

**SITE PLAN OF SURVEY PLAN, PART 1 PLAN OF PART OF LOT 1 REGISTERED PLAN 523, CITY OF OTTAWA**

**ZONING:** AM2181(H11)  
**ARTERIAL MAINS TREE ZONE (SECTIONS 185 AND 186) CITY OF OTTAWA, URBAN EXCEPTION 2161, MAXIMUM HEIGHT 11.0 m**

**PROPOSED BUILDING TYPE:** 4 STOREY LOW RISE RENTAL BUILDING  
**24 RESIDENTIAL RENTAL UNITS**

**LOT DEPTH:** 55.67m (182.64')

**ADJACENT ZONING:**  
 NORTH: AM10  
 SOUTH: R1GG  
 WEST SIDE: AM10  
 EAST SIDE: L1

**SCHEDULE 1 AREA: AREA 'C'  
 SCHEDULE 1A AREA: AREA 'C'**

LOT INFO	817 ROSEVIEW	817 ROSEVIEW	EXISTING	NOTES
<b>U. STANDARD:</b>	REQUIRED	PROPOSED	SINGLE	
<b>LOT AREA:</b>	n/a	1100m <sup>2</sup>	1100m <sup>2</sup>	
<b>HEIGHT:</b>	n/a	14.32m	4.0m	Minor ZBLA
<b>FRONT YARD:</b>	n/a	3.0m	3.0m	
<b>CORNER YARD:</b>	n/a	n/a	n/a	
<b>REAR YARD:</b>	7.5m	13.65m	37.3m	
<b>INTERIOR YARD:</b>	0.0m zones	1.2m	4.0m	
<b>AMENITY AREA:</b>	14.4m <sup>2</sup>	212.5m <sup>2</sup>	n/a	Minor ZBLA
<b>PARKING SPACES:</b>	23	14	1	Minor ZBLA
<b>BIKE SPACES:</b>	5	10	0	Minor ZBLA
<b>M.L.C.:</b>	NO MAX.			

BUILDING AREAS	REQUIRED	PROPOSED	NOTES
<b>FIRST FL. GFA:</b>	160.0m <sup>2</sup>	-	
<b>SECOND FL. GFA:</b>	175.5m <sup>2</sup>	-	
<b>THIRD FL. GFA:</b>	367.3m <sup>2</sup>	-	
<b>FOURTH FL. GFA:</b>	285.7m <sup>2</sup>	-	
<b>STORAGE:</b>	70.1m <sup>2</sup>	-	
<b>GARAGE/CARPORT:</b>	123.5m <sup>2</sup>	-	
<b>EXTERIOR (ALL FLOORS):</b>	453.9m <sup>2</sup>	-	
<b>TOTAL GFA:</b>	1355.8m <sup>2</sup>	-	
<b>TOTAL ALL AREAS:</b>	1822.2m <sup>2</sup>	-	NOT INCL. CARPORTS

**PROPOSED SITE DEVELOPMENT INFO**

**NEW GROSS FLOOR AREA:** 1355.8m<sup>2</sup>

**EX. GROSS FLOOR AREA:** 0.0m<sup>2</sup>

**NUMBER OF UNITS:** 24

**PROPOSED STOREYS:** 4

**BUILDING COVERAGE:** 39.8%

**SOFT LANDSCAPING COV.:** 11.6%

**HARD LANDSCAPING COV.:** 4.8%

**DECKSPORCHES/STEPS:** 0.0%

**ASPHALT COV.:** 43.9%

**OTHER:** 1.9%

Window Walls

**WASTE COLLECTION LEGEND**

GB 3YD + 2YD GARBAGE CONTAINERS

BB 2YD FIBRE CONTAINER

B 2YD GML CONTAINER

G 240L ORGANICS

PRIVATE COLLECTION

**SURVEY INFO:**

SURVEY INFO TAKEN FROM SURVEYOR'S REAL PROPERTY REPORT PART 1 - PLAN OF PART OF LOT 1, REGISTERED PLAN 523, CITY OF OTTAWA PREPARED BY ANNIS, O'SULLIVAN, VOLLEBEK LTD MAY 20, 2021

**SITE NOTES**

NEW ROOF DOWN SPOUTS SHALL NOT BE DIRECTED TOWARDS THE ADJACENT PROPERTIES

EXCAVATED MATERIAL TO BE REMOVED FROM PROPERTY

ALL GRADE TO SLOPE 2% AWAY FROM FOUNDATION WALL

ALL MEASUREMENTS ARE METRIC (ACCOMPANYING IMPERIAL MEAS. MAY APPEAR)

EXISTING GRADING AND DRAINAGE PATTERNS NOT TO BE ALTERED UNLESS OTHERWISE NOTED BY THE CIVIL ENGINEER

SNOW ACCUMULATION TO BE REMOVED OFF SITE IMMEDIATELY AS NEEDED

**EXISTING PLANTING MATERIAL**

CODE	COMMON NAME	QTY.	SIZE (DIA.)	CONDITION/NOTES
<b>DECIDUOUS TREES</b>				
<b>CONIFEROUS TREES</b>				
<b>SHRUBS</b>				

**NEW PLANTING MATERIAL**

CODE	COMMON NAME	QTY.	SIZE (DIA.)	CONDITION/NOTES
<b>DECIDUOUS TREES</b>				
DT1	RED MAPLE	2	50mm Cal.	
<b>CONIFEROUS TREES</b>				
<b>SHRUBS</b>				

**TREE CONSERVATION NOTES**

- ERECT A FENCE AT THE CRITICAL ROOT ZONE (CRZ) OF TREES.
- DO NOT PLACE ANY MATERIAL OR EQUIPMENT WITHIN THE CRZ OF THE TREE.
- DO NOT ATTACH ANY SIGNS, NOTICES OR POSTERS TO ANY TREE.
- DO NOT RAISE OR LOWER THE EXISTING GRADE WITHIN THE CRZ WITHOUT APPROVAL.
- TUNNEL OR BORE WHEN DIGGING WITHIN THE CRZ OF A TREE.
- DO NOT DAMAGE THE ROOT SYSTEM, TRUNK OR BRANCHES OF ANY TREE.
- ENSURE THAT EXHAUST FUMES FROM ALL EQUIPMENT ARE NOT DIRECTED TOWARDS ANY TREE'S CANOPY.

\* THE CRITICAL ROOT ZONE (CRZ) IS ESTABLISHED AS BEING 10 CENTIMETRES FROM THE TRUNK OF A TREE FOR EVERY CENTIMETRE OF TRUNK DIAMETER AT BREAK-APART HEIGHT (DBH). THE CRZ IS CALCULATED AS DBH X 10 CM.

\* TREE PROTECTION FENCE (PF) TO BE ERECTED BEFORE AND REMAIN UNTIL BUILDING CONSTRUCTION HAS COMPLETED AND TO CONSIST OF 1.5m HIGH PLYWOOD HOARDING (SEE DIAGRAM BELOW).

**1 SITE PLAN**

**A1 SCALE** 3/32" = 1'-0"

**SITE LEGEND**

- EX. TREE TO BE REMOVED
- NEW CONIFEROUS TREE
- DENOTES SOFT LANDSCAPING
- DENOTES HARD LANDSCAPING
- EXISTING BUILDING FOOTPRINT
- PROPOSED RIVERSTONE
- PROPOSED ASPHALT DRIVEWAY
- PROPOSED WOOD DECKS/BALCONIES
- CAR PARKING SPACE (ASPHALT)
- BIYCLE PARKING (ASPHALT)
- WASTE COLLECTION AREA
- SNOW STORAGE AREA
- PROPOSED/EXISTING ENTRY/EXIT
- PF - TEMPORARY PROTECTION FENCE
- EX. UTILITY POLE
- EX. CHAINED LINK/BOARD FENCE
- PROPERTY LINE
- MOTION SENSING EXT. LIGHTS

**WASTE COLLECTION LEGEND**

- GB 3YD + 2YD GARBAGE CONTAINERS
- BB 2YD FIBRE CONTAINER
- B 2YD GML CONTAINER
- G 240L ORGANICS
- PRIVATE COLLECTION



**3 KEY PLAN & CONTEXT**

**A1 SCALE** NO SCALE

**GENERAL CONSTRUCTION NOTES**

ALL DESIGN AND CONSTRUCTION SHALL CONFORM TO O.B.C. 2012 REQUIREMENTS.

**INTERIOR SPACES DESIGN & MATERIALS**

- ALL CLOSETS TO RECEIVE 1 ROD AND 2 SHELVES, UNLESS OTHERWISE NOTED.
- INSTALL GALVANIZED METAL PAN & DRAIN AT ALL CLOTHES WASHING MACHINE LOCATIONS.

**WINDOWS AND DOORS**

- DOORS, INCLUDING SLIDING DOORS THAT OPEN MORE THAN (900MM) 24" ABOVE GROUND OR A LANDING SHALL HAVE A RESTRICTED OPENING OR BE PROVIDED WITH GUARDS (9.8.7.3).
- PROVISIONS FOR RESISTANCE TO FORCED ENTRY SHALL BE PROVIDED IN CONFORMANCE TO 9.7.5.2 AND 9.7.5.3 OF THE O.B.C.
- EXCEPT WHERE A DOOR ON THE SAME FLOOR LEVEL AS THE BEDROOM PROVIDES DIRECT ACCESS TO THE EXTERIOR, EVERY FLOOR LEVEL CONTAINING A BEDROOM IN A SUITE SHALL BE PROVIDED WITH AT LEAST ONE OUTSIDE WINDOW THAT CAN BE OPENED FROM THE INTERIOR USING A TOOL AND SUCH WINDOW SHALL PROVIDE AN INDIVIDUAL UNRESTRICTED PORTION HAVING A MINIMUM AREA OF 0.33 M<sup>2</sup> WITH NO DIMENSION LESS THAN (300MM) 12" AND BE ABLE TO MAINTAIN THE RDP OPENING WITH AN ADDITIONAL SUPPORT (9.8.10).

**STAIRS, RAMPS, HANDRAILS & GUARDS**

- DOORS, INCLUDING SLIDING DOORS THAT OPEN MORE THAN (900MM) 24" ABOVE GROUND OR A LANDING SHALL HAVE A RESTRICTED OPENING OR BE PROVIDED WITH GUARDS (9.8.7.3).
- PROVISIONS FOR RESISTANCE TO FORCED ENTRY SHALL BE PROVIDED IN CONFORMANCE TO 9.7.5.2 AND 9.7.5.3 OF THE O.B.C.
- EXCEPT WHERE A DOOR ON THE SAME FLOOR LEVEL AS THE BEDROOM PROVIDES DIRECT ACCESS TO THE EXTERIOR, EVERY FLOOR LEVEL CONTAINING A BEDROOM IN A SUITE SHALL BE PROVIDED WITH AT LEAST ONE OUTSIDE WINDOW THAT CAN BE OPENED FROM THE INTERIOR USING A TOOL AND SUCH WINDOW SHALL PROVIDE AN INDIVIDUAL UNRESTRICTED PORTION HAVING A MINIMUM AREA OF 0.33 M<sup>2</sup> WITH NO DIMENSION LESS THAN (300MM) 12" AND BE ABLE TO MAINTAIN THE RDP OPENING WITH AN ADDITIONAL SUPPORT (9.8.10).

**INTERIOR PRIVATE STAIR**

RISER: 7" MAX. - 4" MIN.

TREAD: 11" MIN. - 14" MAX.

NOSE: 1/2" MAX.

MINIMUM HEADROOM CLEARANCE OF (1.90M) 6'3" STAIRS.

**INTERIOR PUBLIC STAIR**

RISER: 7" MAX. - 4" MIN.

TREAD: 11" MIN. - 14" MAX.

NOSE: 1/2" MAX.

MINIMUM HEADROOM CLEARANCE OF (1.90M) 6'3" STAIRS.

**EXTERIOR PRIVATE STAIR**

RISER: 7" MAX.

TREAD: 12" MIN.

NOSE: 1/2" MIN.

MIN. HEADROOM CLEARANCE TO BE 6'-6" ABOVE NOSING.

**2. HANDRAILS TO BE (900MM) 36" TO 38" ABOVE NOSING.**

**3. AN EXTERIOR GUARD MUST BE A MINIMUM HEIGHT OF (900MM) 21" IF THE WALKING SURFACE IS LESS THAN (900MM) 31" ABOVE THE ADJACENT GRADE. OTHERWISE THE HEIGHT MUST BE A MINIMUM OF (1.07M) 47". ALL REQUIRED GUARDS WITH DWELLING UNITS MUST BE A MINIMUM OF (900MM) 31" HIGH.**

**4. GUARDS ARE REQUIRED ON DECKS AND OTHER WALKING SURFACES THAT EXTEND TO (900MM) 23 5/8" ABOVE GRADE AND SHALL CONFORM TO THE LOADING CRITERIA IN PART 4 OF THE O.B.C. OR BE CONSTRUCTED AS SET OUT IN THE O.B.C. SUPPLEMENTARY GUIDELINES PART 7.0.8.8.8 FOR METAL GUARDS. SUPPLIER SHOP DRAWINGS MUST BE CERTIFIED FOR DESIGN INSTALLATION CONFORMING TO O.B.C. PART 4 AND 9.8.8.2.**

**5. A LANDING SHALL BE PROVIDED AT THE TOP OF ALL EXTERIOR STAIRS THAT CONTAIN MORE THAN 3 RISERS (9.8.2.23).**

**INTERIOR STAIR**

ALL STAIR GUARDS TO BE 3" ABOVE NOSING.

ALL LANDING GUARDS TO BE 2" ABOVE FINISHED FLOOR.

MAXIMUM VERTICAL SPACING BETWEEN BALUSTERS IS 4".

**EXTERIOR STAIR**

TO COMPLY TO O.B.C. 9.8.8 FOR RESISTANCE TO LOADS AND LEVEL ANCHORAGE.

ALL STAIR GUARDS TO BE 3" ABOVE NOSING.

ALL LANDING AND BALCONY GUARDS TO BE 2" ABOVE FINISHED SURFACE.

ALL DECKS MAY REQUIRE MODIFICATIONS TO FRAMING INDICATED.

**6. ADD INSULATION DEPENDENCIES AT EACH TRUSS SPACE WHERE NECESSARY TO MAINTAIN MINIMUM 2 1/2" AIR SPACE ABOVE INSULATION.**

**7. LOCATE ALL PLUMBING STACKS AND VENTS ON REAR ROOF.**

**8. ROOF VENTS ARE TO BE INSTALLED ON OPPOSITE SIDES OF THE BUILDING WITH NOT LESS THAN 25% AT THE TOP AND NOT LESS THAN 25% AT THE BOTTOM. (9.18.1.2) ROOF VENT AREA MUST BE A MINIMUM OF 1360 OF THE INSULATED CEILING AREA. IF ROOF SLOPE IS LESS THAN 1% THE AREA IS 110% OF THE INSULATED CEILING AREA.**

**9. EAVE PROTECTION REQUIRED ON SHINGLE, SHAKE, OR TILE ROOFS EXTENDING FROM THE EDGE OF ROOF A MINIMUM OF (900MM) 21" UP THE ROOF SLOPE TO A LINE NOT LESS THAN (300MM) 12" INSIDE THE INNER FACE OF THE EXTERIOR WALL. (9.28.5).**

**CLADDING & COMPONENTS**

- ROOF FLASHING UP WALL 6" MINIMUM AT BACKSIDE OF BAR BARRIER.
- EAVE JOIN.
- BAR BARRIERS ARE TO BE CONTINUOUS. (9.23.3.3)

**MECHANICAL**

- ALL WORK TO BE DONE IN ACCORDANCE WITH ASHRAE STANDARDS (9.23.2.1).
- ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE ELECTRICAL SAFETY CODE.
- SERVICE WATER HEATERS SHALL BE ANCHORED TO OTHER STRUCTURE TO PREVENT OVERTURNING.
- IT IS RECOMMENDED THAT BASEMENT FLOOR DRAIN AND THE STRUCTURE PRESENT FITTINGS BE PROVIDED WITH APPROPRIATE CHECK DEVICES TO PREVENT AGAINST BACK FLOW FROM STREET SEWERS (7.4.4.4).

**PLUMBING**

- THE CONSTRUCTION OF THE PLUMBING SYSTEM SHALL CONFORM TO PART 7 OF THE O.B.C. (9.23.2.1).
- SERVICE WATER HEATERS SHALL BE ANCHORED TO OTHER STRUCTURE TO PREVENT OVERTURNING.
- IT IS RECOMMENDED THAT BASEMENT FLOOR DRAIN AND THE STRUCTURE PRESENT FITTINGS BE PROVIDED WITH APPROPRIATE CHECK DEVICES TO PREVENT AGAINST BACK FLOW FROM STREET SEWERS (7.4.4.4).

**TRIM**

AS PER CLASSIC HARDWOODS OR EQUAL TYPICAL METAL ALL CORNERS AND RETURNS.

IN MASONRY VENEER:

- 9.20.13.1. FLASHING ON MASONRY WALLS MUST BE INSTALLED BENEATH JOINTED MASONRY BELLS, OVER THE BACK AND TOP OF PARAPET WALLS OVER THE HEADS OF GLASS BLOCK PANELS AND BENEATH WEEPS HOLES, AND OVER THE HEADS OF DOORS AND WINDOWS IF THE DISTANCE BETWEEN THE TOP OF THE OPENING AND THE BOTTOM OF THE EAVE EXCEEDS 1/4 OF THE EAVE OVERHANG.
- 9.20.13.3. THROUGH WALL FLASHING SHALL BE PROVIDED IN MASONRY VENEER WALL IN SUCH THAT ANY MOISTURE THAT ACCUMULATES IN THE AIR SPACE, WILL BE DIRECTED TO THE EXTERIOR OF THE BUILDING.
- 9.20.13.4. WEEP HOLES MUST NOT BE SPACED MORE THAN (800MM) 21" APART AND BE PROVIDED AT THE BOTTOM OF EVERY CAVITY IN MASONRY VENEER.
- STEEP ANGLE LENTIS SUPPORTING MASONRY SHALL BE PRIME PAINTED. (9.20.2.20.5).
- FLASHING SHALL BE INSTALLED BEHIND BREATHING MEMBRANE. (9.20.13.3 TO 9.20.13.5). FLASHING MUST BE INSTALLED WHERE SLOPING SURFACES INTERSECT TO FORM A VALLEY. INTERSECTION OF ROOF WALLS AND SINGLE FLOORS, AND AT CHIMNEY AND CHIMNEY CANOPIES INTERSECTIONS. (9.24.1).

**FRERPLACES**

- FRERPLACE, FRERPLACE INSERT, WOODSTOVE, AND/OR CHIMNEY TO BE UL LISTED AND INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS.

**WOOD FRAME CONSTRUCTION**

MOISTURE BARRIER SHALL BE PROVIDED IN ALL AREAS WHERE WOOD IS IN CONTACT WITH CONCRETE OR UNIT MASONRY LOCATED BELOW GRADE (9.2.2.2).

SUPPORT OF WALLS WITH ADDITIONAL BLOCKING OR JOISTS

- 9.20.13.4. WEEP HOLES MUST NOT BE SPACED MORE THAN (800MM) 21" APART AND BE PROVIDED AT THE BOTTOM OF EVERY CAVITY IN MASONRY VENEER.
- WHERE THE TOP OF THE FOUNDATION WALL IS LEVEL, THE JUNCTION BETWEEN THE SILL PLATE AND THE FOUNDATION IS TO BE CALIBRATED OR BE SILL PLATE IS TO BE PLACED ON LAYERS OF MINERAL WOOL, NOT LESS THAN (20MM) 3/8" THICK. (9.23.1.2).

**ROOF FRAMING & COMPONENTS**

- TRUSS AND FLOOR SYSTEM SUPPLIER TO PROVIDE SHOP DWGS STAMPED BY PROFESSIONAL ENGINEER FOR APPROVAL BY DESIGNER PRIOR TO FABRICATION.
- CONTRACTOR SHALL PROVIDE SHOP DRAWINGS TO INSPECTOR BEFORE ERECTION OF TRUSSES.
- TRUSS BRAY REQUIRE IDENTIFICATION TO FRAMING INDICATED.
- ADD INSULATION DEPENDENCIES AT EACH TRUSS SPACE WHERE NECESSARY TO MAINTAIN MINIMUM 2 1/2" AIR SPACE ABOVE INSULATION.
- LOCATE ALL PLUMBING STACKS AND VENTS ON REAR ROOF.
- ROOF VENTS ARE TO BE INSTALLED ON OPPOSITE SIDES OF THE BUILDING WITH NOT LESS THAN 25% AT THE TOP AND NOT LESS THAN 25% AT THE BOTTOM. (9.18.1.2) ROOF VENT AREA MUST BE A MINIMUM OF 1360 OF THE INSULATED CEILING AREA. IF ROOF SLOPE IS LESS THAN 1% THE AREA IS 110% OF THE INSULATED CEILING AREA.
- EAVE PROTECTION REQUIRED ON SHINGLE, SHAKE, OR TILE ROOFS EXTENDING FROM THE EDGE OF ROOF A MINIMUM OF (900MM) 21" UP THE ROOF SLOPE TO A LINE NOT LESS THAN (300MM) 12" INSIDE THE INNER FACE OF THE EXTERIOR WALL. (9.28.5).

**CLADDING & COMPONENTS**

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- EAVE JOIN.
- BAR BARRIERS ARE TO BE CONTINUOUS. (9.23.3.3)

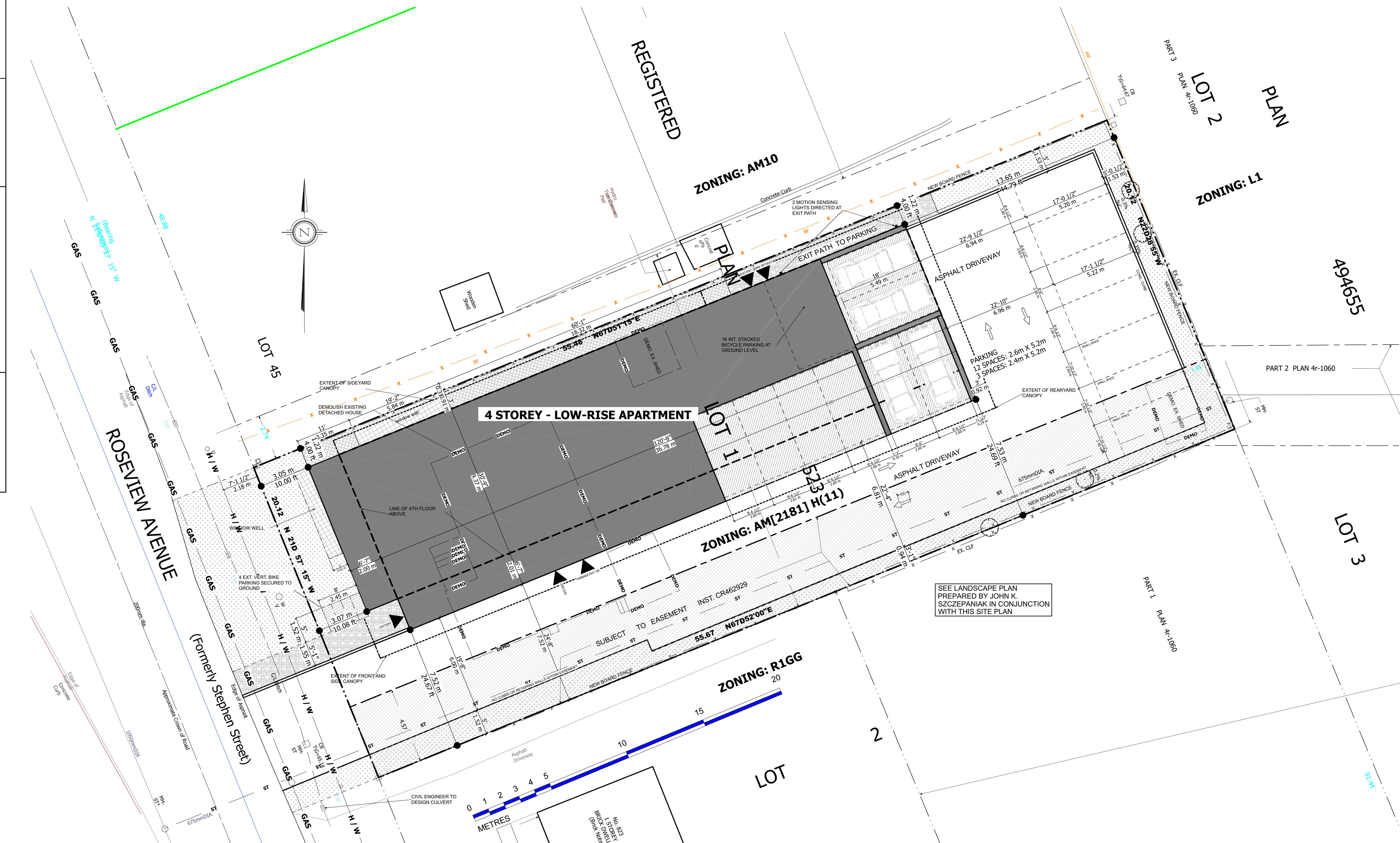
**MEN BATHROOM**

- STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS FOR W.C./TUB/SHOWER AS PER 9.2.3.2.

**CERAMIC FLOORINGS**

- SUB FLOOR FOR CERAMIC AS PER 9.18.8.2012 O.B.C.
- FINISHED FLOORING IN BATHROOMS, KITCHEN, LAUNDRY ROOMS, GENERAL STORAGE AREAS AND ENTRANCES SHALL BE WATER RESISTANT (9.30.2.1).
- CERAMIC TILE SUBSTRATE AS PER 9.30.6.

ALL APPLIANCES TO BE UL LISTED, AND INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS.



**UNPROCESSED ARCHITECTURE INC.**  
 5-16 SIRETSLAND AVE.  
 OTTAWA, ON K1N 7Y2

**AZUL DESIGNS**  
 OTTAWA, ON K1H 7Q2

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

**RESPONSIBILITIES:**  
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 ALL DESIGN AND CONSTRUCTION TO BE IN ACCORDANCE WITH ALL LAWS, REGULATIONS AND BY-LAWS HAVING JURISDICTION.  
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 COPYRIGHT RESERVED  
 GENERAL NOTES

**OWNER/DEVELOPER:**  
 PARISEL/COMBER LTD  
 1100 GERRARD ST. E.  
 OTTAWA, ON K1E 1E6

**ARCHITECT/DESIGNER:**  
 UNPROCESSED ARCHITECTURE INC./AZUL DESIGNS  
 5-16 SIRETSLAND AVE.  
 OTTAWA, ON K1N 7Y2

**APPLICATION NUMBER:**  
 0557 CANADA INC.  
 2111 GERRARD ST. E. SUITE 300  
 OTTAWA, ON K1E 1E6

**CIVIL ENGINEER:**  
 ARCHON CONSULTANTS  
 1000 GERRARD ST. E.  
 OTTAWA, ON K1E 1E6

**LANDSCAPING:**  
 JOHN K. SZCZEPANIAK  
 P.O. Box 607, Salem St  
 OTTAWA, ON K1N 7Y2

**SUBSECTOR:**  
 ANNIS, O'SULLIVAN, VOLLEBEK LTD  
 14 CONCORDIA DRIVE, SUITE 301  
 OTTAWA, ON K2E 7B9

**CONSULTANTS:**  
 STRUCTURAL: TRD  
 MECHANICAL: TRD  
 ELECTRICAL: TRD

NO.	REVISION/REMARK	DATE
4	REVISED SITE PLAN	01/14/22
3	REVISED SITE PLAN	06/09/21
2	REVISED SITE PLAN	01/20/21
1	PRELIMINARIES	02/20/21

**PROJECT:** 817 ROSEVIEW AVENUE  
 817 ROSEVIEW AVE.  
 OTTAWA, ON K2E 7B9  
 613-000-0000

**DRAWING NAME:** SITE PLAN

**DRAWN BY:** --- **SHEET:** A1

**DATE:** FEB. 10, 2021

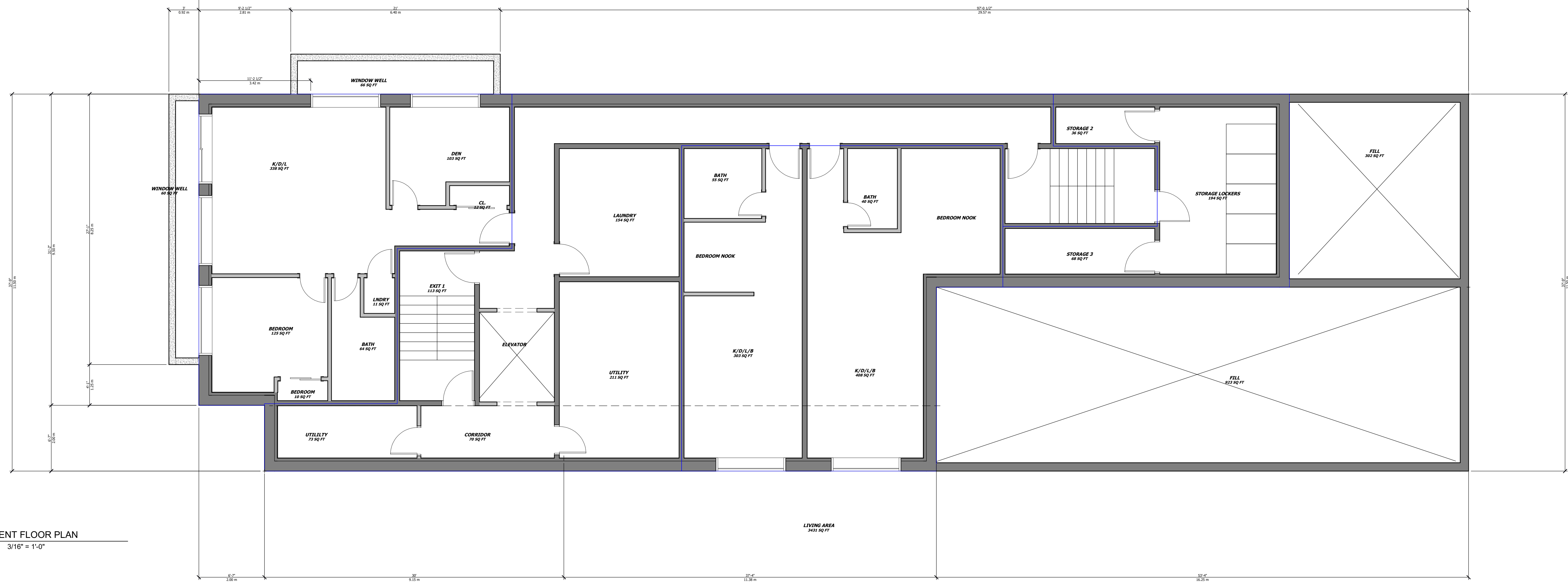
**SCALE:** AS NOTED

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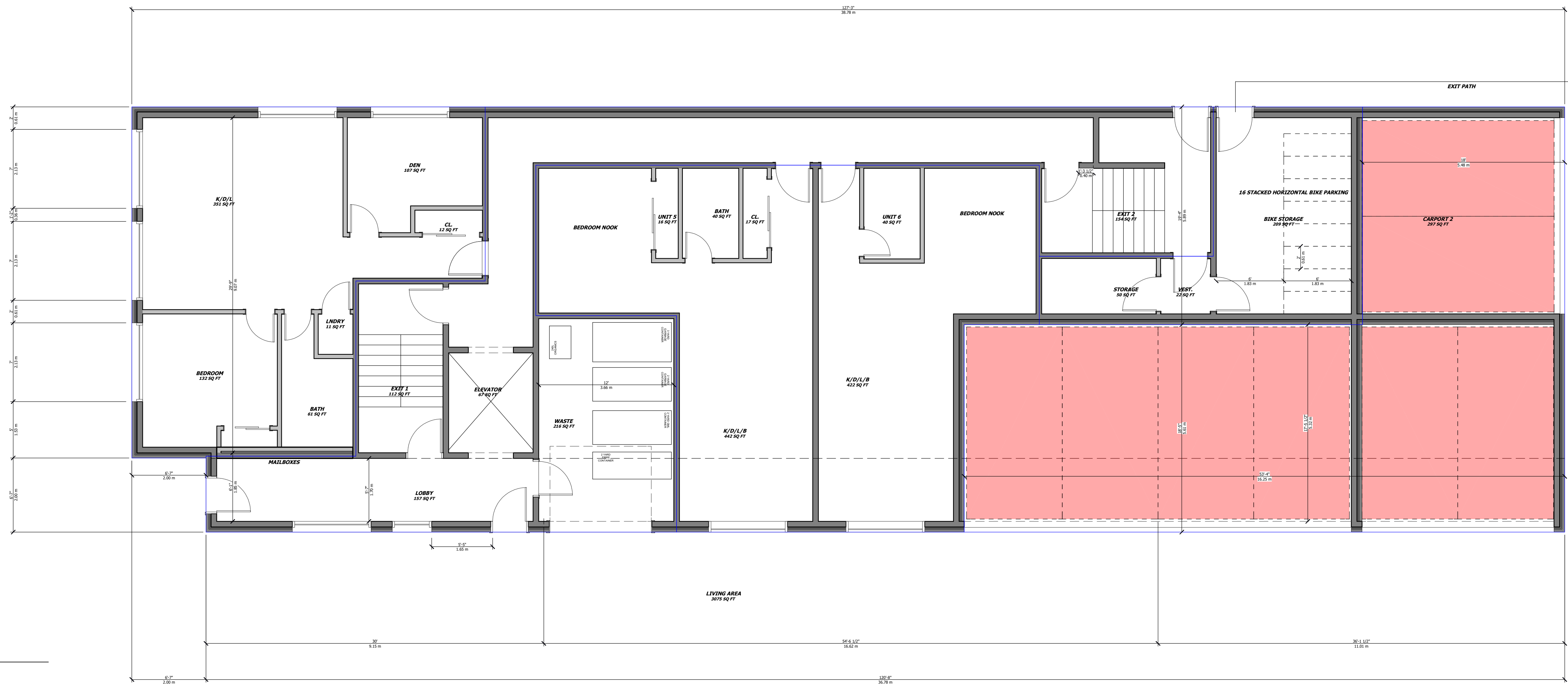
**FILE NUMBER: D07-12-21-0165**

**817 ROSEVIEW AVENUE**  
 SCOPE OF WORK: NEW 4 STOREY LOW RISE RENTAL BUILDING - 24 UNITS





1 BASEMENT FLOOR PLAN  
SCALE 3/16" = 1'-0"



2 FIRST FLOOR PLAN  
SCALE 3/16" = 1'-0"

UNPOSED ARCHITECTURE INC.  
5-16 SWEETLAND AVE.  
OTTAWA, ON K1N 7T5  
AZUL DESIGNS  
OTTAWA, ON K1H 3Q2

The undersigned has reviewed and takes responsibility for this design, and has the qualifications for it meets the requirements set out in the Ontario Building Code to a designer.

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GENERAL NOTES:

**817 ROSEVIEW AVENUE**  
SCOPE OF WORK: NEW 4 STOREY LOW RISE RENTAL BUILDING - 24 UNITS

OWNER/DEVELOPER:  
FARBER DEVELOPMENT  
1000 SHEPPARD AVE. E. #200  
SCARBOROUGH, ON M1B 3Y9

ARCHITECT/DESIGNER:  
UNPOSED ARCHITECTURE INC./AZUL DESIGNS  
5-16 SWEETLAND AVE.  
OTTAWA, ON K1N 7T5

APPLICATOR/OWNER:  
UNPOSED ARCHITECTURE INC./AZUL DESIGNS  
5-16 SWEETLAND AVE.  
OTTAWA, ON K1N 7T5

CIVIL ENGINEER:  
ARCHITECTURE INC./AZUL DESIGNS  
5-16 SWEETLAND AVE.  
OTTAWA, ON K1N 7T5

LANDSCAPING:  
JONAS & ASSOCIATES  
P.O. Box 622, Station T  
OTTAWA, ON K1N 7T5

SUBSECTOR:  
ANNO, OSULLIVAN, VOLLEBAEK LTD  
11 CONROE DRIVE, SUITE 300  
OTTAWA, ON K2B 8L3

CONSULTANTS:  
STRUCTURAL: TBD  
MECHANICAL: TBD  
ELECTRICAL: TBD

NO.	REVISION/ISSUE	DATE
4	REVISED SITE PLAN	01/14/22
3	REVISED SITE PLAN	06/09/21
2	REVISED SITE PLAN	01/20/21
1	PRELIMINARIES	02/20/21

PROJECT: 817 ROSEVIEW AVENUE  
817 ROSEVIEW AVE.  
OTTAWA, ON K2B 8L3

DRAWING NAME: FLOOR PLANS

DRAWN BY: ... SHEET: A2  
DATE: FEB. 10, 2021  
SCALE: AS NOTED

FILE NUMBER: D07-12-21-0165

UNPOISED ARCHITECTURE INC.  
5-16 SWEETLAND AVE.  
OTTAWA, ON K1N 7T5  
AZUL DESIGNS  
OTTAWA, ON K1H 7Q2

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GENERAL NOTES:

**817 ROSEVIEW AVENUE**  
SCOPE OF WORK: NEW 4 STOREY LOW RISE RENTAL BUILDING - 24 UNITS

**OWNER/DEVELOPER:**  
FARBER DEVELOPMENT  
1000 SHEPPARD AVE. E. SUITE 100  
OTTAWA, ON K1H 1S4

**ARCHITECT/DESIGNER:**  
UNPOISED ARCHITECTURE INC./AZUL DESIGNS  
5-16 SWEETLAND AVE.  
OTTAWA, ON K1N 7T5

**APPLICATOR/OWNER:**  
WEST CANADA INC.  
1011 GARDENWAY DR. SUITE 300  
OTTAWA, ON K2B 8K2

**CIVIL ENGINEER:**  
ARCHITECTURE/ENGINEERING  
OTTAWA, ON K1H 7Q2

**LANDSCAPING:**  
JONES & SCOTT/ARCHITECTURE  
P.O. Box 627, St. Catharines, ON  
L2R 6K1

**SUBSIDIARY:**  
ARCUS CONSULTING/ENGINEERING LTD.  
111 CONCORD DRIVE SUITE 300  
OTTAWA, ON K2B 8K2

**CONSULTANTS:**  
STRUCTURAL: TBD  
MECHANICAL: TBD  
ELECTRICAL: TBD

NO.	REVISION/ISSUE	DATE
4	REVISED SITE PLAN	01/14/22
3	REVISED SITE PLAN	06/09/21
2	REVISED SITE PLAN	01/20/21
1	PRELIMINARIES	02/02/21

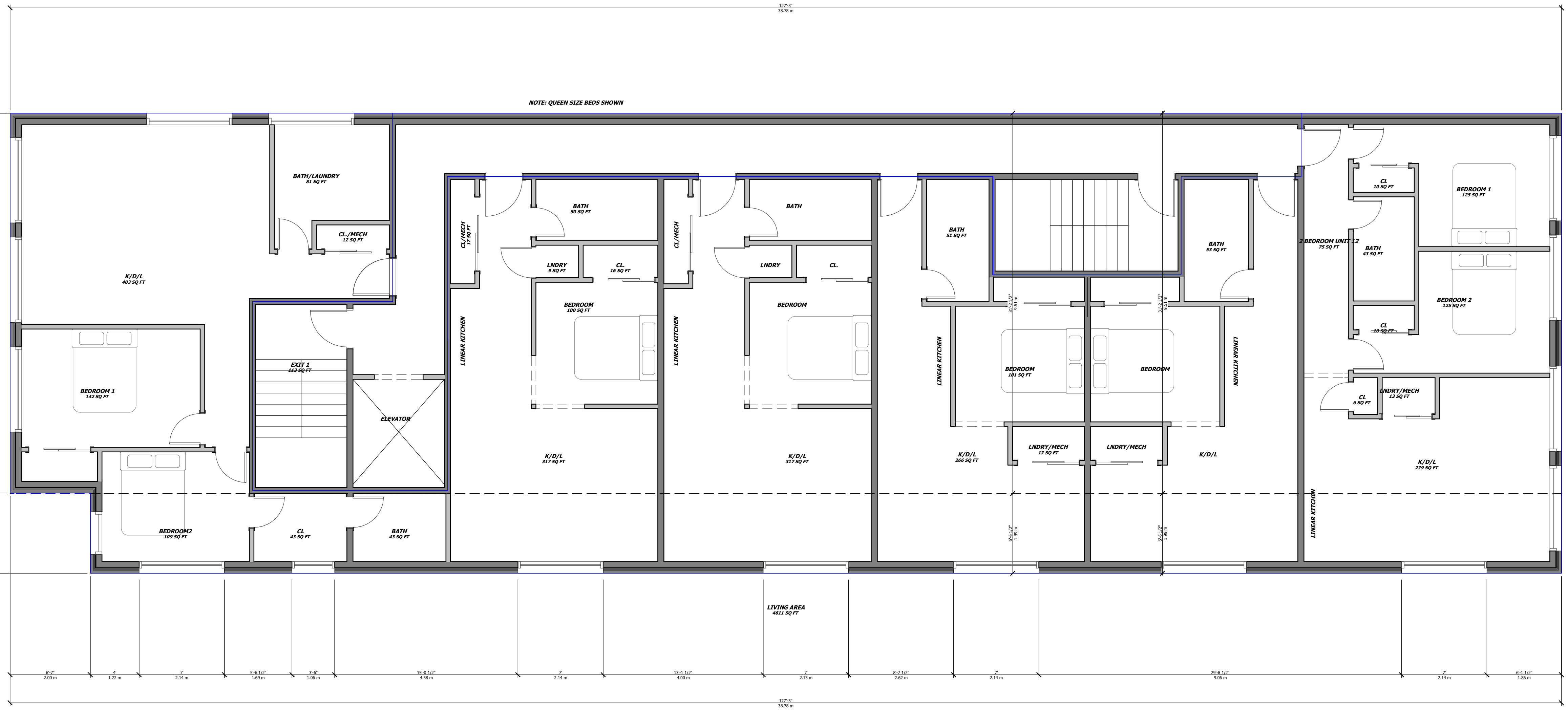
PROJECT: **817 ROSEVIEW AVENUE**  
817 ROSEVIEW AVE.  
OTTAWA, ON K2B 8L3  
613-000-0000

DRAWING NAME: **FLOOR PLANS**

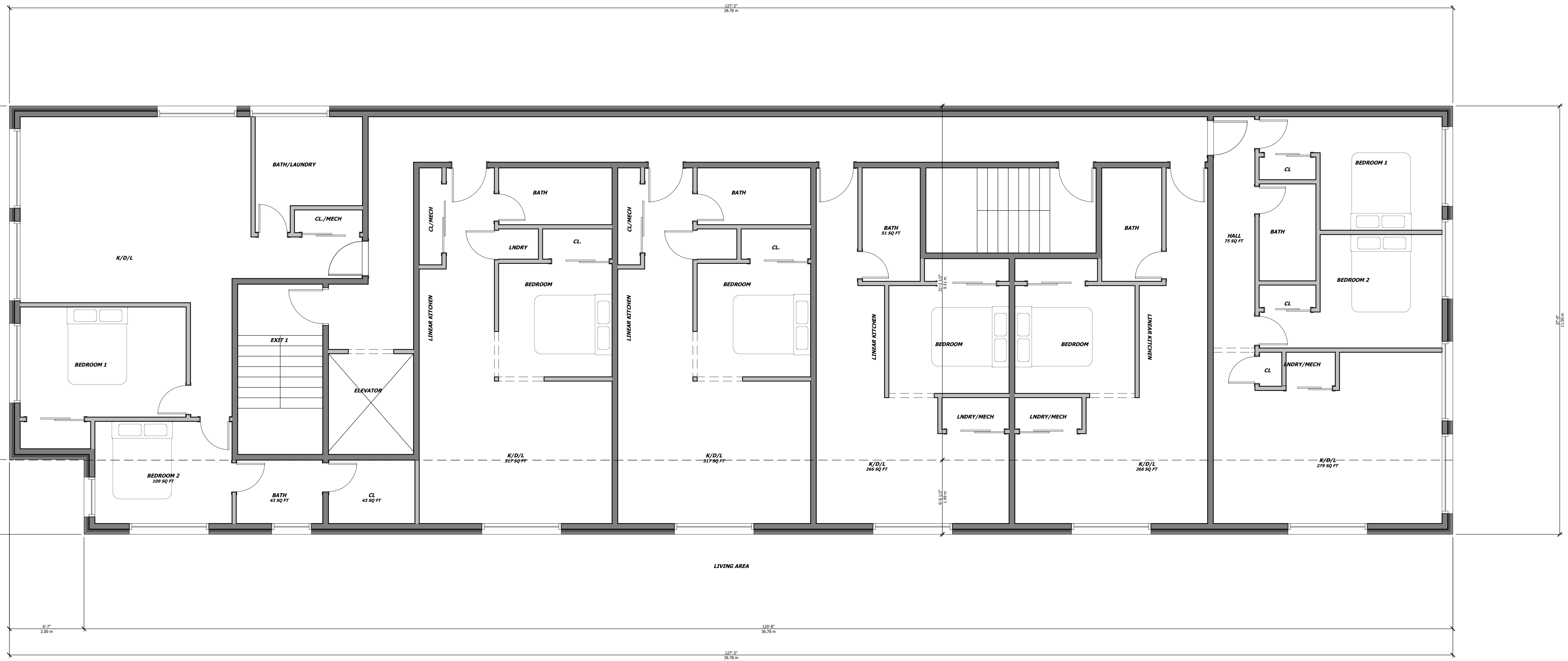
DRAWN BY: ... SHEET: **A3**  
DATE: FEB. 10, 2021  
SCALE: AS NOTED

FILE NUMBER: **D07-12-21-0165**  
**#18620**

**1**  
**A3** SECOND FLOOR PLAN  
SCALE 3/16" = 1'-0"



**2**  
**A3** THIRD FLOOR PLAN  
SCALE 3/16" = 1'-0"







EXTERIOR MATERIALS : 817 Roseview Avenue	Date: 2022-05-02
--	------------------



1 WEST ELEVATION  
A5 SCALE 1/8" = 1'-0"

Drawing Tag	Description	Comments
1	Brick Veneer (Brampton Brick) - Clay Brick - Architectural series - Colour: Graphite - Grout: to match brick	- Colour sample to be approved on site
2	EIFS (STO Therm) - Colour: Light Grey	Colour sample to be approved on site
3	Steel Siding (Vicwest) - AD Series - Colour: medium grey	Colour sample to be approved on site
4	Brick Veneer (Brampton Brick) - Clay brick - Architectural series - Colour: red velour - Grout: cream colour	- Colour sample to be approved on site
5	Aluminium Composite Panel (Nortem) - Alpolic Matt Series - Colour: Light grey	Colours sample to be approved on site
6	Aluminum Louvers - Anodized Metal	Colours sample to be approved on site

UNPOISED ARCHITECTURE INC.  
5-16 SWIFTLAND AVE.  
OTTAWA, ON K1N 7T5  
AZUL DESIGNS  
OTTAWA, ON K1H 7Q2

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

RESPONSIBILITIES:  
DO NOT SCALE DRAWINGS  
ALL DESIGN AND CONSTRUCTION TO BE IN ACCORDANCE WITH ALL LAWS, REGULATIONS AND BYLAWS HAVING JURISDICTION  
ALL CONTRACTORS MUST WORK IN ACCORDANCE WITH ALL LAWS, REGULATIONS AND BYLAWS HAVING JURISDICTION  
IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ALL ERRORS AND OMISSIONS TO THE ARCHITECT/DESIGNER  
COPYRIGHT RESERVED  
GENERAL NOTES:



2 SOUTH ELEVATION  
A5 SCALE 1/8" = 1'-0"

817 ROSEVIEW AVENUE  
SCOPE OF WORK: NEW 4 STOREY LOW RISE RENTAL BUILDING - 24 UNITS

OWNER/DEVELOPER:  
PARSONS BRINCKERHOFF  
1000 SHEPPARD AVE. EAST  
OTTAWA, ON K1H 1S6

ARCHITECT/DESIGNER:  
UNPOISED ARCHITECTURE INC./AZUL DESIGNS  
5-16 SWIFTLAND AVE.  
OTTAWA, ON

APPLICATION NUMBER:  
1000 CANTON RD  
111 COLLEGE AVE. SUITE 300  
OTTAWA, ON K2B 9K2

CIVIL ENGINEER:  
ARCHITECT/DESIGNER:  
OTTAWA, ON K1H 7Q2

LANDSCAPING:  
DORIS ACCORONIA  
P.O. Box 627, Sault Ste. Marie, ON

SUBMITTER:  
ARND, OTSULMAN, VOLLEBAEK LTD  
111 COLLEGE AVE. SUITE 300  
OTTAWA, ON K2B 9K2

CONSULTANTS:  
STRUCTURAL: TBD  
MECHANICAL: TBD  
ELECTRICAL: TBD

NO.	REVISION/ISSUE	DATE
4	REVISED SITE PLAN	01/14/22
3	REVISED SITE PLAN	06/09/21
2	REVISED SITE PLAN	01/20/21
1	PRELIMINARIES	02/10/21

PROJECT: 817 ROSEVIEW AVENUE  
817 ROSEVIEW AVE.  
OTTAWA, ON K2B 8L3

DRAWING NAME: ELEVATIONS

DRAWN BY: ... SHEET: A5  
DATE: FEB. 10, 2021  
SCALE: AS NOTED #18620

FILE NUMBER: D07-12-21-0165



Drawing Tag	Description	Comments
1	<b>Brick Veneer (Brampton Brick)</b> - Clay Brick - Architectural series - Colour: Graphite - Grout: to match brick	- Colour sample to be approved on site
2	<b>EIFS (STO Therm)</b> - Colour: Light Grey	Colour sample to be approved on site
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6	<b>Aluminum Louvers</b> - Anodized Metal	Colours sample to be approved on site

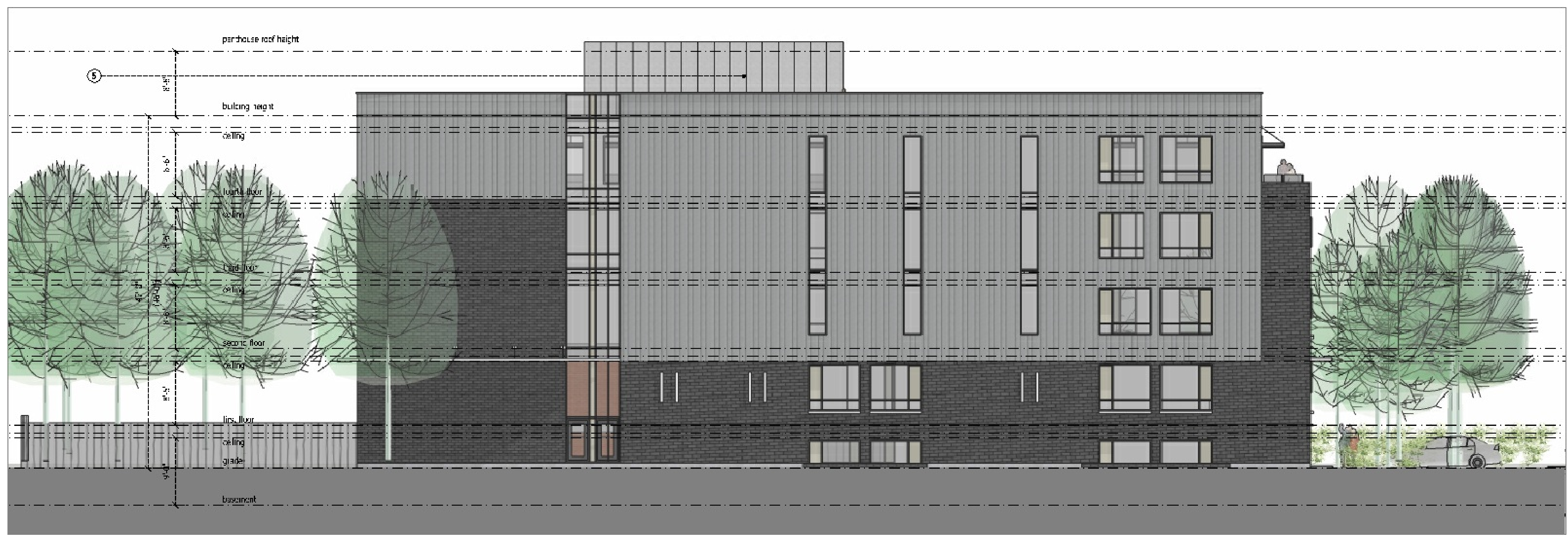
UNPOISED ARCHITECTURE INC.  
5-16 SWETLAND AVE.  
OTTAWA, ON K1N 7T5  
AZUL DESIGNS  
OTTAWA, ON K1H 7Q2

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

**RESPONSIBILITIES:**  
DO NOT SCALE DRAWINGS  
ALL DESIGN AND CONSTRUCTION TO BE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE 2006  
ALL CONTRACTORS MUST WORK IN ACCORDANCE WITH ALL LAWS, REGULATIONS AND BYLAWS HAVING JURISDICTION  
IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ALL ERRORS AND OMISSIONS TO THE ARCHITECT/DESIGNER  
COPYRIGHT RESERVED  
GENERAL NOTES:



1 EAST ELEVATION  
A6 SCALE 1/8" = 1'-0"



2 NORTH ELEVATION  
A6 SCALE 1/8" = 1'-0"

**817 ROSEVIEW AVENUE**  
 SCOPE OF WORK: NEW 4 STOREY LOW RISE RENTAL BUILDING - 24 UNITS

OWNER/DEVELOPER:  
PARIS DEVELOPMENT  
1000 SHEPPARD AVE. EAST  
OTTAWA, ON K1H 1S1

ARCHITECT/DESIGNER:  
UNPOISED ARCHITECTURE INC./AZUL DESIGNS  
5-16 SWETLAND AVE.  
OTTAWA, ON K1N 7T5

APPLICATION NUMBER:  
1007 CANADA INC.  
111 COLLEGE STREET, SUITE 300  
OTTAWA, ON K2H 8K2

CIVIL ENGINEER:  
ARCHITECT/DESIGNER:  
UNPOISED ARCHITECTURE INC./AZUL DESIGNS  
5-16 SWETLAND AVE.  
OTTAWA, ON K1N 7T5

LANDSCAPING:  
LORNA S. GIBSON/ARCHITECT  
P.O. Box 627, Station 77  
OTTAWA, ON K1N 7T5

SUBMITTER:  
ARND, OTSULMAN, VOLLEBAEK LTD  
111 COLLEGE STREET, SUITE 300  
OTTAWA, ON K2H 8K2

CONSULTANTS:  
STRUCTURAL: TBD  
MECHANICAL: TBD  
ELECTRICAL: TBD

4	REVISED SITE PLAN	01/14/22
3	REVISED SITE PLAN	06/09/21
2	REVISED SITE PLAN	01/22/21
1	PRELIMINARIES	02/25/21

NO. REVISION/ISSUE DATE

PROJECT: **817 ROSEVIEW AVENUE**  
817 ROSEVIEW AVE.  
OTTAWA, ON K2H 8L3  
613-000-0000

DRAWING NAME: **ELEVATIONS**

DRAWN BY: --- SHEET: ---  
DATE: FEB. 10, 2021  
SCALE: AS NOTED

**A6**  
#18620

FILE NUMBER: D07-12-21-0165