS	
	REQUIRED	PROVIDED
MINIMUM LOT AREA	NO MINIMUM	2105.61 m ²
MINIMUM LOT WIDTH	NO MINIMUM	45.34 m
MINIMUM FRONT YARD AND CORNER SIDE YARD SETBACKS	3 m	4.81 m
MINIMUM INTERIOR SIDE YARD SETBACKS	FOR NON-RESIDENTIAL OR MIXED USE BUILDING FROM ANY PORTION OF A LOT LINE ABUTTING A RESIDENTIAL ZONE	5 m
MINIMUM REAR YARD SETBACKS	FROM ANY PORTION OF A REAR LOT LINE ABUTTING A RESIDENTIAL ZONE	1.5 m
MINIMUM REAR YARD SETBACKS	FROM ANY PORTION OF A REAR LOT LINE ABUTTING A RESIDENTIAL ZONE	4.52 m
MAXIMUM BUILDING HEIGHT	11 m	16.2 m
MAXIMUM PERMITTED GROSS FLOOR AREA (SUBZONE 14)	35,000 m ²	53,84 m
MINIMUM WIDTH OF LANDSCAPED AREA	ABUTTING A STREET	3 m
	ABUTTING A RESIDENTIAL OR INSTITUTIONAL ZONE	3 m
	OTHER CASES	NO MINIMUM
PARKING (OFFICE - AREA C)		
MINIMUM PARKING SPACES - 2,400 M ² GROSS FLOOR AREA	13 SPACES	26 SPACES
MINIMUM DRIVEWAY WIDTH PROVIDING ACCESS TO A PARKING LOT	6.7 m	6.7 m
MINIMUM WIDTH OF LANDSCAPED AREA AROUND A PARKING LOT CONTAINING MORE THAN 10 BUT FEWER THAN 100 SPACES	ABUTTING A STREET	3 m
	NOT ABUTTING A STREET	1.5 m
	BICYCLE PARKING	NO MINIMUM
MINIMUM BICYCLE PARKING SPACES - 1/250 M ² GROSS FLOOR AREA	2 SPACES	6 SPACES

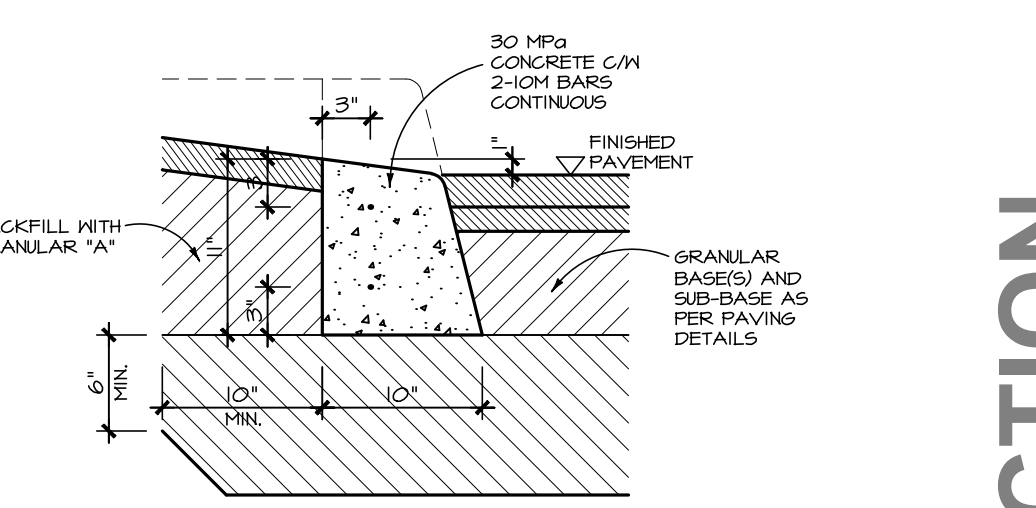
NOTES:
 - PROVIDE 1" DEEP CONTROL JOINT AT 5'-0" O.C.
 - PROVIDE NON-SLIP BROOM FINISH
 - TROWEL ALL EDGES, CONTROL AND EXPANSION JOINTS W/ 1/2" RADIUS
 - USE TYPE 10 CEMENT FOR 4400 PSI IN 28 DAYS



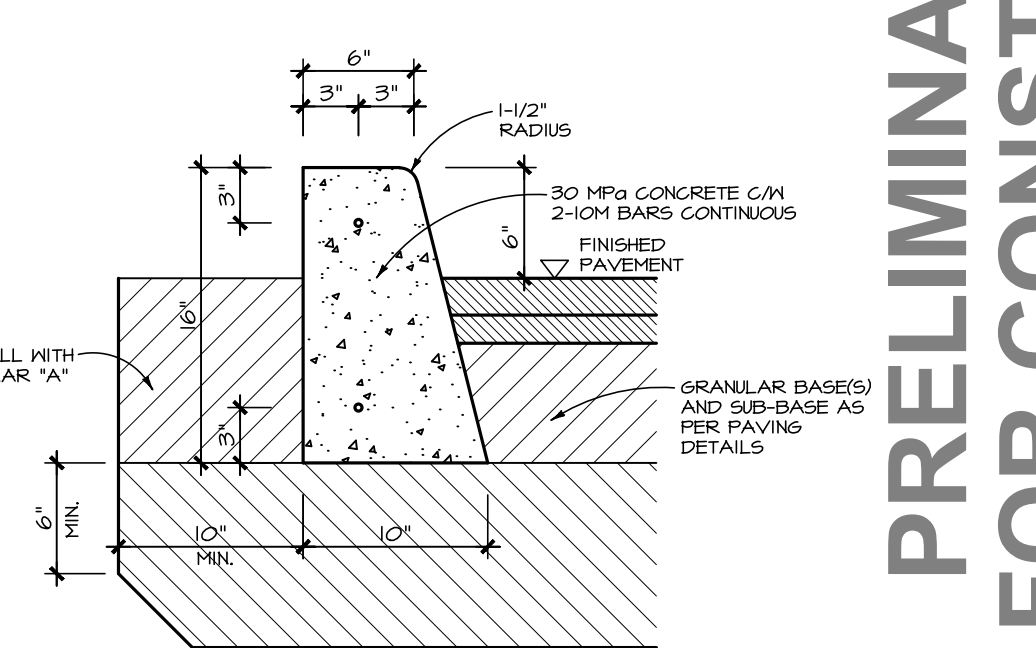
2 CONCRETE WALK DETAIL
 A.1 1" = 1'-0"



3 CURB DETAIL
 A.1 1" = 1'-0"

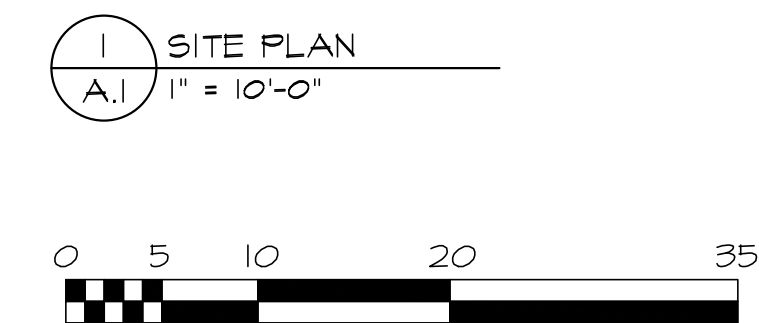
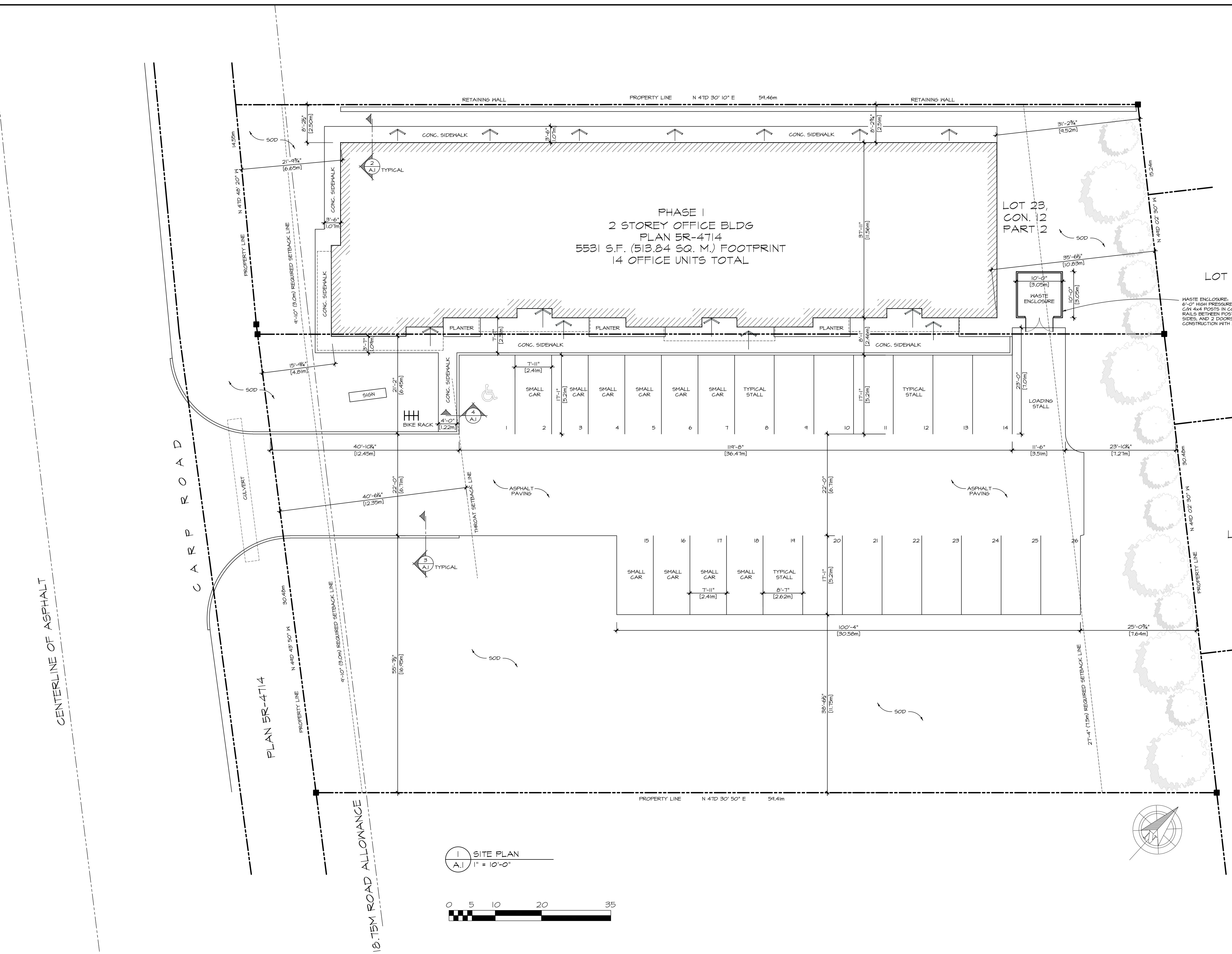


4 DEPRESSED CURB DETAIL
 A.1 1" = 1'-0"



5 BARRIER CURB DETAIL
 A.1 1" = 1'-0"

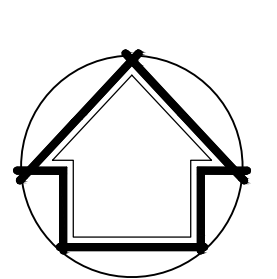
**PRELIMINARY
 NOT FOR CONSTRUCTION**



NOTES:
 REFER TO GENERAL NOTES FOR ALL TYPICAL CONSTRUCTION NOTES & DETAILS WHEN DRAWINGS OR NOTES REFERENCE O.B.C. IN ALL CASES PLEASE REFER TO THE LATEST VERSION OF THE ONTARIO BUILDING CODE 2022.

LEGEND:
 (1) EXTERIOR DOOR & WINDOW TAG
 (2) DOOR TAG
 (3) EXTERIOR PARTITION WALL TYPE
 (4) INTERIOR PARTITION WALL TYPE
 (5) FLOOR TYPE
 (6) ROOF TYPE
 (7) FOOT TYPE
 (8) PAD FOOTING TYPE
 (9) WALL FOOTING TYPE
 (10) SMOKE/ CARBON MONOXIDE DETECTOR PER CBC 4.10.14 & 4.33.4

DOOR NUMBER (DIS20)
 EXISTING DOOR
 NEW DOOR
 EXISTING HALL
 NEW HALL CONSTRUCTION
 DEMOLITION
 ENTRANCE (POINTS INTO BUILDING)
 EXIT (POINTS OUT OF BUILDING)



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 www.jimbells.ca

VERSION NO.	1
DATE	JULY 2021
SEAL	

NOTES:
 - CONTRACTORS MUST COMPLY WITH ALL CODES & REGULATIONS IN ALL JURISDICTIONS.
 - IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS AND TO OBTAIN ALL NECESSARY APPROVALS FROM THE LOCAL AUTHORITY.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.
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NO.	ITEM	DATE
1	FOR REVIEW	20.07.21
	REVISIONS	

PROJECT
 TWO STOREY OFFICE BUILDING
 1087 CARP ROAD
 OTTAWA, ONTARIO
 K2S 1B4

CLIENT
 HQ MANAGEMENT GROUP
 218 HUNTSVILLE DRIVE
 KANATA, ONTARIO
 K2T 0G6

DRAWING
 SITE PLAN

SCALE AS SHOWN
 DRAWN BY TJS
 DATE JULY 2021
 CHECKED BY JCB
 APPROVED BY JCB
 PROJECT NO. 210-54
 SHEET NO. **A.1**