

**1 SITE PLAN - MASTER PLAN**  
A1.02 | 1 : 500 (WHEN PLOTTED ON A1 SIZED SHEET)

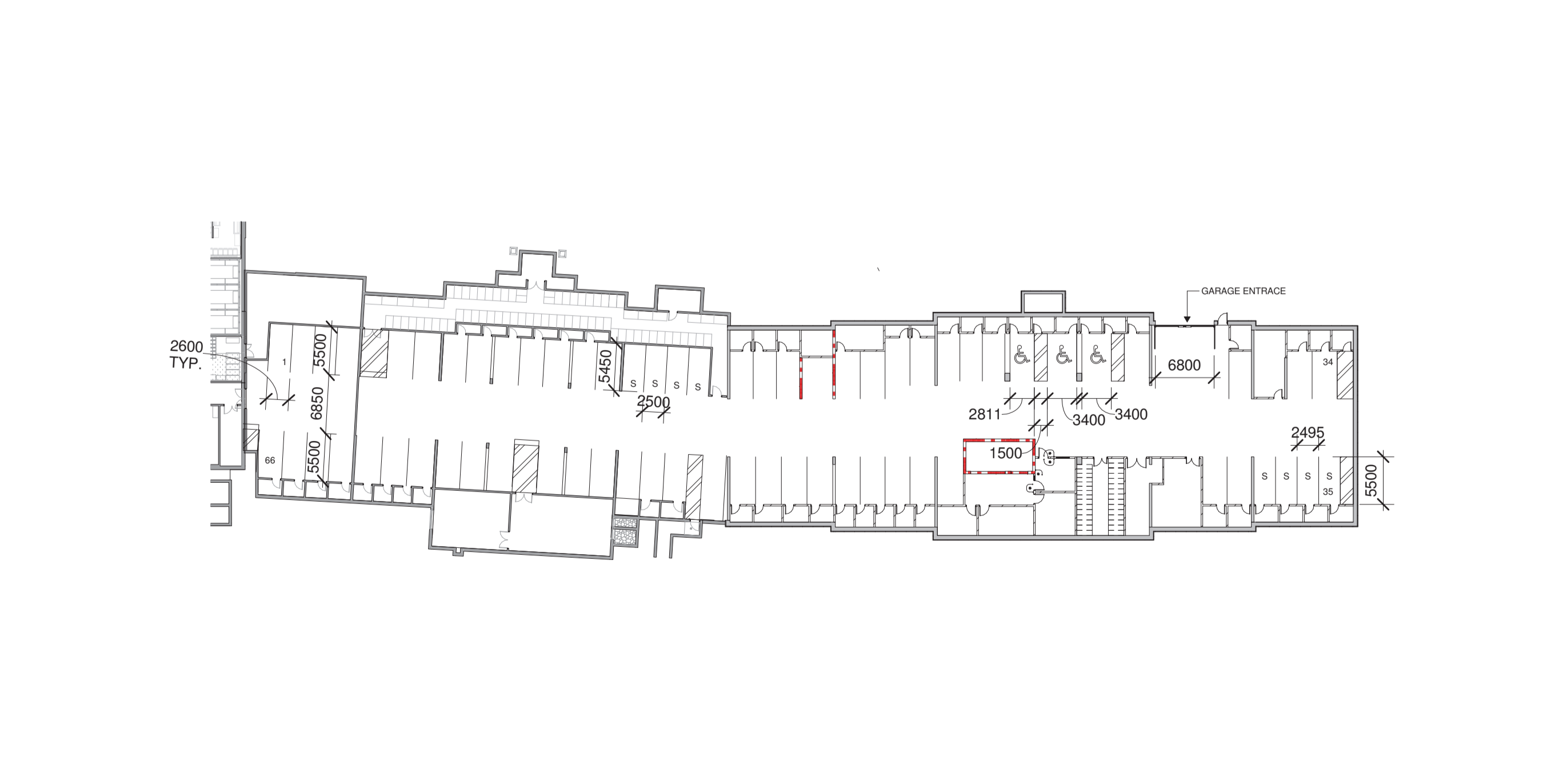
**SITE PLAN GENERAL NOTES:**

1. ALL GENERAL SITE INFORMATION AND CONDITIONS COMPILED FROM EXISTING PLANS AND SURVEYS
2. DO NOT SCALE THIS DRAWING
3. REPORT ANY DISCREPANCIES PRIOR TO COMMENCING WORK. NO RESPONSIBILITY IS BORNE BY THE CONSULTANT FOR UNKNOWN SUBSURFACE CONDITIONS
4. CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ANY ERRORS AND/OR OMISSIONS TO THE CONSULTANT
5. REINSTATE ALL AREAS AND ITEMS DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITIES TO THE SATISFACTION OF THE CONSULTANT
6. CONTRACTOR TO LAYOUT PLANTING BEDS, PATHWAYS ETC. TO APPROVAL OF CONSULTANT PRIOR TO ANY JOB EXCAVATION
7. THE ACCURACY OF THE POSITION OF UTILITIES IS NOT GUARANTEED - CONTRACTOR TO VERIFY PRIOR TO EXCAVATION
8. INDIVIDUAL UTILITY COMPANY MUST BE CONTACTED FOR CONFIRMATION OF UTILITY EXISTENCE AND LOCATION PRIOR TO DIGGING
9. ALL DISTURBED AREAS TO BE RESTORED TO ORIGINAL CONDITION OR BETTER UNLESS OTHERWISE NOTED
10. PHASE 1 LTC HOME SITE AREA = 11,100 sq m / 20,571 m<sup>2</sup> TOTAL = 54.0%

**SITE PLAN LEGEND:**

- EXISTING BUILDING TO REMAIN
- EXISTING GRASS/SOFT LANDSCAPE - REFER TO LANDSCAPE DRAWINGS
- EXISTING SIDEWALK
- EXISTING ASPHALT PAVING
- NEW ASPHALT PAVING
- NEW GRASS / SOFT LANDSCAPE - REFER TO LANDSCAPE DRAWINGS
- PROPOSED CONCRETE SIDEWALK
- AREA OF SERVICE RELOCATION
- CONCRETE PAD
- STONE DUST/SAND
- PEDESTRIAN CROSSWALK
- EXISTING PAVERS
- FIRE ROUTE
- OTHER ENTRANCE / EXIT
- SERVICE DOORS
- BUILDING MAIN ENTRANCE
- PROPERTY LINE
- FENCE - REFER TO LANDSCAPE PLANS
- RELOCATED UNDERGROUND SERVICES - REFER TO CIVIL FOR DETAILS
- LIMIT OF WORK
- BARRIER CURB & CURB DEPRESSION
- EXISTING LIGHT STANDARD
- EXISTING MANHOLE
- EXISTING UTILITY POLE
- EXISTING TRAFFIC LIGHT POLE
- EXISTING FIRE HYDRANT
- BASE DIAMETER
- EXISTING TREE TO REMAIN
- PROPOSED LIGHT STANDARD
- PROPOSED MANHOLE
- PROPOSED UTILITY POLE
- FIRE ROUTE SIGN
- PROPOSED FIRE HYDRANT
- SIAMESE CONNECTION

**2 PARKING LAYOUT**  
A1.02 | 1 : 500 (WHEN PLOTTED ON A1 SIZED SHEET)



**SITE PLAN LEGEND:**

- 1 EXISTING RAISED PEDESTRIAN LINK
- 2 POTENTIAL PEDESTRIAN LINK
- 3 LTC PORCH
- 4 STONE RETAINING WALL
- 5 NEW 1829mm HIGH CHAIN LINK FENCE
- 6 NEW 450mm THICK, 2135mm HIGH CONCRETE CRASH WALL
- 7 EXISTING BUS SHELTER
- 8 MINIMUM BUILDING SETBACK
- 9 END OF FUTURE BIKE LANE
- 10 3m LANDSCAPE BUFFER
- 11 LAY-BY
- 12 NOT IN USE
- 13 END OF FIRE ROUTE
- 14 FUTURE EXERCISE STATION. REFER TO LANDSCAPE PLAN
- 20 LOOKOUT
- 21 BICYCLE PARKING
- 22 RETAINING WALL
- 24 AREAWAY
- 25 GAZEBO
- 26 SHED
- 27 LOADING ZONE
- 28 OVERHANG ABOVE
- 29 HYDRO BOX
- 30 HEATED RAMP
- 31 SIGNAGE
- 32 EXISTING ROAD BARRIER
- 33 1100 mm HIGH GUARD
- 34 EXISTING UTILITY COVER AT SURFACE
- 35 ACCESS AISLE
- 36 EXISTING FIRE TRUCK TURNAROUND FACILITY
- 37 BOUNDARY OF LEASED PARCEL
- 38 EXISTING LOADING / GARBAGE AREA
- 39 SOD
- 40 NEW MULTI-USE PATHWAY, PAVEMENT MARKINGS PER FIGURE 4.19 OF THE OTM BOOK 18 PROVIDED.
- 41 EXISTING MULTI-USE PATHWAY
- 42 POND
- 43 DELIVERY TRUCK TURNAROUND FACILITY
- 44 SIAMESE CONNECTION
- 45 EXISTING ACCESS TO TRANSIT STATION
- 46 TACTILE WALKING SURFACE INDICATOR (TWSI) C/W DEPRESSED CURB
- 47 COMMUNICATIONS PULLBOX
- 48 1.6m HT FENCE WITH LOCKING GATE
- 49 STOP SIGN
- 50 MULTI-USE PATHWAY SIGNAGE (MUP)
- 51 NO BIKES SIGNAGE
- 52 AREA OF SERVICES RELOCATION
- 53 PARKLAND DEDICATION SEPARATION LINE
- 54 COMMON GARDEN
- 56 TACTILE WALKING SURFACE INDICATOR (TWSI)

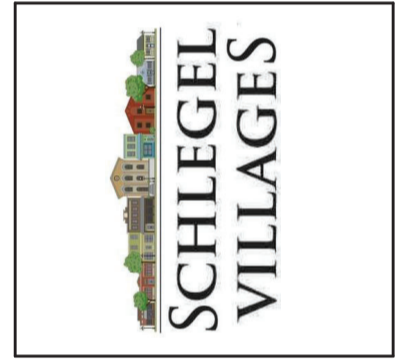
**APPROVED**  
By Lily Xu at 2:36 pm, Aug 04, 2023

*[Signature]*  
LILY XU, MCIP, RPP  
MANAGER, DEVELOPMENT REVIEW SOUTH  
PLANNING, INFRASTRUCTURE & ECONOMIC  
DEVELOPMENT DEPARTMENT, CITY OF OTTAWA



100-194 O'Connor St. Ottawa ON Canada K5C7  
P 613 564 8118  
www.csv.ca  
© 2021 CSV Architects Incorporated. All Rights Reserved.

**CSV ARCHITECTS**  
sustainable design - conception écologique  
ISSUED FOR REVIEW  
2023.01.18  
ISSUED FOR SITE PLAN CONTROL, RE-SUBMISSION  
2023.01.14  
ISSUED FOR COORDINATION  
2023.01.21



**SCHLEGEL VILLAGES OTTAWA**  
1915, 1967 RIVERSIDE DRIVE, OTTAWA, ONTARIO  
**MASTER PLAN**  
Project No.: 202090  
Drawn By: MM  
Plot Date: 2023-07-25 9:18:25 AM

**A1.02**