

**GENERAL NOTES**

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**SURVEY PLAN DISCLAIMER**

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NO.	ISSUE	DATE (Y/M/D)
00	ISSUED FOR SITE PLAN APPROVAL	2021/08/31

REVISIONS

PROJECT NORTH

SEAL

ONTARIO ASSOCIATION OF ARCHITECTS

AHMED AREF LICENCE 7706

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1 SITE PLAN  
A1.0 SCALE 1:400

**LEGEND**

	PROPERTY LINE		EXISTING LIGHT STANDARD
	SETBACK LINE		PROPOSED PAINTED GALVANIZED STEEL BOLLARD
	FIRE DEPARTMENT ACCESS ROUTE		EXISTING UTILITY POLE
	OUTLINE OF NEW BUILDING		EXISTING CATCH BASIN
	OUTLINE OF EXISTING BUILDING		DRAINAGE INLET
	OUTLINE OF LANDSCAPED AREA		PROPOSED CATCH BASIN
	PROPOSED LAMP POST ON A CONCRETE BASE. REFER TO THE ELEC. SITE LIGHTING PLAN		PROPOSED CATCH BASIN SANITARY MANHOLE
			PROPOSED SANITARY MANHOLE
			PROPOSED LEACHING CATCH BASIN
			EXISTING IRON BAR
			EXISTING STANDARD IRON BAR
			EXISTING SHORT STANDARD IRON BAR

**ZONING DATA** (BASED ON ZONING BY-LAW 2008-250)

**Municipal Address:**  
2582, 2600, 2626 Bank Street, Ottawa, Ontario

**Legal Description:**  
Plan 141 PT Lot 19 RPSR:14339 PT of Part 1 Plan 141 PT Lot 19 RPSR:7901:Part 1  
Plan 141 PT Lots 19 & 21 RP:SR-6970 Parts 16 & 17 less RP SR-2898 Part 18; Gloucester Concession 4 RE PT Lot 7; and Plan 141 PT Lot 21 RP:SR-2898 Parts 17 to 19 PT; Part 16 RP 587045 Part 1 RP: SR8222 Parts 1 2 and 4 RP

**Zoning Designation:**  
2582, 2600 Bank Street: AM H(30) Arterial Mainstreet  
2626 Bank Street: R3Y(708) Residential

**Site Area:** 16,321.58 Sq.M. (1,632 Ha)

**Lot Coverage:** (3859/16,321.58) x 100 = 23.64%

ZONING PROVISIONS	REQUIRED	PROVIDED
<b>PARKING REQUIREMENTS</b>	<b>Parking Ratio - Commercial</b> 3.6/100 Sq.M. = 152 Parking Spaces <b>Parking Ratio - Office</b> 2.4/100 Sq.M. = 185 Parking Spaces  <b>Total: 152 + 185 = 337 spaces</b>	407 Spaces (92 above ground + 315 below ground)
<b>DISABLED PARKING SPACES</b>	5 Parking Spaces	11 Spaces (16 above ground + 7 below ground)
<b>BICYCLE PARKING REQUIREMENTS</b>	<b>Bike Space Ratio - Commercial</b> 1/250 Sq.M. = 17 Parking Spaces <b>Bike Space Ratio - Office</b> 1/250 Sq.M. = 31 Parking Spaces  <b>Total: 17 + 31 = 48 spaces</b>	48 Spaces (16 above ground; 32 below ground)

BUILDING	BUILDING USE & AREAS			TOTAL GROSS FLOOR AREA CALCULATION
	FLOOR	USE	AREA (SQ.M.)	
BUILDING (A)	1ST	COMMERCIAL	1,632.85	TOTAL COMMERCIAL 4,232.80 TOTAL OFFICE 7,718.00 <b>TOTAL GROSS FLOOR AREA 11,950.80</b>
	2ND	OFFICE	1,632.85	
	3RD	OFFICE	1,632.85	
<b>TOTAL GROSS FLOOR AREA 4,898.55</b>				
BUILDING (B)	1ST	COMMERCIAL	1,066.78	TOTAL COMMERCIAL 4,232.80 TOTAL OFFICE 7,718.00 <b>TOTAL GROSS FLOOR AREA 11,950.80</b>
	2ND	OFFICE	1,066.78	
	3RD	OFFICE	1,066.78	
<b>TOTAL GROSS FLOOR AREA 3,200.34</b>				
BUILDING (C)	1ST	COMMERCIAL	1,159.37	TOTAL COMMERCIAL 4,232.80 TOTAL OFFICE 7,718.00 <b>TOTAL GROSS FLOOR AREA 11,950.80</b>
	2ND	OFFICE	1,159.37	
	3RD	OFFICE	1,159.37	
<b>TOTAL GROSS FLOOR AREA 3,478.11</b>				

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**UPPER HUNT CLUB CENTRE INC.**  
2335 ST. LAURENT BLVD., OTTAWA, ON

PROJECT

**UPPER HUNT CLUB CENTRE**  
2600 BANK STREET, OTTAWA, ON

DRAWING TITLE

**SITE PLAN**

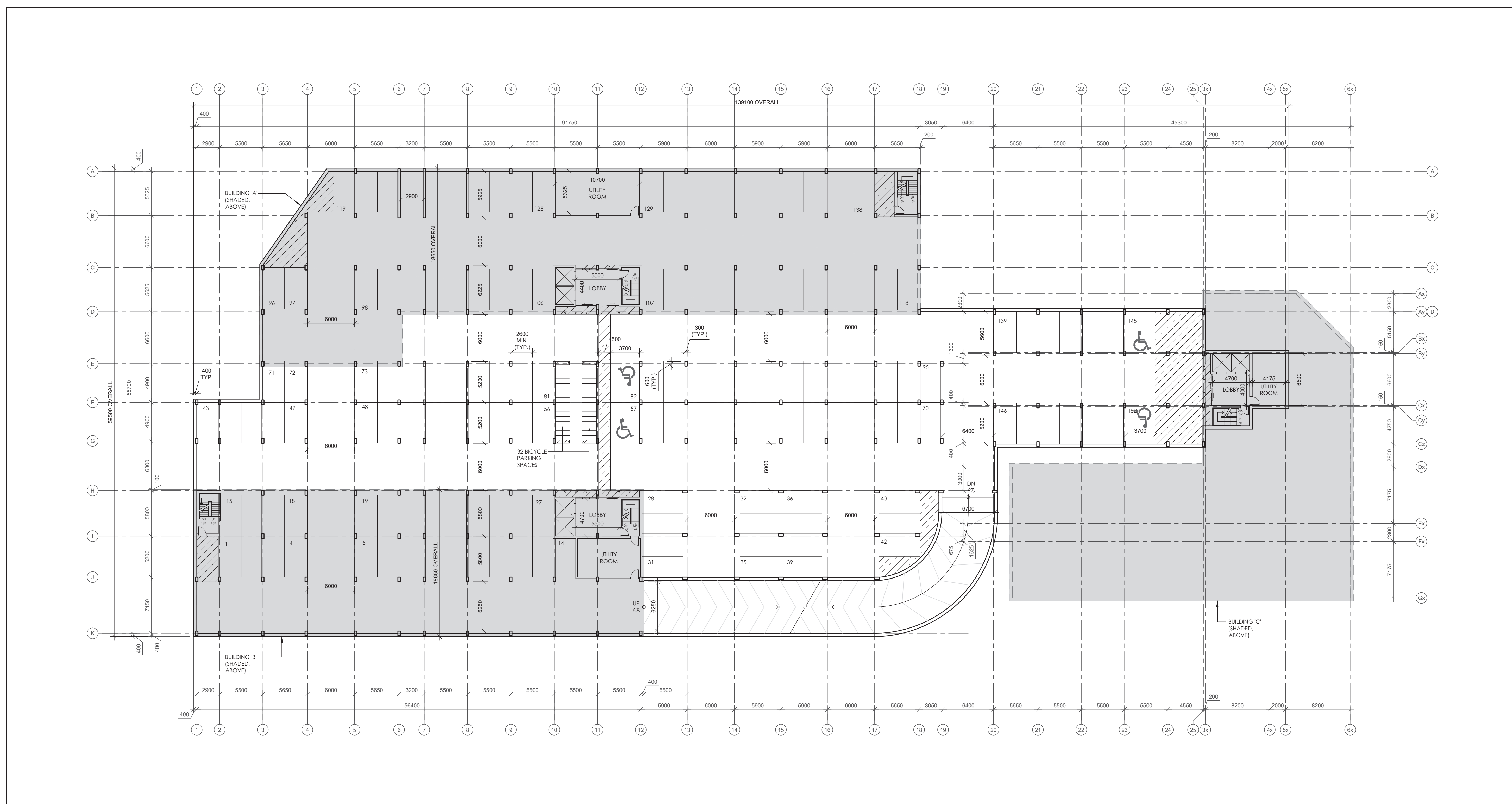
DRAWN BY J.R. DRAWING NO.  
REVIEWED BY A.A.  
START DATE 2019/10/08  
PROJECT NO. 19009 REVISION NO. 00

**A1.0**

PLAN NO.: ###-###-###  
FILE NO.: X###-###-###

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1 UNDERGROUND LEVEL 1: PARKING PLAN  
 A2.0A SCALE 1:250

00	ISSUED FOR SITE PLAN APPROVAL	2021/08/31
NO.	ISSUE	DATE (YY/MM/DD)

PROJECT NORTH

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 2335 ST. LAURENT BLVD., OTTAWA, ON

PROJECT

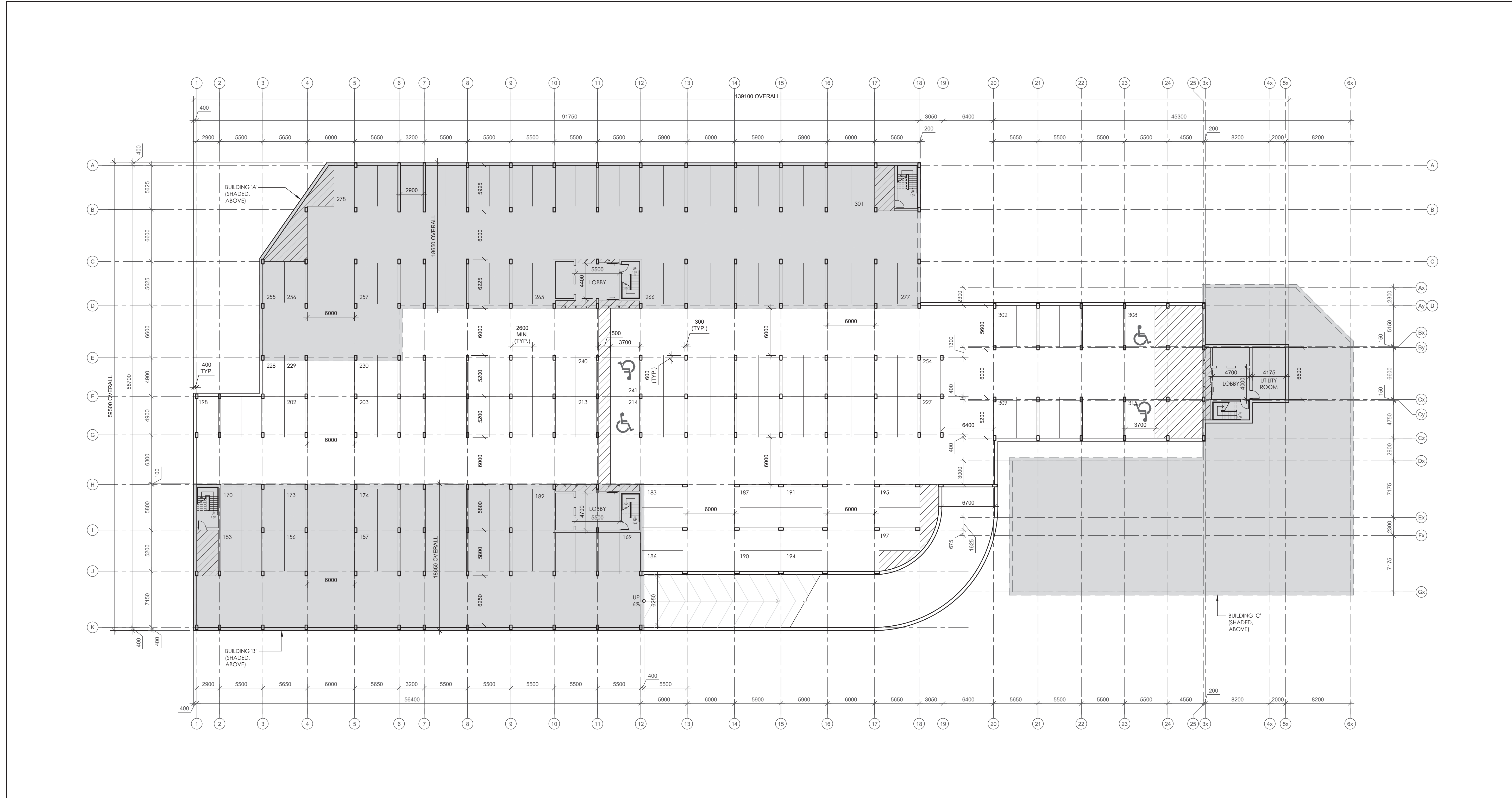
**UPPER HUNT CLUB CENTRE**  
 2600 BANK STREET, OTTAWA, ON

DRAWING TITLE

**UNDERGROUND PARKING PLAN: LEVEL 1**

DRAWN BY	J.R.	DRAWING NO.
REVIEWED BY	A.A.	<b>A2.0A</b>
START DATE	2019/10/08	
PROJECT NO.	19009	REVISION NO.
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1 UNDERGROUND LEVEL 2: PARKING PLAN  
A2.0B SCALE 1:250

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REVISIONS

NO.	DESCRIPTION	DATE

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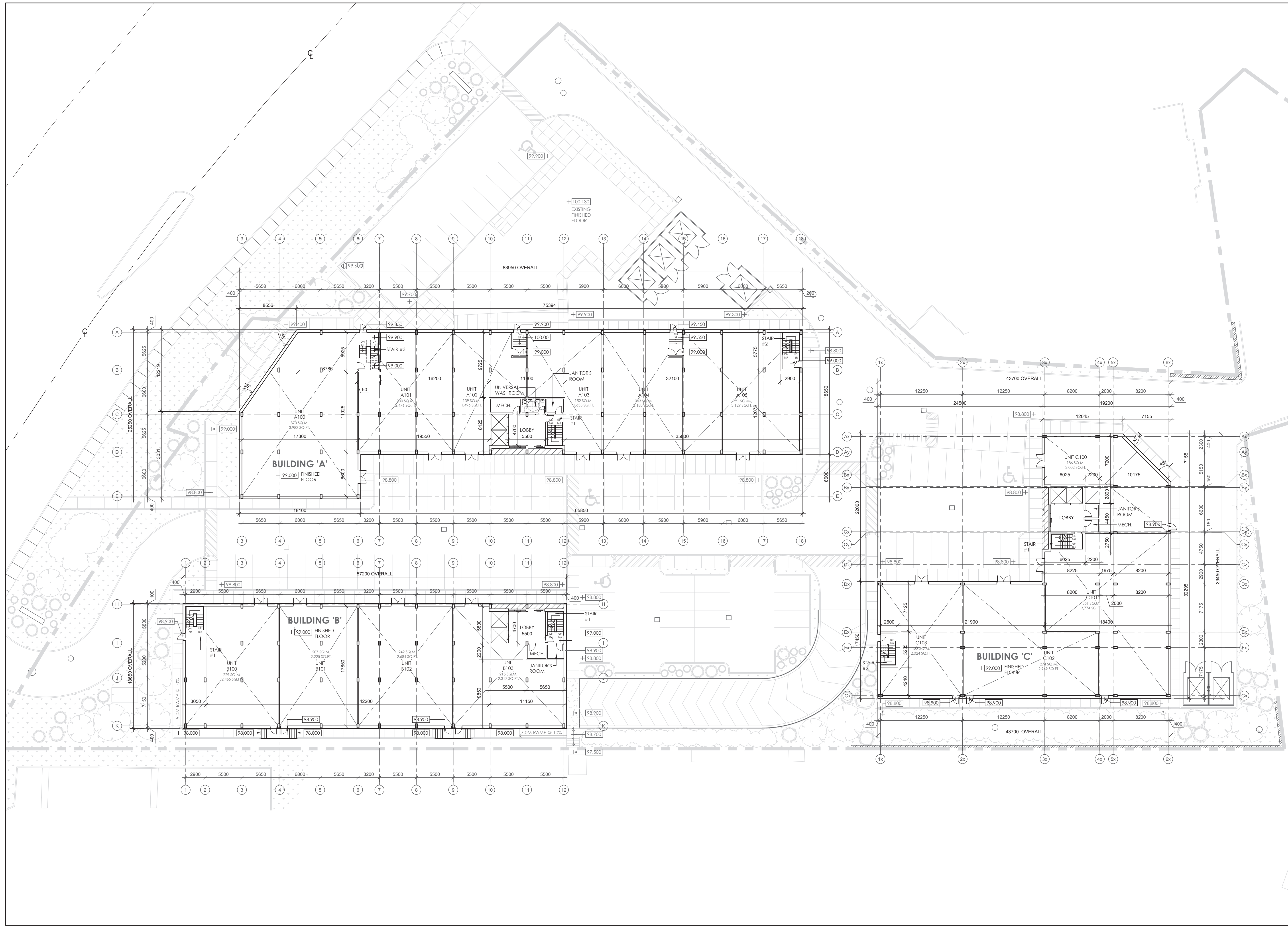
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2600 BANK STREET, OTTAWA, ON

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**UNDERGROUND PARKING PLAN: LEVEL 2**

DRAWN BY	J.R.	DRAWING NO.	
REVIEWED BY	A.A.	<b>A2.0B</b>	
START DATE	2019/10/08	PROJECT NO.	19009
PROJECT NO.	19009	REVISION NO.	00



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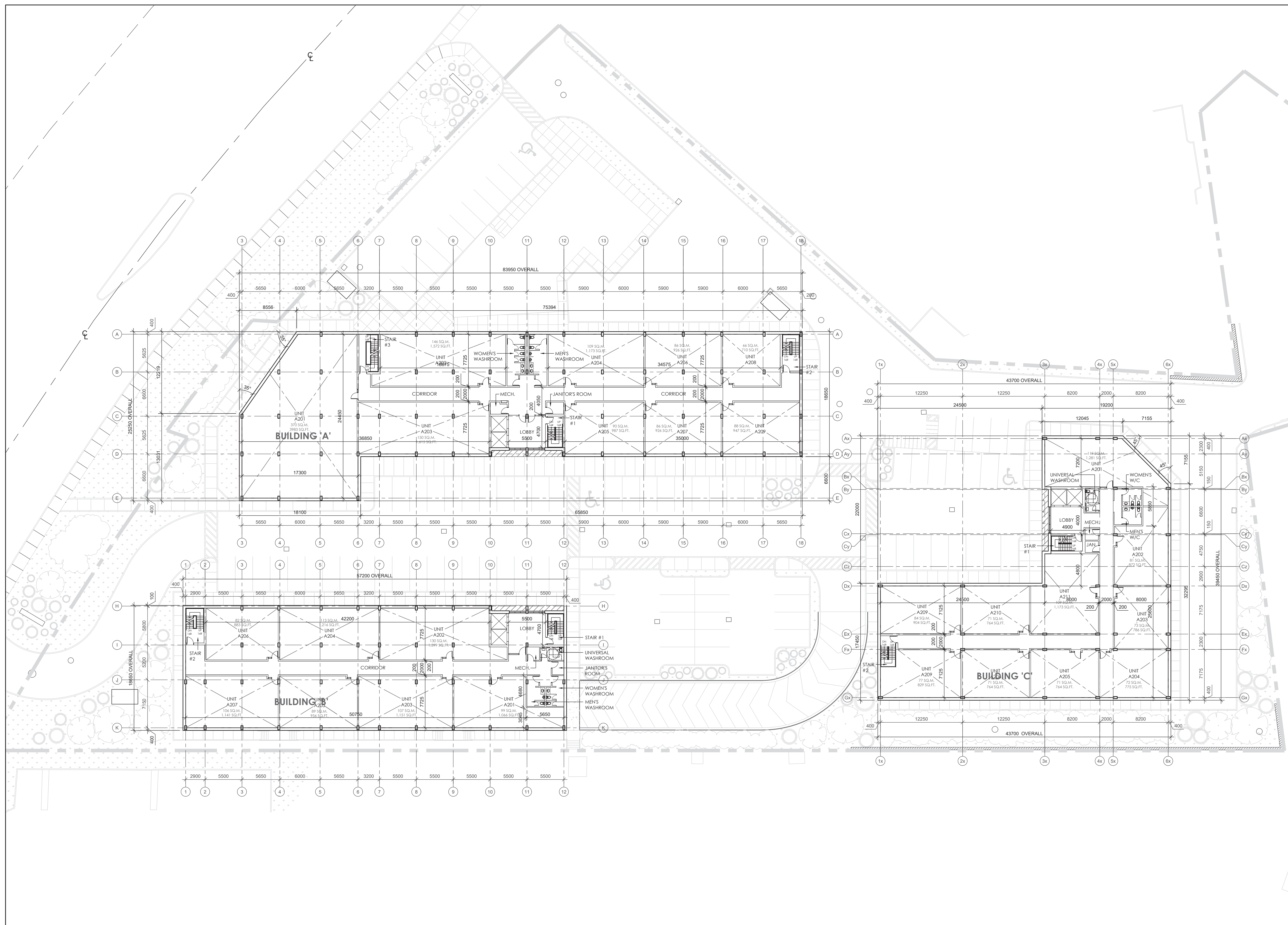
DRAWING TITLE

**BUILDINGS 'A', 'B' & 'C'**  
**FIRST FLOOR**  
**RETAIL LEVEL PAN**

DRAWN BY	J.R.	DRAWING NO.	
REVIEWED BY	A.A.		<b>A2.1</b>
START DATE	2019/10/08		
PROJECT NO.	19009	REVISION NO.	00

1 FIRST FLOOR PLANS: BUILDINGS 'A', 'B' & 'C'  
 A2.1 SCALE 1:250

PLAN NO.: ###-###-###



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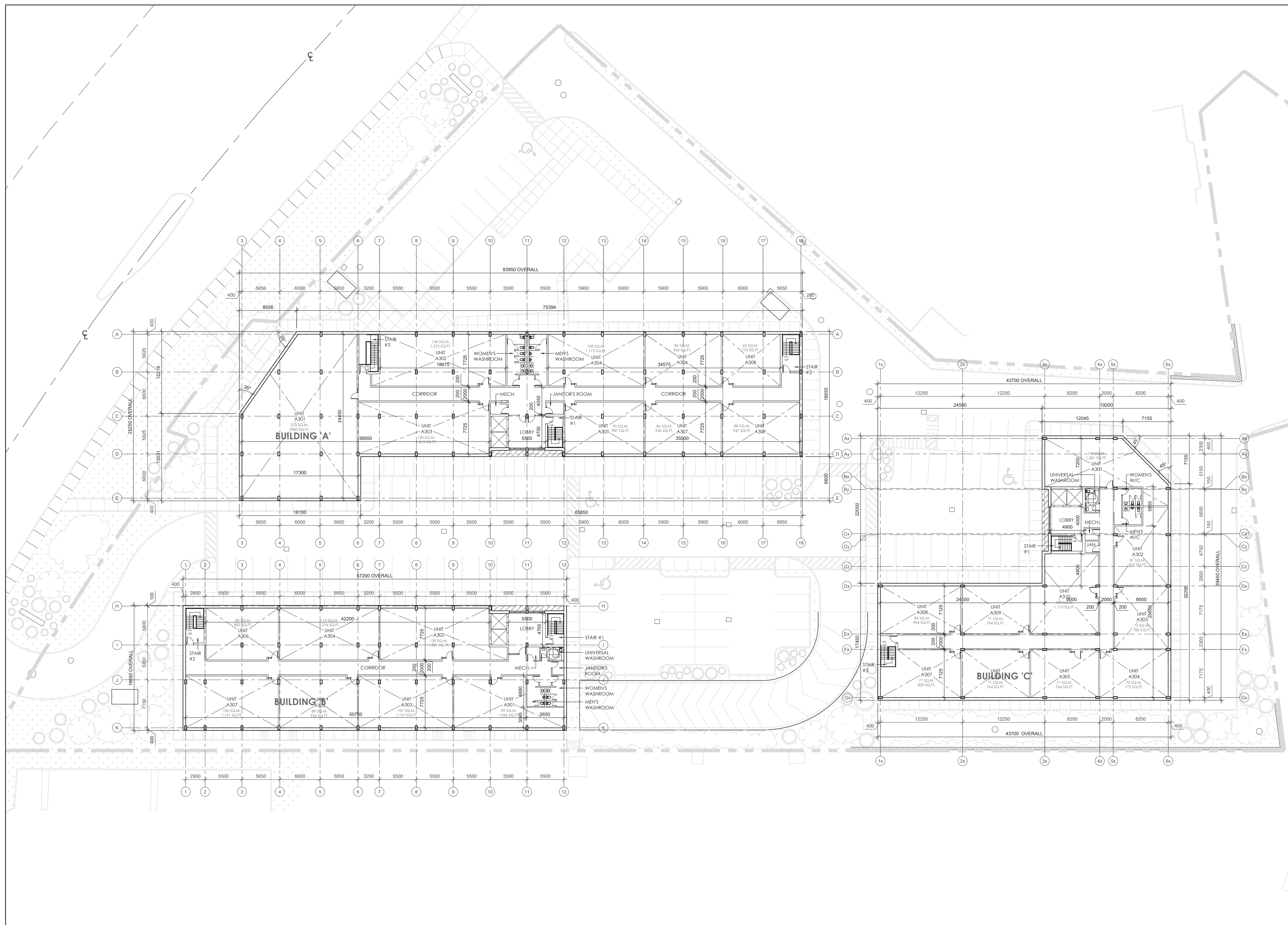
DRAWING TITLE

**BUILDINGS 'A', 'B' & 'C'  
 SECOND FLOOR  
 OFFICE LEVEL PLANS**

DRAWN BY	J.R.	DRAWING NO.	
REVIEWED BY	A.A.		<b>A2.2</b>
START DATE	2019/10/08		
PROJECT NO.	19009	REVISION NO.	00

1 SECOND FLOOR PLANS: BUILDINGS 'A', 'B' & 'C'  
 A2.2 SCALE 1:250

PLANT NO.: ###-###-###-###



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DRAWING TITLE

**BUILDINGS 'A', 'B' & 'C'  
 THIRD FLOOR  
 OFFICE LEVEL PLANS**

DRAWN BY	J.R.	DRAWING NO.
REVIEWED BY	A.A.	<b>A2.3</b>
START DATE	2019/10/08	
PROJECT NO.	19009	REVISION NO.
		00

1 THIRD FLOOR PLANS; BUILDINGS 'A', 'B' & 'C'  
 A2.3 SCALE 1:250

PLANT NO.: ###-###-###

**GENERAL NOTES**

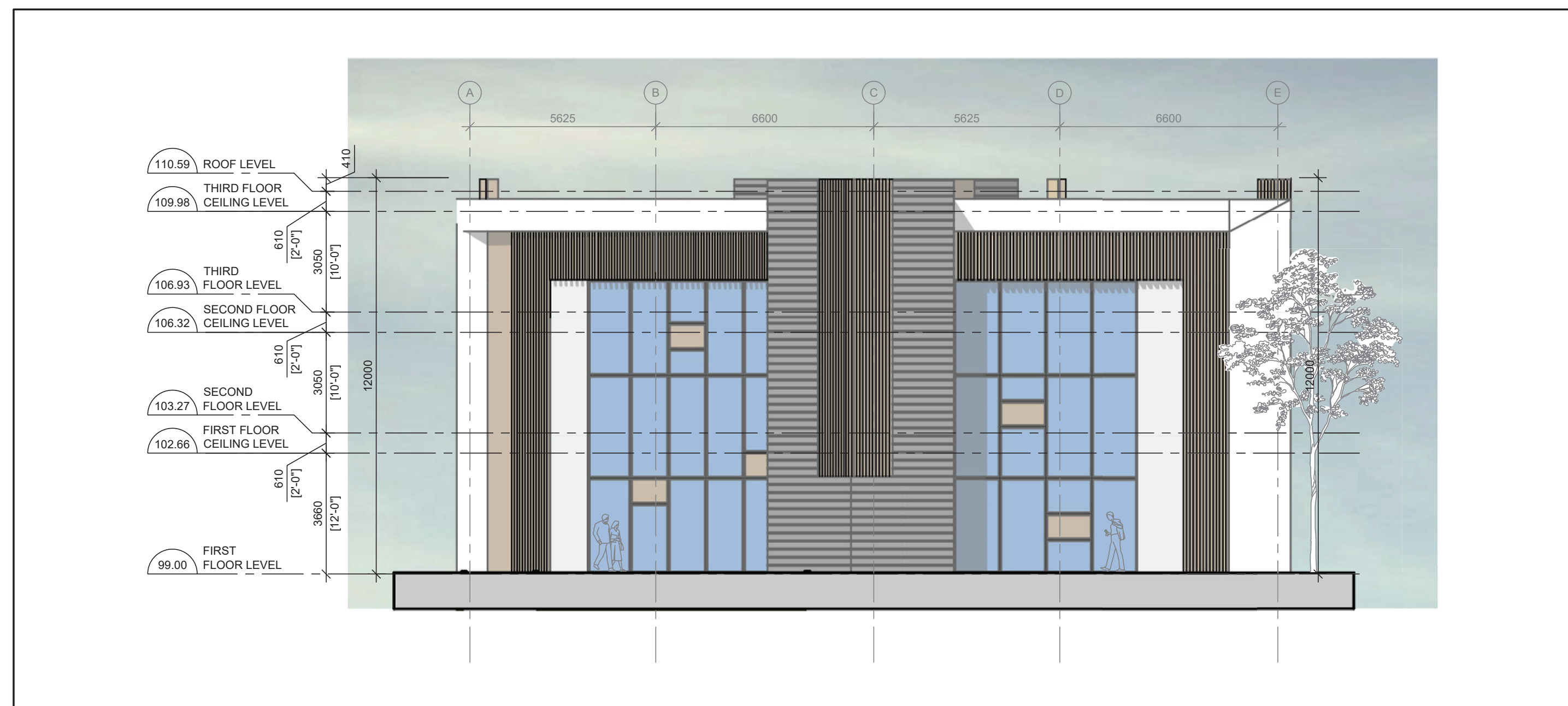
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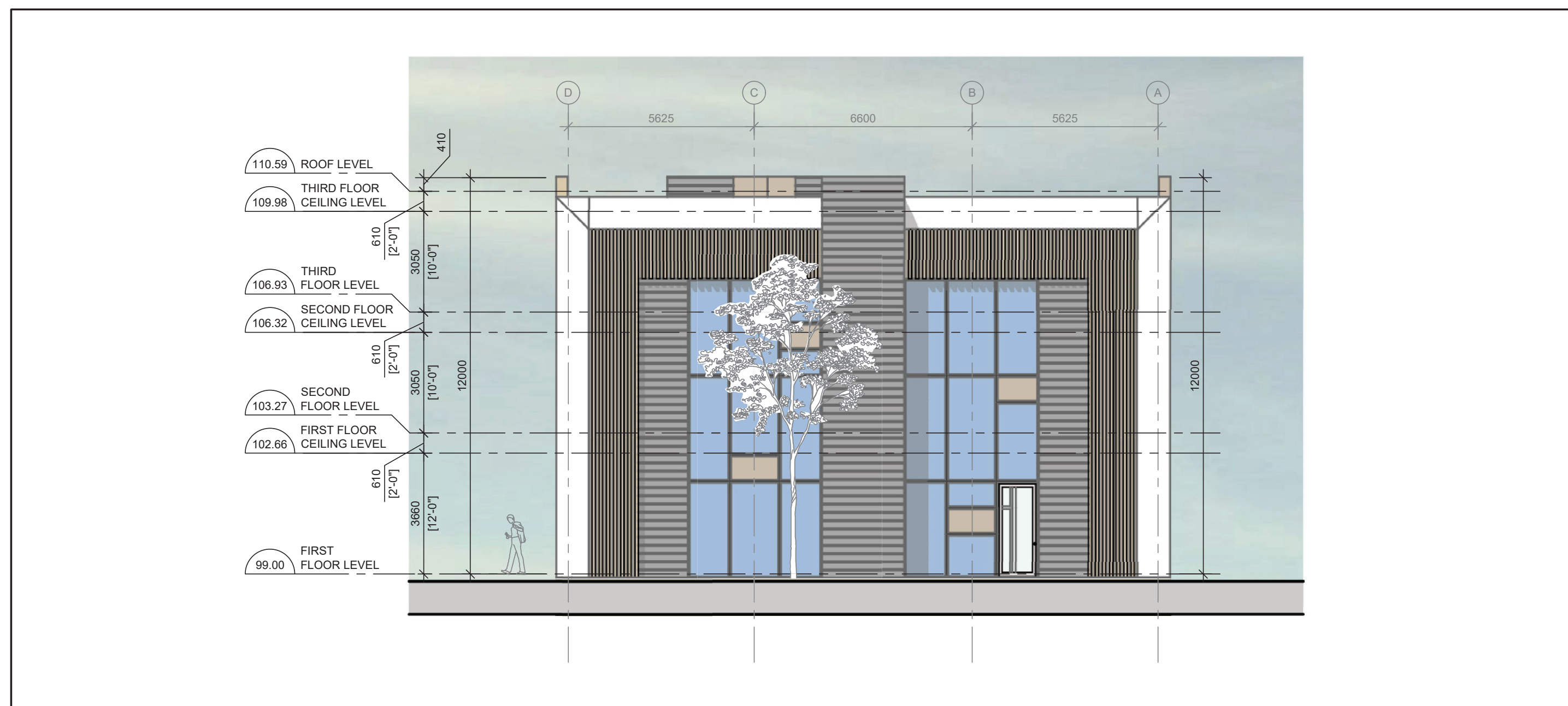
1 WEST ELEVATION: PARKING SIDE  
SCALE 1:125



2 EAST ELEVATION: REAR SIDE  
SCALE 1:125



3 NORTH ELEVATION: STREET SIDE  
SCALE 1:125



4 SOUTH ELEVATION  
SCALE 1:125

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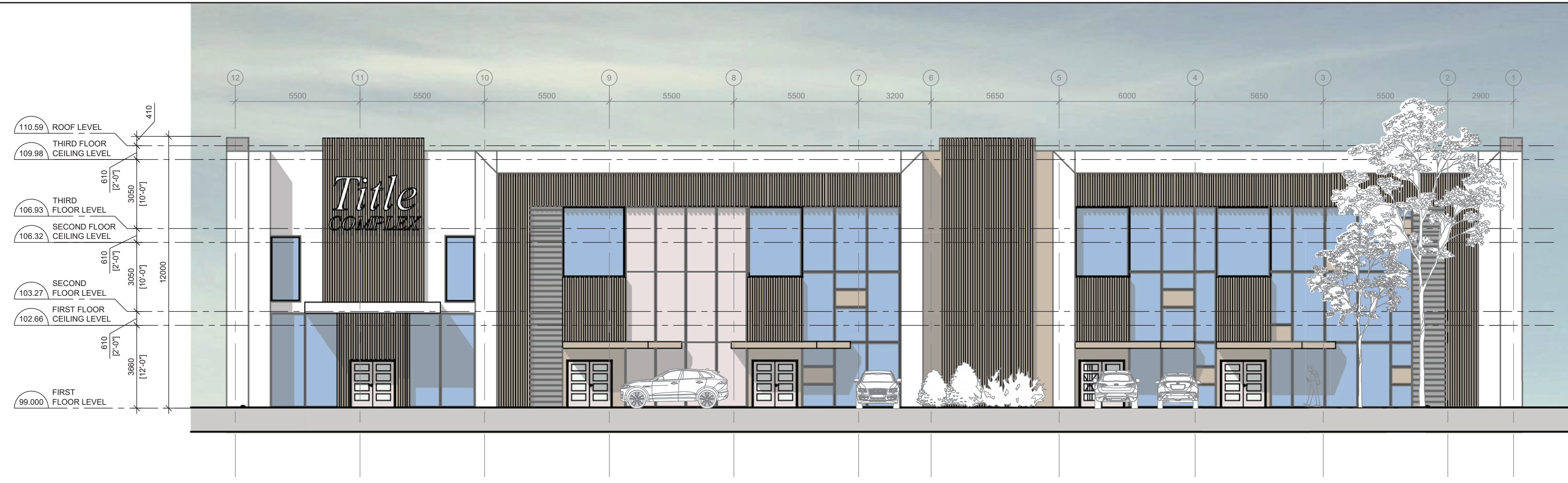
**BUILDING 'A'  
EXTERIOR ELEVATIONS**

DRAWN BY	J.R.	DRAWING NO.	<b>A3.0</b>
REVIEWED BY	A.A.		
START DATE	2019/10/08		
PROJECT NO.	19009	REVISION NO.	

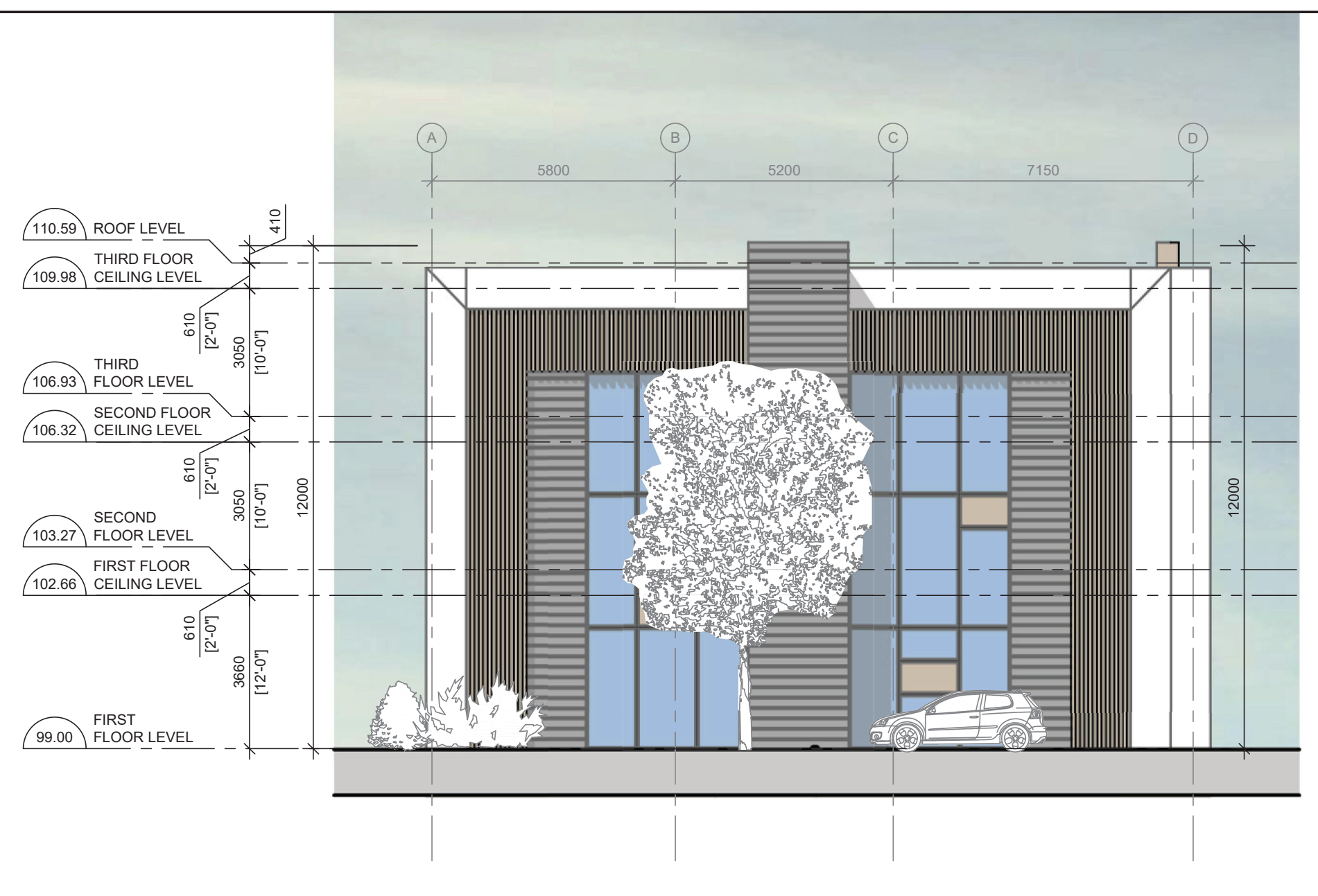
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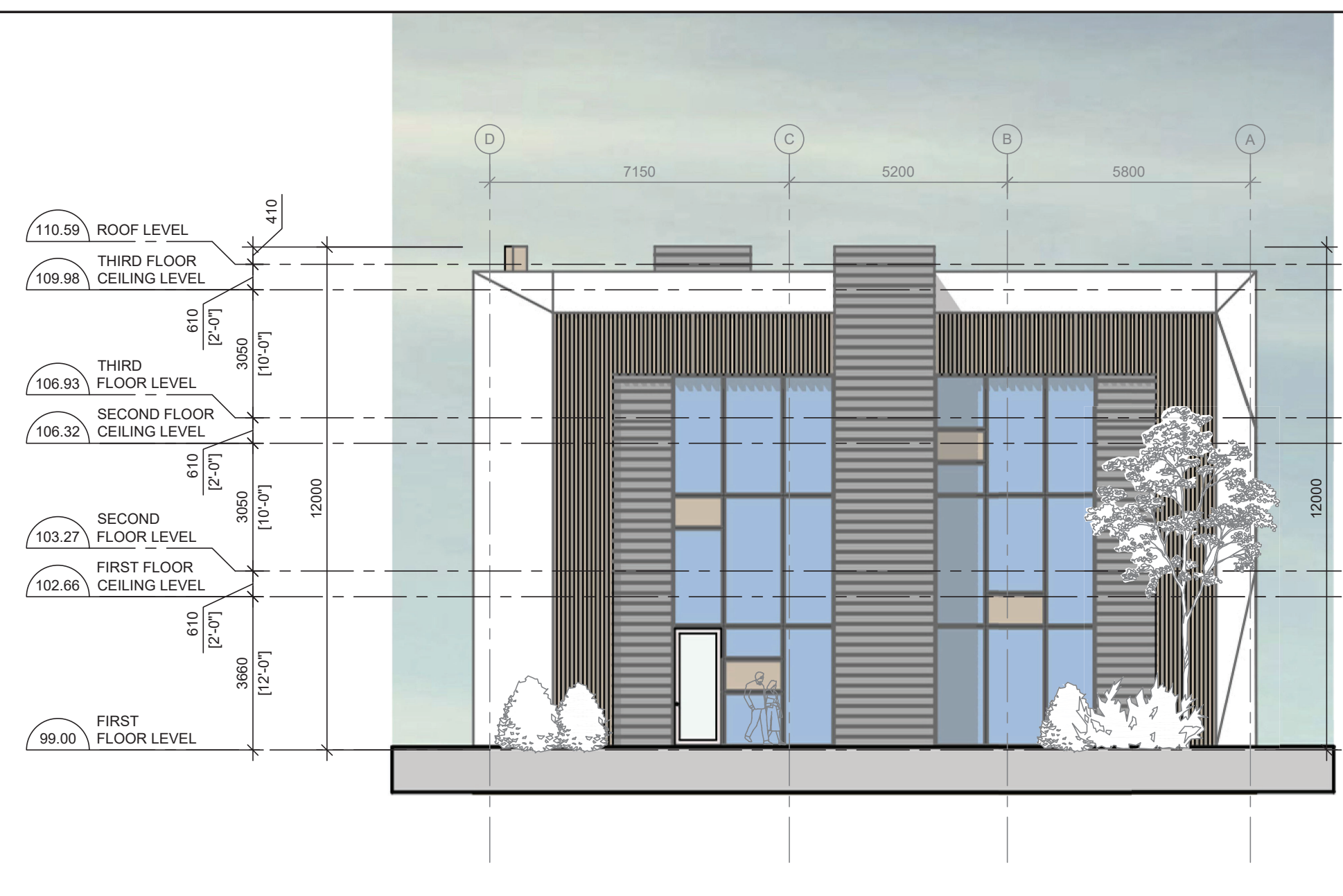
1 WEST ELEVATION: REAR SIDE  
A3.1 SCALE 1:125



2 EAST ELEVATION: PARKING SIDE  
A3.1 SCALE 1:125



3 NORTH ELEVATION: STREET SIDE  
A3.1 SCALE 1:125



4 SOUTH ELEVATION: PARKING SIDE  
A3.1 SCALE 1:125

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DRAWING TITLE

**BUILDING 'B'  
EXTERIOR ELEVATIONS**

DRAWN BY	J.R.	DRAWING NO.	<b>A3.1</b>
REVIEWED BY	A.A.		
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1 WEST ELEVATION: REAR SIDE  
A3.2 SCALE 1:125



2 EAST ELEVATION: DRIVEWAY SIDE  
A3.2 SCALE 1:125



3 NORTH ELEVATION: PARKING SIDE  
A3.2 SCALE 1:125

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DRAWING TITLE

**BUILDING 'C'  
EXTERIOR ELEVATIONS**

DRAWN BY	J.R.	DRAWING NO.
REVIEWED BY	A.A.	<b>A3.2</b>
START DATE	2019/10/08	
PROJECT NO.	19009	REVISION NO. 01

