

**SITE PLAN OF SURVEY PLAN, PART 1 PLAN OF PART OF LOT 1 REGISTERED PLAN 523, CITY OF OTTAWA**

**ZONING:** AM2181(H1)

**ARTERIAL MAIN STREET ZONE (SECTIONS 185 AND 186) CITY OF OTTAWA, URBAN EXCEPTION 2181, MAXIMUM HEIGHT 11.0 m**

**PROPOSED BUILDING TYPE:** 4 STOREY LOW RISE RENTAL BUILDING 20 RESIDENTIAL RENTAL UNITS

**LOT DEPTH:** 55.67m (182.64')

**ADJACENT ZONING:**  
 NORTH: AM10  
 SOUTH: R1GG  
 WEST SIDE: AM10  
 EAST SIDE: L1

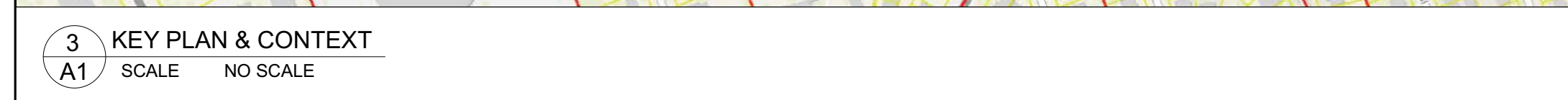
**SCHEDULE 1 AREA AREA 'C'**  
**SCHEDULE 1A AREA AREA 'C'**

**LOT INFO**

817 ROSEVIEW	817 ROSEVIEW	EXISTING	NOTES
STANDARD	REQUIRED	SINGLE	
LOT AREA:	n/a	1100m <sup>2</sup>	Minor ZBLA
LOT WIDTH:	11.0m	14.22m	
FRONT YARD:	3.0m	3.05m	
CORNER YARD:	n/a	n/a	
REAR YARD:	7.5m	13.55m	
INTERIOR YARD:	0.0m com. zones	1.22m	
AMENITY AREA:	114m <sup>2</sup>	253.7m <sup>2</sup>	Minor ZBLA
PARKING SPACES:	24 REG.	16	Minor ZBLA
BIKE SPACES:	4	0	
M.L.C.:	NO MAX.	0	

**SITE LEGEND**

- EX. TREE TO BE REMOVED
- NEW CONIFEROUS TREE
- DENOTES SOFT LANDSCAPING
- DENOTES HARD LANDSCAPING
- EXISTING BUILDING FOOTPRINT
- PROPOSED HONEYCOMB HARD LANDSCAPING
- PROPOSED ASPHALT DRIVEWAY
- PROPOSED WOOD DECKS/BALCONIES
- CAR PARKING SPACE (ASPHALT)
- BIYCLE PARKING (ASPHALT)
- WASTE COLLECTION AREA
- SNOW STORAGE AREA
- PROPOSED/EXISTING ENTRY/EXIT
- PF - TEMPORARY PROTECTION FENCE
- EX. UTILITY POLE
- EX. CHAINED LINK/BOARD FENCE
- PROPERTY LINE



**BUILDING AREAS**

BASEMENT FL. GFA:	115.7m <sup>2</sup>	-	-
SECOND FL. GFA:	180.3m <sup>2</sup>	-	-
THIRD FL. GFA:	390.4m <sup>2</sup>	-	-
FOURTH FL. GFA:	297.3m <sup>2</sup>	-	-
STORAGE:	57.5m <sup>2</sup>	-	-
GARAGE/CARPOR:	166.0m <sup>2</sup>	-	-
EXTENSION (ALL FLOORS):	290.2m <sup>2</sup>	-	-
TOTAL GFA:	1374.1m <sup>2</sup>	-	-
TOTAL ALL AREAS:	1742.5m <sup>2</sup>	-	NOT INCL. CARPORTS

**PROPOSED SITE DEVELOPMENT INFO:**

NEW GROSS FLOOR AREA:	1374.1m <sup>2</sup>	-	-
EX. GROSS FLOOR AREA:	0.0m <sup>2</sup>	144m <sup>2</sup>	EX. DEMOD
NUMBER OF UNITS:	20	SINGLE	
PROPOSED STOREYS:	4	1	

**BUILDING COVERAGE:** 40.7%  
**SOFT LANDSCAPING COV.:** 13.1%  
**HARD LANDSCAPING COV.:** 1.3%  
**DECKSPORCHES/STEPS:** 0.0%  
**ASPHALT COV.:** 42.5%  
**OTHER:** 2.4%

**WASTE COLLECTION LEGEND**

- GB 3YD + 2YD GARBAGE CONTAINERS
- BB 2YD FIBRE CONTAINER
- B 2YD GML CONTAINER
- G 240L ORGANICS
- PRIVATE COLLECTION

**SURVEY INFO**

SURVEY INFO TAKEN FROM SURVEYOR'S REAL PROPERTY REPORT PART 1 - PLAN OF PART OF LOT 1, REGISTERED PLAN 523, CITY OF OTTAWA PREPARED BY ANNIS, O'SULLIVAN, VOLLEBEK LTD MAY 20, 2021

**SITE NOTES**

- NEW ROOF DOWN SPOUTS SHALL NOT BE DIRECTED TOWARDS THE ADJACENT PROPERTIES
- EXCAVATED MATERIAL TO BE REMOVED FROM PROPERTY
- ALL GRADE TO SLOPE 2% AWAY FROM FOUNDATION WALL
- ALL MEASUREMENTS ARE METRIC (ACCOMPANYING IMPERIAL MEAS. MAY APPEAR)
- EXISTING GRADING AND DRAINAGE PATTERNS NOT TO BE ALTERED UNLESS OTHERWISE NOTED BY THE CIVIL ENGINEER

**EXISTING PLANTING MATERIAL**

CODE	COMMON NAME	QTY.	SIZE (DIA.)	CONDITION/NOTES
<b>DECIDUOUS TREES</b>				
CONIFEROUS TREES				
SHRUBS				

**NEW PLANTING MATERIAL**

CODE	COMMON NAME	QTY.	SIZE (DIA.)	CONDITION/NOTES
<b>DECIDUOUS TREES</b>				
DT1	RED MAPLE	2	50mm Cal.	
<b>CONIFEROUS TREES</b>				
SHRUBS				

**TREE CONSERVATION NOTES**

- ERECT A FENCE AT THE CRITICAL ROOT ZONE (CRZ) OF TREES;
- DO NOT PLACE ANY MATERIAL, OR EQUIPMENT WITHIN THE CRZ OF THE TREE;
- DO NOT ATTACH ANY SIGNS, NOTICES OR POSTERS TO ANY TREE;
- DO NOT RAISE OR LOWER THE EXISTING GRADE WITHIN THE CRZ WITHOUT APPROVAL;
- TUNNEL OR BORE WHEN DIGGING WITHIN THE CRZ OF A TREE;
- DO NOT DAMAGE THE ROOT SYSTEM, TRUNK OR BRANCHES OF ANY TREE;
- ENSURE THAT EXHAUST FUMES FROM ALL EQUIPMENT ARE NOT DIRECTED TOWARDS ANY TREE'S CANOPY;

\* THE CRITICAL ROOT ZONE (CRZ) IS ESTABLISHED AS BEING 10 CENTIMETRES FROM THE TRUNK OF A TREE FOR EVERY CENTIMETRE OF TRUNK DIAMETER AT BREAST HEIGHT (DBH). THE CRZ IS CALCULATED AS DBH X 10 CM.  
 \* TREE PROTECTION FENCE (PF) TO BE ERRECTED BEFORE AND REMAIN UNTIL BUILDING CONSTRUCTION HAS COMPLETED AND TO CONSIST OF 1.8m HIGH PLYWOOD HOARDINGS (SEE DIAGRAM BELOW).

**1 SITE PLAN**

SCALE: 3/32" = 1'-0"

**GENERAL CONSTRUCTION NOTES**

ALL DESIGN AND CONSTRUCTION SHALL CONFORM TO O.B.C. 2012 REQUIREMENTS.

**INTERIOR SPACES DESIGN & MATERIALS**

- ALL CLOSETS TO RECEIVE 1 ROD AND 2 SHELVES, UNLESS OTHERWISE NOTED.
- INSTALL GALVANIZED METAL PAN & DRAIN AT ALL CLOTHES WASHING MACHINE LOCATIONS.

**WINDOWS AND DOORS**

- DOORS, INCLUDING SLIDING DOORS THAT OPEN MORE THAN (900MM) 24" ABOVE GROUND OR A LANDING SHALL HAVE A RESTRICTED OPENING TO BE PROVIDED WITH GUARDS (9.8.7.3).
- PROVISIONS FOR RESISTANCE TO FORCED ENTRY SHALL BE PROVIDED IN CONFORMANCE TO 9.7.5.2 AND 9.7.5.3 OF THE O.B.C.
- EXCEPT WHERE A DOOR ON THE SAME FLOOR LEVEL AS THE BEDROOM PROVIDES DIRECT ACCESS TO THE EXTERIOR, EVERY FLOOR LEVEL CONTAINING A BEDROOM IN A SUITE SHALL BE PROVIDED WITH AT LEAST ONE OUTSIDE WINDOW THAT CAN BE OPENED FROM THE INTERIOR USING A TOOL AND SUCH WINDOW SHALL PROVIDE AN INDIVIDUAL UNRESTRICTED PORTION HAVING A MINIMUM AREA OF 0.33 M<sup>2</sup> WITH DIMENSION LESS THAN (900MM) 19" AND BE ABLE TO MAINTAIN THE RECD OPENING UNLESS OTHERWISE NOTED (9.8.10).

**STAIRS, RAMPS, HANDRAILS & GUARDS**

**INTERIOR PRIVATE STAIR:** RISERS: 7" MAX., 4" MIN. RUN: 11" MIN., 14" MAX. ABOVE: 12" MIN., 14" MAX. NOSING: 1/2" MIN. MINIMUM HEADROOM CLEARANCE OF (1.90M) 6'2" STAIRS.

**INTERIOR PUBLIC STAIR:** RISERS: 7" MAX., 4" MIN. RUN: 11" MIN., 14" MAX. ABOVE: 12" MIN., 14" MAX. NOSING: 1/2" MIN. MINIMUM HEADROOM CLEARANCE OF (1.90M) 6'2" STAIRS.

**EXTERIOR PRIVATE STAIR:** RISERS: 7" MAX. RUN: 12" MIN. TREAD: 12" MIN. NOSING: 1/2" MIN. HEADROOM CLEARANCE TO BE 6'-0" ABOVE NOSING.

**HANDRAILS:** AT LEAST ONE HANDRAIL SHALL BE CONTINUOUS (9.8.7.3). 2. HANDRAILS TO BE (900MM) 36" TO 39" ABOVE NOSING. 3. AN EXTERIOR GUARD MUST BE A MINIMUM HEIGHT OF (900MM) 21" IF THE WALKING SURFACE IS LESS THAN (900MM) 21" ABOVE THE ADJACENT GRADE, OTHERWISE THE HEIGHT MUST BE A MINIMUM OF (1.07M) 47". ALL REQUIRED GUARDS WITH DWELLING UNITS MUST BE A MINIMUM OF (900MM) 21". 4. GUARDS ARE REQUIRED ON DECKS AND OTHER WALKING SURFACES THAT EXTEND TO (900MM) 22 5/8" ABOVE GRADE AND SHALL CONFORM TO THE LOADING CRITERIA IN PART 4 OF THE O.B.C. OR BE CONSTRUCTED AS SET OUT IN THE O.B.C. SUPPLEMENTARY GUIDELINES PART 7.0.8.8.8 FOR METAL GUARDS. SUPPLIER SHOP DRAWINGS MUST BE CERTIFIED FOR DESIGN INSTALLATION CONFORMING TO O.B.C. PART 4 AND 9.8.8.2. 5. A LANDING SHALL BE PROVIDED AT THE TOP OF ALL EXTERIOR STAIRS THAT CONTAIN MORE THAN 3 RISERS (9.8.8.2.3).

**INTERIOR STAIR:** ALL STAIR GUARDS TO BE 3" ABOVE NOSING. ALL LANDING GUARDS TO BE 2" ABOVE FINISHED FLOOR. MAXIMUM VERTICAL SPACING BETWEEN BALUSTERS IS 4".

**EXTERIOR STAIR:** TO COMPLY TO O.B.C. 9.8.8 FOR RESISTANCE TO LOADS AND LEVEL ANCHORAGE. ALL STAIR GUARDS TO BE 3" ABOVE NOSING. ALL LANDING AND BALCONY GUARDS TO BE 2" ABOVE FINISHED SURFACE. NO CLIMBABLE ELEMENTS BETWEEN 4" AND 3' ABOVE FLOOR FINISH. HANDRAILS TO COMPLY TO O.B.C. 9.8.7.

**FIRE PROTECTION**

- SUPPLY AND INSTALL SMOKE AND CARBON MONOXIDE DETECTORS AS PER 9.12.1.3.1. REQUIREMENTS, CORRECT FINAL LOCATIONS WITH DESIGNER ON SITE (9.9.19.3 & 9.3.4).
- SMOKE ALARMS SHALL BE PROVIDED ON ALL LEVELS AND IN EACH SLEEPING ROOM AND INTERCONNECTED (A.C. NOT BATTERY) (9.9.19).
- CARBON MONOXIDE DETECTOR SHALL BE INSTALLED ADJACENT TO EACH SLEEPING AREA (9.33.4.1, 9.33.4.2 & 9.33.4.3 OR AS PER 9.9.19.3.1).
- VERIFY LOCATION OF AND LIMITATIONS IMPOSED BY EXISTING MECHANICAL, ELECTRICAL, TELEPHONE AND SIMILAR SERVICES, AND REMOVE THEM FROM DAMAGE, IF NECESSARY. RELocate REACTIVE SERVICES TO ENSURE THAT THEY FUNCTION CONTINUOUSLY WHEREVER POSSIBLE.
- CAP OFF AND REMOVE UNUSED UTILITY SERVICES ENCOUNTERED DURING WORK AFTER APPROVAL IS GIVEN BY THE UTILITIES CONCERNED OR JURISDICTIONAL AUTHORITIES, WHICH EVER MAY APPLY. RELOCATION, REMOVAL AND INSTALLATION OF EXISTING UTILITY SERVICES SHALL BE PERFORMED ONLY BY THE APPLICABLE UTILITY, AND OF OTHER SERVICES BY LICENSED PROFESSIONALS.
- ENSURE THAT PRECAUTIONS ARE TAKEN TO PREVENT LEAKAGE AND SPILLAGE FROM PLUMBING AND MECHANICAL WORK THAT MAY DAMAGE ADJACENT FINISHES.

**MECHANICAL**

- ALL WORK TO BE DONE IN ACCORDANCE WITH ASHRAE STANDARDS (9.23.1.1).
- ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE ELECTRICAL SAFETY CODE.
- PROVIDE EXT. LIGHT AT ALL EXTERIOR DOORS.
- FUTURE LIGHT TO BE SPECIFIED.

**PLUMBING**

- THE CONSTRUCTION OF THE PLUMBING SYSTEM SHALL CONFORM TO PART 7 OF THE O.B.C. (9.23.1.1).
- SERVICE WATER HEATERS SHALL BE ANCHORED TO STRUCTURE TO PREVENT OVERTURNING.
- IT IS RECOMMENDED THAT BASEMENT FLOOR DRAINS AND OTHER BASEMENT FITTINGS BE PROVIDED WITH APPROPRIATE CHECK DEVICES TO PREVENT BACK FLOW FROM STREET SEWERS (7.4.6.4).

**TRIM**

AS PER CLASSIC HARDWOODS OR EQUAL. TYPICAL MITRE ALL CORNERS AND RETURNS. CANALS AND GROOVES TO BE LATEST CATALOGUE. BASEBOARD: 3/4" X 1/2" POPLAR. SHOE MOLDING: 3/4" X 1/4" ROUND POPLAR. WINDOW AND JAMB CASINGS: 3/4" X 3/4" X 1/2" POPLAR. WINDOW SILL EXTENDED STOOL WITH ALL RETURNS. WINDOW SILL CASINGS: 3/4" X 3/4" POPLAR. MITRE END RETURNS.

**KITCHEN**

- PROVIDE WATER PROOF WALL FINISH AS PER 9.29.2 OF 2012 O.B.C.
- PROVIDE WATER RESISTANT FLOORING AS PER 9.30.1 OF 2012 O.B.C.
- PROVIDE FINE PROTECTION AROUND COOKTOPS AS PER 9.29.19.4 (1).

**BATH ROOM**

- WATERPROOF WALL FINISH REQUIRED AROUND ALL SHOWERS AND TUBS AS PER 9.30.2. MOISTURE RESISTANT BACKING REQUIRED AS PER 9.29.19.4 (1).
- MIN. 5" ABOVE FLOOR OF TUBS OR A SHOWER.
- MIN. 15" ABOVE FLOOR OF TUBS OR A SHOWER.
- ALL PLUMBING FIX. TO BE CANADA-BUILT OR CERT. WITH MAX. FLOSH CYCLE OF 4 RL.
- WATER RESISTANT FLOORING IN BATHROOM AS PER 9.30.1 (2.1).
- TEMP. CONTROL VALVE REQ'D TO PREVENT WATER TO EXCEED 45°C.
- REPLACE 1/2" CEMENT BOARD WITH CERAMIC TILE BOARD AT ALL SHOWERS, SHOWER/TUB WALLS & SHOWER WINDOW SELLS AND JAMBES.
- REPLACE 1/2" OSBUM BOARD WITH WATER RESISTANT OYSUM BOARD AT BATHUBA SURFACES.
- PROVIDE BATHROOMS WITH EXHAUST FAN WITH DUCT TERMINATING OUTSIDE OF BUILDING.

**WOOD FRAME CONSTRUCTION**

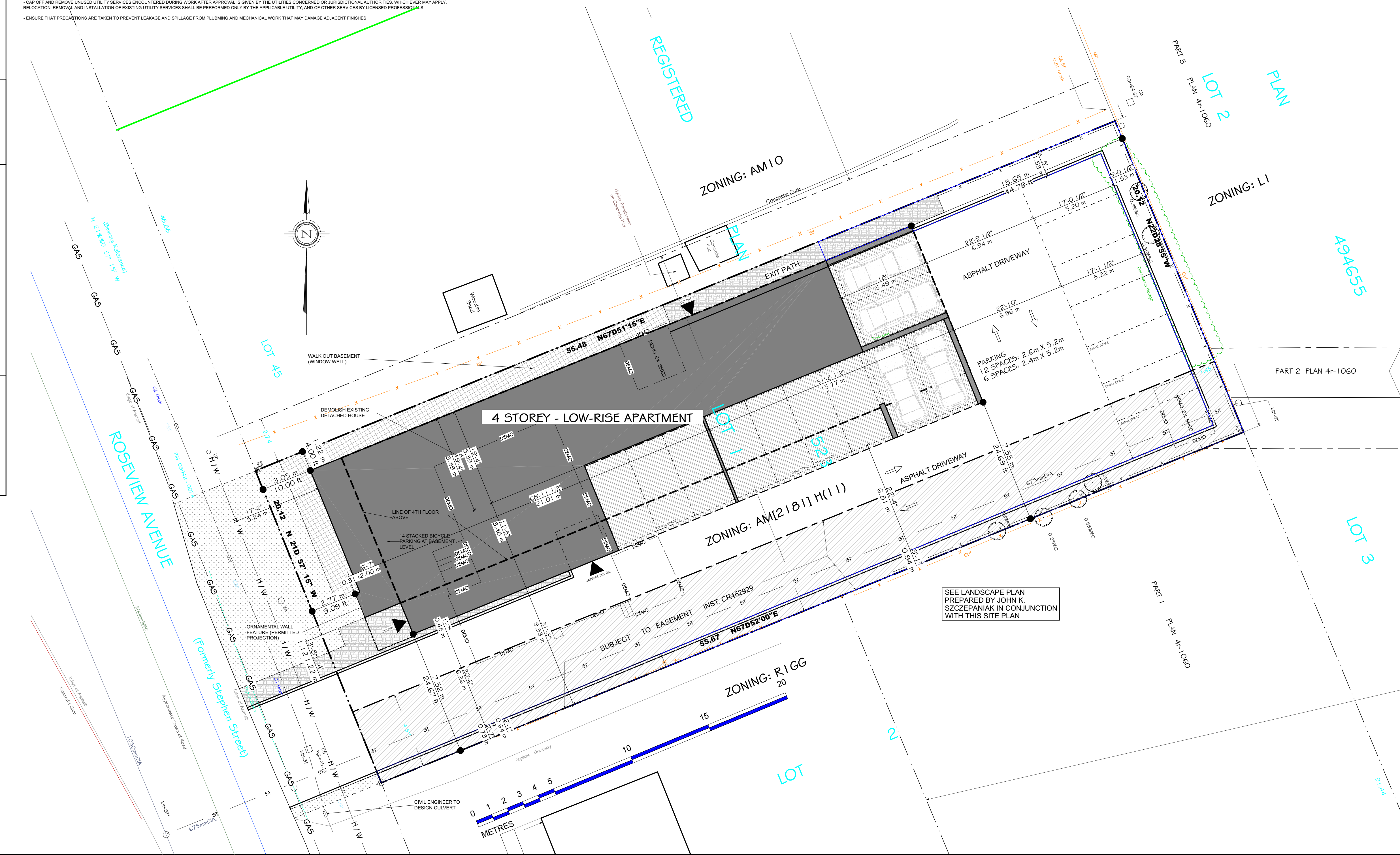
MOISTURE BARRIER SHALL BE PROVIDED IN ALL AREAS WHERE WOOD IS IN CONTACT WITH CONCRETE OR UNIT MASONRY LOCATED BELOW GRADE (9.2.2.2).
- SUPPORT OF WALLS WITH ADDITIONAL BLOCKING OR JOISTS.
- WHERE THE TOP OF THE FOUNDATION WALL IS LEVEL, THE JUNCTION BETWEEN THE SILL PLATE AND THE FOUNDATION IS TO BE CALLED OUT BY THE SILL PLATE TO BE PLACED ON LAYERS OF MINERAL WOOL, NOT LESS THAN (25MM) 1" THICK (9.2.3.2).

**ROOF FRAMING & COMPONENTS**

- TRUSS AND FLOOR SYSTEM SUPPLIER TO PROVIDE SHOP DWGS.
- DESIGNED BY PROFESSIONAL ENGINEER FOR APPROVAL BY DESIGNER PRIOR TO FABRICATION.
- CONTRACTOR SHALL PROVIDE SHOP DRAWINGS TO INSPECTOR BEFORE ERECTION OF TRUSSES.
- TRUSS ROOF/GIRDER TRUSS LAYOUT BY SUPPLIER MAY REQUIRE MODIFICATIONS TO FRAMING INDICATED.
- ADD INSULATION DEPENDENT ON EACH TRUSS SPACE WHERE NECESSARY TO MAINTAIN MINIMUM 2 1/2" AIR SPACE ABOVE INSULATION.
- LOCATE ALL PLUMBING STACKS AND VENTS ON REAR ROOF.
- ROOF VENTS ARE TO BE UNIFORM ON OPPOSITE SIDES OF THE BUILDING WITH NOT LESS THAN 20% AT THE TOP AND NOT LESS THAN 25% AT THE BOTTOM. (9.19.1.2) ROOF VENT AREA MUST BE A MINIMUM OF 1360 OF THE INSULATED CEILING AREA. IF ROOF SLOPE IS LESS THAN 1:1 IN THE AREA 6'1105 OF THE INSULATED CEILING AREA.
- EAVE PROTECTION REQUIRED ON SINGLE, SHAVE, OR T.E. ROOF'S EXTENDING FROM THE ROOF A MINIMUM OF (900MM) 21" UP TO THE ROOF SLOPE TO A LINE NOT LESS THAN (300MM) 11 3/4" INSIDE THE INNER FACE OF THE EXTERIOR WALL (9.28.5).

**CLADDING & COMPONENTS**

- RUN FLASHING UP WALL IF MINIMUM AT BACKSIDE OF AIR BARRIER.
- AIR BARRIERS ARE TO BE CONTINUOUS (9.23.3.3).



**unpoised Architecture INC.**  
 5-16 SWEETLAND AVE.  
 OTTAWA, ON K1M 1Y7  
 AZUL DESIGNS  
 OTTAWA, ON K1M 1Q2

**unpoised Architecture INC.**  
 5-16 SWEETLAND AVE.  
 OTTAWA, ON K1M 1Y7  
 AZUL DESIGNS  
 OTTAWA, ON K1M 1Q2

The undersigned has reviewed and takes responsibility for this design, and has the qualifications to meet the requirements set out in the Ontario Building Code to be a designer.

**RESPONSIBILITIES:**  
 DO NOT SCALE DRAWINGS  
 ALL DESIGN AND CONSTRUCTION TO BE IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS AND BY-LAWS HAVING JURISDICTION.  
 ALL CONTRACTORS MUST WORK IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS AND BY-LAWS HAVING JURISDICTION.  
 IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS, MATERIALS AND REPORT ALL ERRORS AND OMISSIONS TO THE ARCHITECT/DESIGNER.  
 COPYRIGHT RESERVED  
 GENERAL NOTES

**COMMENTS DEVELOPER:**  
 PARCEL NUMBER: 011-000-000-000  
 OTTAWA, ON K2E 1E6

**ARCHITECT/DESIGNER:**  
 UNPOISED ARCHITECTURE INC./AZUL DESIGNS  
 5-16 SWEETLAND AVE.  
 OTTAWA, ON  
 K1M 1Y7

**APPLICATION NUMBER:**  
 2024-00000000  
 2111-000-000-000-000  
 K1M 1Q2

**CIVIL ENGINEER:**  
 ANNIS, O'SULLIVAN, VOLLEBEK LTD  
 14 CONCORDE DRIVE, SUITE 300  
 OTTAWA, ON  
 K2E 7S9

**LANDSCAPING:**  
 JOHN K. SZCZEPANIAK  
 P.O. Box 607, Salem St  
 OTTAWA, ON  
 K1M 1Q2

**DATE:** FEB. 10, 2021

**SCALE:** AS NOTED

**FILE NUMBER:** 000-00-00-000

**SITE PLAN**

**1 SITE PLAN**  
 SCALE: 3/32" = 1'-0"

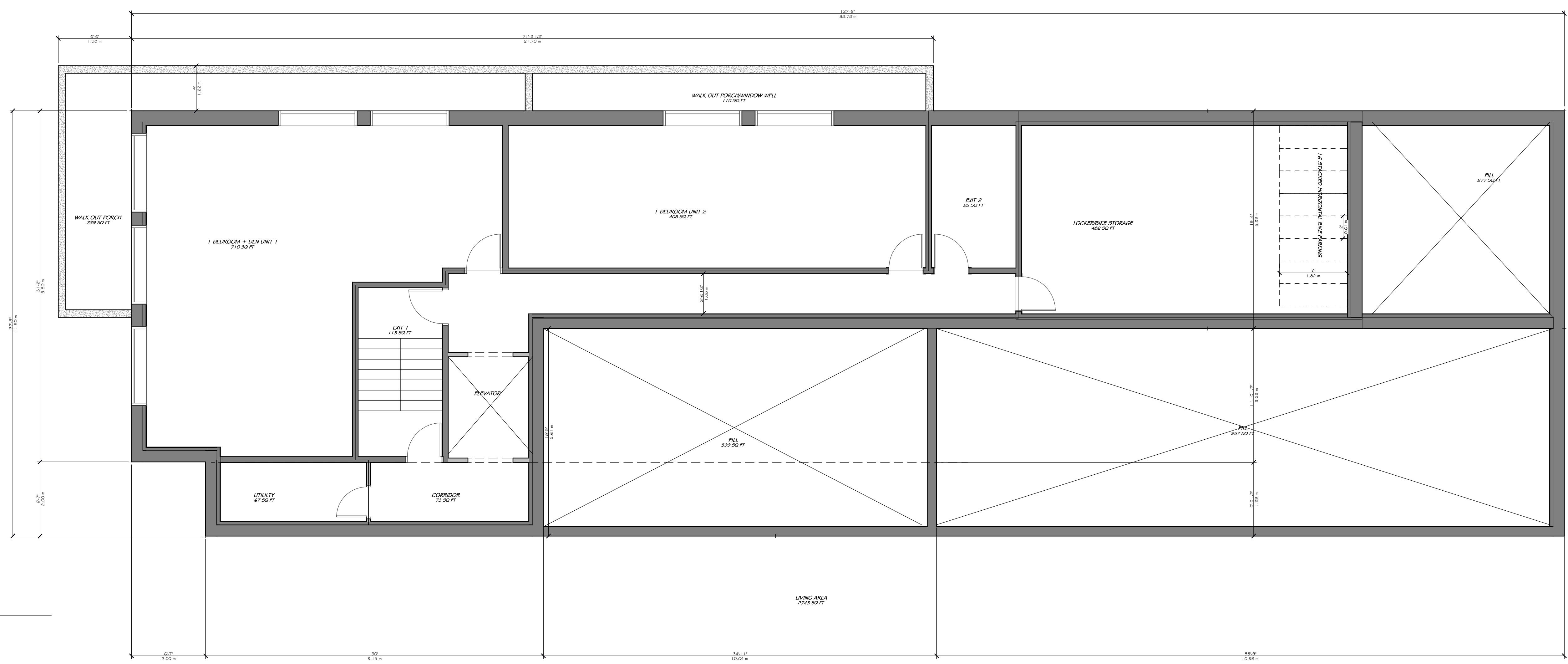
**DATE:** FEB. 10, 2021

**SHEET:** A1

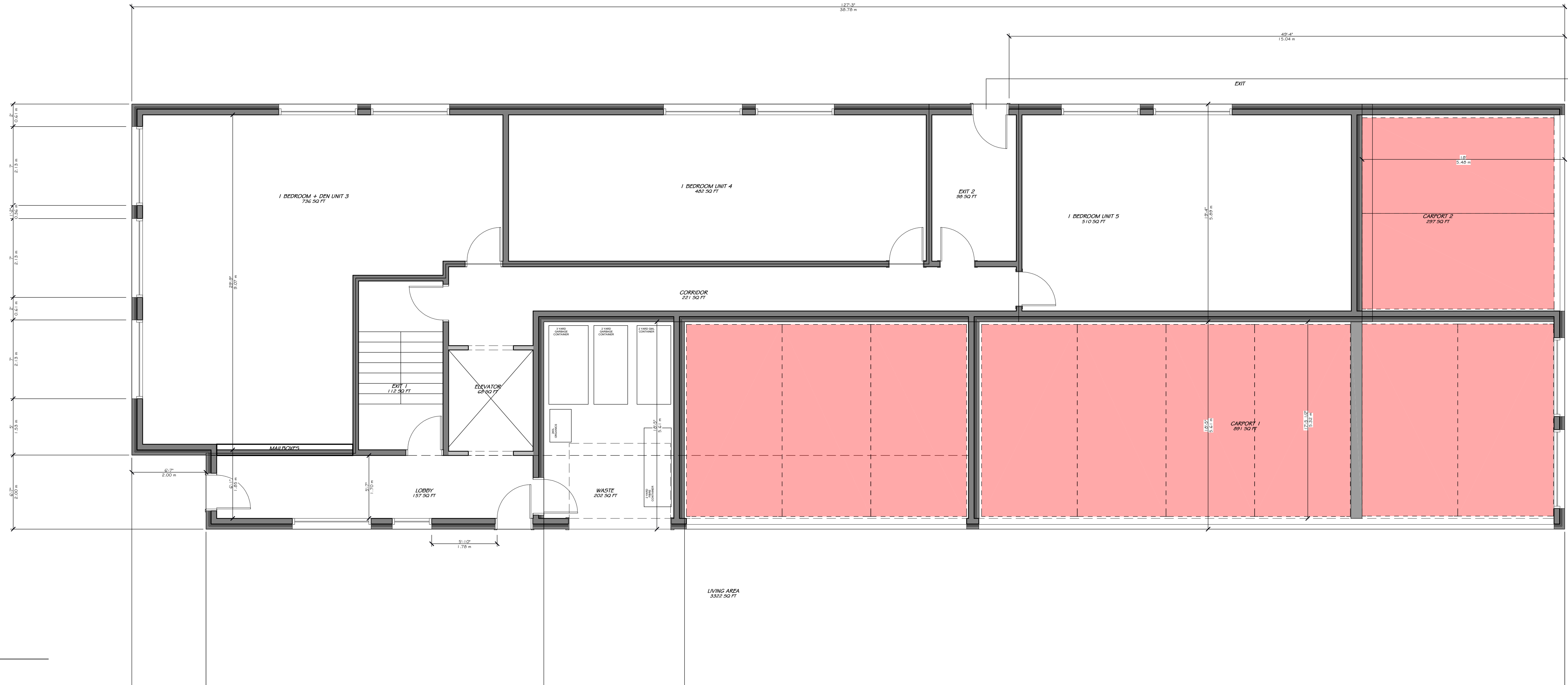
**SCALE:** AS NOTED

**817 ROSEVIEW AVENUE**  
 SCOPE OF WORK: NEW 4 STOREY LOW RISE RENTAL BUILDING - 20 UNITS





1 BASEMENT FLOOR PLAN  
SCALE 3/16" = 1'-0"



2 FIRST FLOOR PLAN  
SCALE 3/16" = 1'-0"

817 ROSEVIEW AVENUE  
SCOPE OF WORK: NEW 4 STOREY LOW RISE  
RENTAL BUILDING - 20 UNITS

OWNER/DEVELOPER:  
FRANCOIS LORANGER  
1111 BROADVIEW AVE  
OTTAWA, ON  
K1G 5E6  
ARCHITECT/DESIGNER:  
UNPOISED ARCHITECTURE INC./AZUL DESIGNS  
5-16 SIRETLAND AVE.  
OTTAWA, ON  
K1H 7T5  
APPLICATION NUMBER:  
1059 CANADA/105  
0111 LOCKERIDGE DR. SUITE 300  
OTTAWA, ON  
K2B 9K2  
CIVIL ENGINEER:  
ARCHITECT/DESIGNER:  
OTTAWA, ON  
K1H 7T5  
LANDSCAPING:  
JOSH & SIOBHAN  
P.O. Box 622, Sault Ste. Marie  
OTTAWA, ON  
K1H 7T5  
SURVEYOR:  
ANDRUS OTSULIANSKI, VOLUNTARY LTD  
111 CONCORDE DRIVE, SUITE 300  
OTTAWA, ON  
K2E 7S9

CONSULTANTS:  
STRUCTURAL: TBD  
MECHANICAL: TBD  
ELECTRICAL: TBD

NO.	REVISION/ISSUE	DATE
4	REVISED SITE PLAN	10/14/21
3	REVISED SITE PLAN	09/09/21
2	REVISED SITE PLAN	07/10/21
1	PRELIMINARY	02/10/21

PROJECT: 817 ROSEVIEW AVENUE  
817 ROSEVIEW AVE.  
OTTAWA, ON K2B 8L3  
DRAWING NAME: FLOOR PLANS  
DRAWN BY: F.M.  
DATE: FEB. 10, 2021  
SCALE: AS NOTED

FILE NUMBER: D00-00-0000

A2

**817 ROSEVIEW AVENUE**  
SCOPE OF WORK: NEW 4 STOREY LOW RISE RENTAL BUILDING - 20 UNITS

**OWNER/DEVELOPER:**  
FARRELL DEVELOPMENT  
1500 SHEPPARD AVE. E. SUITE 100  
SCARBOROUGH, ON M1S 1S4

**ARCHITECT/DESIGNER:**  
UNPOISED ARCHITECTURE INC./AZUL DESIGNS  
5-16 SWEETLAND AVE.  
OTTAWA, ON K1N 7T5

**APPLICATION NUMBER:**  
105P-COMPL-19-001  
011-COMPL-ENGR-DR- SUITE 300  
OTTAWA, ON K2B 9K2

**CIVIL ENGINEER:**  
ARCHITECTURE INC./AZUL DESIGNS  
5-16 SWEETLAND AVE.  
OTTAWA, ON K1N 7T5

**LANDSCAPING:**  
DINA & ASSOCIATES  
P.O. Box 627, Salem St.  
OTTAWA, ON K1N 6H5

**ENGINEER:**  
ANDRÉS OTULLIÁN, VOLVERDEM LTD  
11 CONROPER SUITE 300  
OTTAWA, ON K2E 7J9

NO.	REVISION/ISSUE	DATE
4	REVISED SITE PLAN	10/14/21
3	REVISED SITE PLAN	06/09/21
2	REVISED SITE PLAN	01/20/21
1	PRELIMINARIES	02/10/21

PROJECT: **817 ROSEVIEW AVENUE**  
817 ROSEVIEW AVE.  
OTTAWA, ON K2B 8L3  
613-000-0000

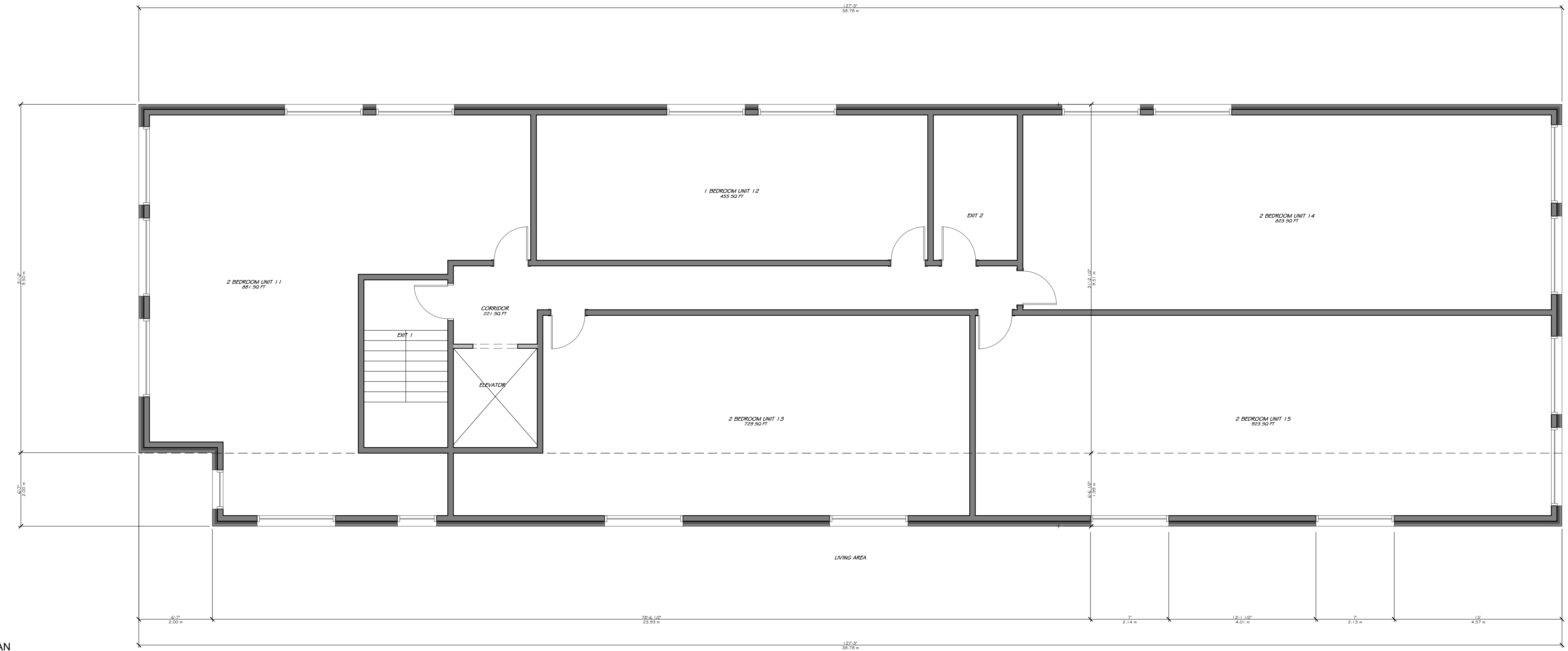
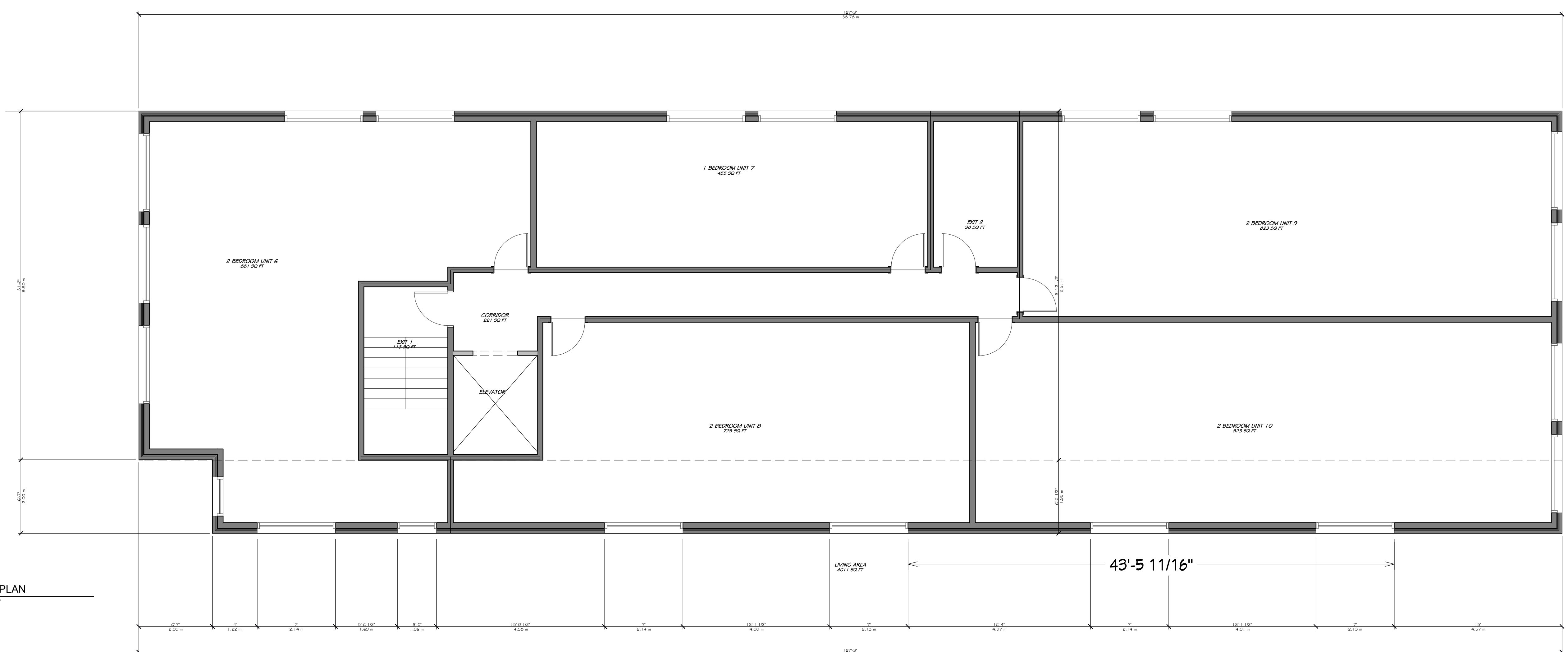
DRAWING NAME: **FLOOR PLANS**

DRAWN BY: F.M. SHEET: **A3**

DATE: FEB. 10, 2021

SCALE: AS NOTED

FILE NUMBER: 000-00-00-000



**817 ROSEVIEW AVENUE**  
SCOPE OF WORK: NEW 4 STOREY LOW RISE RENTAL BUILDING - 20 UNITS

**OWNER/DEVELOPER:**  
FARRELL DEVELOPMENT  
1000 SHEPPARD AVE. E. SUITE 100  
OTTAWA, ON K1H 1S6

**ARCHITECT/DESIGNER:**  
UNPOISED ARCHITECTURE INC./AZUL DESIGNS  
5-16 SWEETLAND AVE.  
OTTAWA, ON K1N 7T5

**APPLICATION NUMBER:**  
105P-COM-2021-001  
011-COM-ENGINEER OR SLUICE 300  
OTTAWA, ON K2B 9K2

**CIVIL ENGINEER:**  
ARCHITECTURE INC./AZUL DESIGNS  
5-16 SWEETLAND AVE.  
OTTAWA, ON K1N 7T5

**LANDSCAPING:**  
JOHN S. GILCHRIST INC.  
P.O. Box 6227, Station T  
OTTAWA, ON K1G 5H5

**STRUCTURAL:**  
ANDRUS, OTSULIKIAN, VOLLEBERG LTD.  
11 CONCORDE QUAY, SUITE 300  
OTTAWA, ON K2E 7J9

**CONSULTANTS:**  
STRUCTURAL, TRD  
MECHANICAL, TRD  
ELECTRICAL, TRD

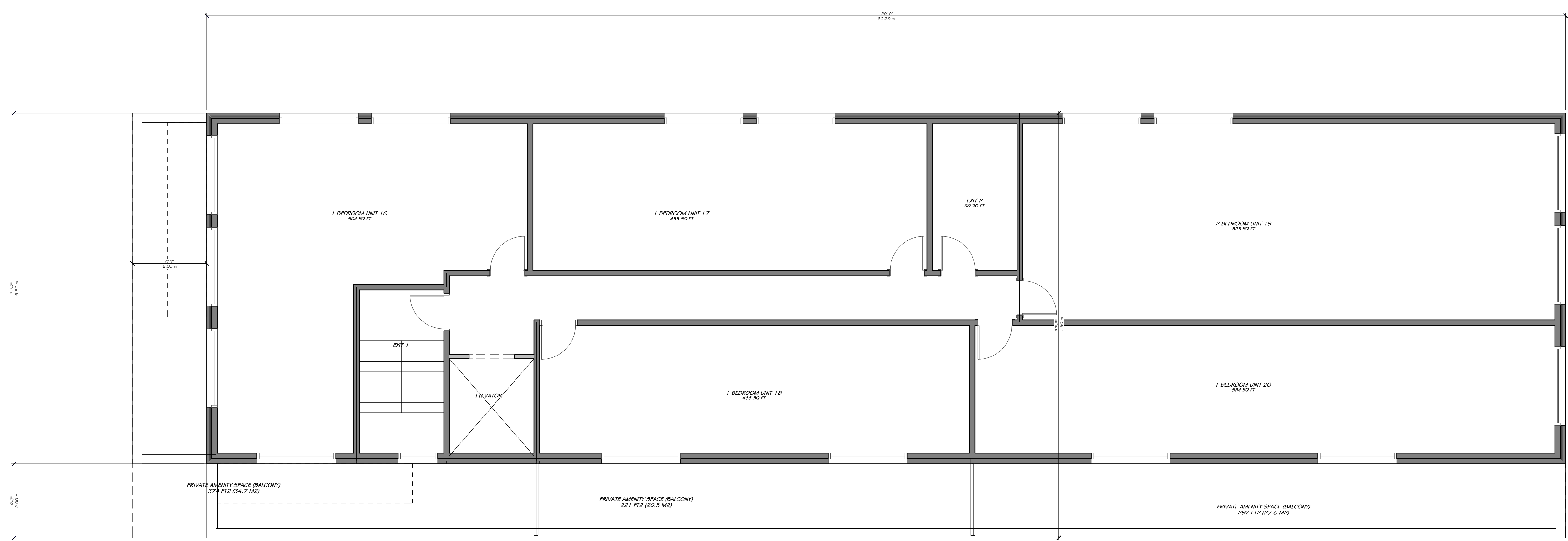
NO.	REVISION/ISSUE	DATE
4	REVISED SITE PLAN	10/14/21
3	REVISED SITE PLAN	06/09/21
2	REVISED SITE PLAN	01/10/21
1	PRELIMINARIES	02/10/21

PROJECT: **817 ROSEVIEW AVENUE**  
817 ROSEVIEW AVE.  
OTTAWA, ON K2B 8L3  
613-000-0000

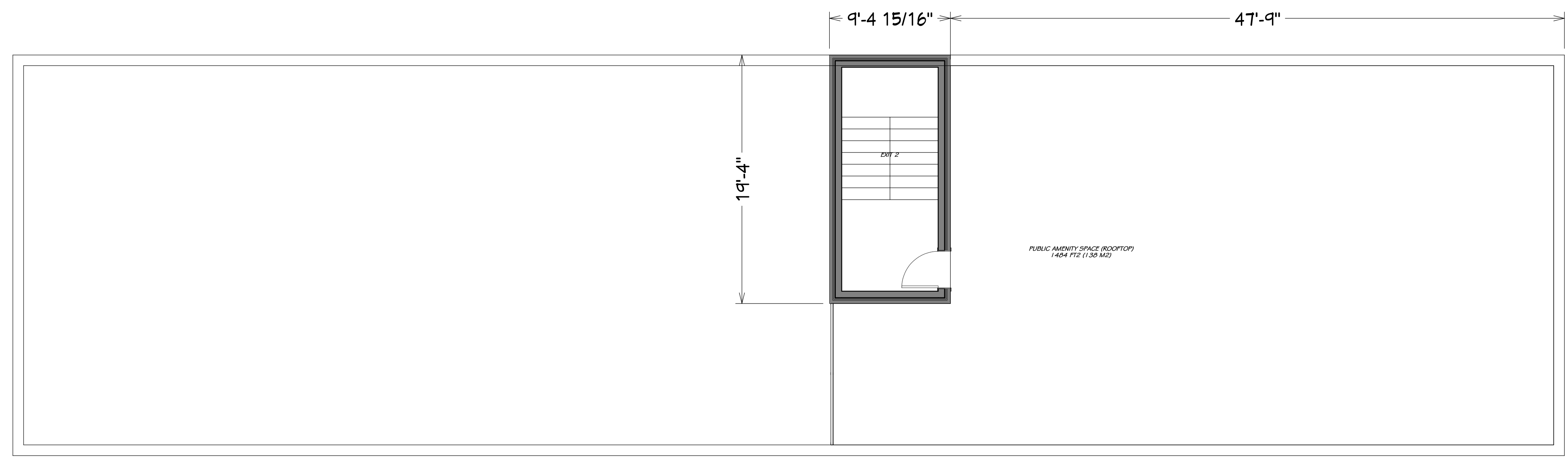
DRAWING NAME: **PLANS**

DRAWN BY: F.M. SHEET: **A4**  
DATE: FEB. 10, 2021  
SCALE: AS NOTED

FILE NUMBER: 000-00-0000

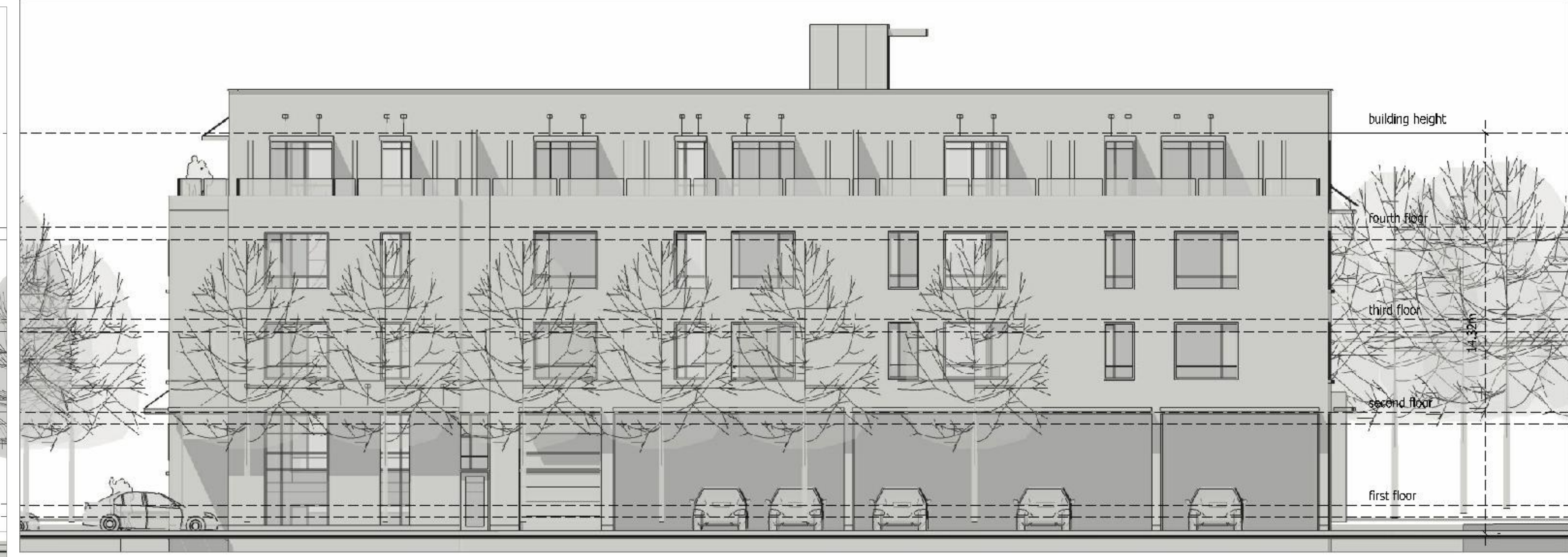


**1** FOURTH FLOOR PLAN  
SCALE 3/16" = 1'-0"



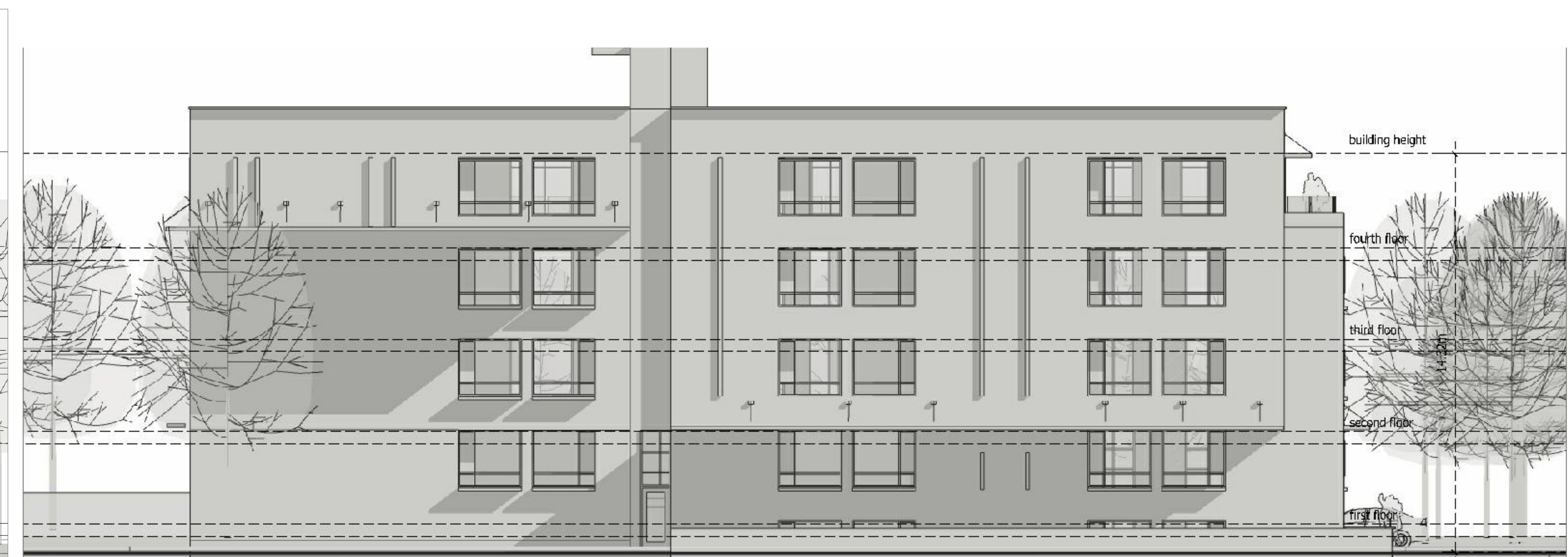
**2** ROOF PLAN  
SCALE 3/16" = 1'-0"





1 WEST ELEVATION  
A5 SCALE 1/8" = 1'-0"

2 SOUTH ELEVATION  
A5 SCALE 1/8" = 1'-0"



3 EAST ELEVATION  
A5 SCALE 1/8" = 1'-0"

4 NORTH ELEVATION  
A5 SCALE 1/8" = 1'-0"

**817 ROSEVIEW AVENUE**  
SCOPE OF WORK: NEW 4 STOREY LOW RISE  
RENTAL BUILDING - 20 UNITS

OWNER/DEVELOPER:  
FRANCO DEVELOPMENT  
1000 BROADVIEW AVE  
OTTAWA, ON  
K1K 5E6

ARCHITECT/DESIGNER:  
UNPOISED ARCHITECTURE INC./AZUL DESIGNS  
5-16 SWIFTLAND AVE.  
OTTAWA, ON

APPLICANT/OWNER:  
1000 BROADVIEW AVE SUITE 300  
OTTAWA, ON  
K1K 5E6

CIVIL ENGINEER:  
ARCHITECTURAL  
OTTAWA, ON  
K1H 3Q2

LANDSCAPING:  
JONES & ASSOCIATES  
P.O. Box 627, Station 17  
OTTAWA, ON

BUSINESS:  
ARND, OTSULMAN, VOLLEBERG LTD  
11 CONCORDE DRIVE SUITE 300  
OTTAWA, ON

NO.	REVISION/ISSUE	DATE
4	REVISED SITE PLAN	10/14/21
3	REVISED SITE PLAN	06/09/21
2	REVISED SITE PLAN	07/10/21
1	PRELIMINARY	02/10/21

PROJECT: **817 ROSEVIEW AVENUE**  
817 ROSEVIEW AVE.  
OTTAWA, ON K2B 8L3  
613-000-0000

DRAWING NAME: **ELEVATIONS**

DRAWN BY: F.M. SHEET: **A5**  
DATE: FEB. 10, 2021  
SCALE: AS NOTED

FILE NUMBER: D00-00-0000