

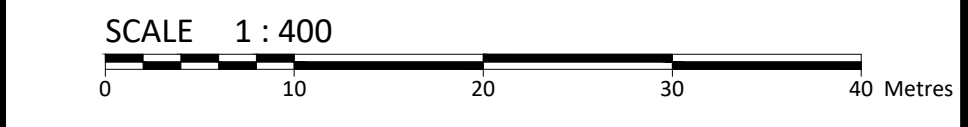
LEGEND

	PROPERTY LINE		CENTRELINE OF SWALE
	BARRIER CURB & CURB DEPRESSION		CENTRELINE OF DITCH
	PROPOSED ASPHALT		SLOPING AT 3:1 UNLESS SPECIFIED
	PROPOSED HEAVY DUTY ASPHALT		PROPOSED ELEVATION UNLESS OTHERWISE SPECIFIED
	CONCRETE WALKWAY		SWALE ELEVATION
	STORM MANHOLE		TOP/BOTTOM WALL FACE ELEVATIONS
	CATCHBASIN, CURB INLET OR DITCH INLET		EMERGENCY OVERLAND FLOW ROUTE
	LANDSCAPE CATCHBASIN		SILT FENCE BARRIER PER OPSD 219.110
	SANITARY MANHOLE		STRAW BALE CHECK DAM PER OPSD 219.180
	PERFORATED PIPE		INLET SEDIMENT CONTROL DEVICE
	WATER VALVE/CHAMBER		BUILDING ENTRANCE OVERHEAD DOOR
	PROPOSED FIRE HYDRANT PER CITY WIS & WIS		REDUCER
	WATER WELL LOCATION		SIAMESE CONNECTION
	PROPOSED BOLLARD		
	PROPOSED WALL		
	ROOF DRAIN AND SCUPPER LOCATION		

FOR REVIEW ONLY
NOT FOR CONSTRUCTION

3	ISSUED FOR REVIEW	DEC 20, 2022
2	ISSUED FOR REVIEW	APR 8, 2022
1	ISSUED FOR REVIEW	NOV 2, 2021
No.	Revisions	Date

Check and verify all dimensions before proceeding with the work. Do not scale drawings.



- GENERAL NOTES**
- THE ORIGINAL TOPOGRAPHY, GROUND ELEVATION AND SURVEY DATA SHOWN ARE SUPPLIED FOR INFORMATION PURPOSES ONLY, AND IMPLY NO GUARANTEE OF ACCURACY. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL INFORMATION SHOWN.
 - THIS PLAN IS NOT A CADASTRAL SURVEY SHOWING LEGAL PROPERTY BOUNDARIES AND EASEMENTS. THE PROPERTY BOUNDARIES SHOWN HEREON HAVE BEEN DERIVED FROM INFORMATION SUPPLIED BY (OR SHOWN ON) FAIRLY, SMITH & DUNS SURVEYING LTD., SURVEY PLAN #6339-20, DATED NOVEMBER 27, 2020 AND CANNOT BE RELIED UPON TO BE ACCURATE OR COMPLETE. THE PRECISE LOCATION OF THE CURRENT PROPERTY BOUNDARIES AND EASEMENTS CAN ONLY BE DETERMINED BY AN UP-TO-DATE AND TITLES SEARCH AND A SUBSEQUENT CADASTRAL SURVEY PERFORMED AND CERTIFIED BY AN ONTARIO LAND SURVEYOR.
 - THE CONTRACTOR IS TO OBTAIN AND PAY FOR ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY BEFORE COMMENCING CONSTRUCTION.
 - THE CONTRACTOR IS RESPONSIBLE FOR ALL LAYOUT.
 - THE CONTRACTOR IS TO DETERMINE THE EXACT LOCATION, SIZE, MATERIAL AND ELEVATION OF ALL EXISTING UTILITIES PRIOR TO COMMENCING CONSTRUCTION. PROTECT AND ASSUME ALL RESPONSIBILITY FOR EXISTING UTILITIES WHETHER OR NOT SHOWN ON THESE DRAWINGS. IF THERE IS ANY DISCREPANCY THE CONTRACTOR IS TO NOTIFY THE ENGINEER PROMPTLY.
 - RESTORE ALL TRENCHES AND SURFACES OF PUBLIC ROAD ALLOWANCES TO CONDITION EQUAL OR BETTER THAN ORIGINAL CONDITION AND TO THE SATISFACTION OF THE CITY AUTHORITIES.
 - EXCAVATE AND DISPOSE OF ALL EXCESS EXCAVATED MATERIAL, SUCH AS ASPHALT, CURBING AND DEBRIS, OFF SITE AS DIRECTED BY THE ENGINEER AND THE CITY.
 - TOPSOIL TO BE STRIPPED AND STOCKPILED FOR REHABILITATION. CLEAN FILL TO BE PLACED IN FILL AREAS AND COMPACTED TO 95% STANDARD PROCTOR DENSITY.
 - ALL DISTURBED AREAS TO BE RESTORED TO ORIGINAL CONDITION OR BETTER UNLESS OTHERWISE SPECIFIED.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SAFETY MEASURES DURING THE CONSTRUCTION PERIOD, INCLUDING THE SUPPLY, INSTALLATION, AND REMOVAL OF ALL NECESSARY SIGNAGE, DELINEATORS, MARKERS AND BARRIERS.
 - DO NOT ALTER GRADING OF THE SITE WITHOUT PRIOR APPROVAL OF THE CITY.
 - ALL ROADWAY, PARKING LOT, AND GRADING WORKS TO BE UNDERTAKEN IN ACCORDANCE WITH CITY STANDARDS AND SPECIFICATIONS. THE CONTRACTOR IS TO PROVIDE POSITIVE DRAINAGE AWAY FROM THE BUILDING.
 - CONTACT THE CITY FOR INSPECTION OF ROUGH GRADING OF PARKING LOTS, ROADWAYS AND LANDSCAPED AREAS PRIOR TO PLACEMENT OF ASPHALT AND TOPSOIL. ALL DEFICIENCIES NOTED SHALL BE RECTIFIED TO THE CITY SATISFACTION PRIOR TO PLACEMENT OF ANY ASPHALT, TOPSOIL, SEED & MULCH AND/OR SOD.
 - CONTACT THE CITY FOR INSPECTION OF ROUGH GRADING OF PARKING LOTS, ROADWAYS AND LANDSCAPED AREAS PRIOR TO PLACEMENT OF ASPHALT AND TOPSOIL. ALL DEFICIENCIES NOTED SHALL BE RECTIFIED TO THE CITY SATISFACTION PRIOR TO PLACEMENT OF ANY ASPHALT, TOPSOIL, SEED & MULCH AND/OR SOD.
 - ALL DIMENSIONS AND INVERTS MUST BE VERIFIED PRIOR TO CONSTRUCTION, IF THERE IS ANY DISCREPANCY THE CONTRACTOR IS TO NOTIFY THE ENGINEER PROMPTLY.
 - ELECTRICAL, GAS, TELEPHONE AND TELEVISION SERVICE LOCATIONS ARE SUBJECT TO THE INDIVIDUAL AGENCY:
 - ELECTRICAL SERVICE - HYDRO OTTAWA,
 - GAS SERVICE - ENBRIDGE,
 - TELEPHONE SERVICE - BELL CANADA,
 - TELEVISION SERVICE - ROGERS.
 - INSTALLATION TO BE IN ACCORDANCE WITH CURRENT CODES AND STANDARDS OF APPROVAL AGENCIES HYDRO OTTAWA, BELL AND THE CITY.
 - ALL PROPOSED CURB SHALL BE CONCRETE BARRIER CURB UNLESS SPECIFIED.
 - ALL EXISTING REDUNDANT PRIVATE APPROACHES FRONTING THIS DEVELOPMENT MUST BE REMOVED TO THE SATISFACTION OF THE CITY.
 - NO EXCESS DRAINAGE, EITHER DURING OR AFTER CONSTRUCTION, IS TO BE DIRECTED TOWARDS NEIGHBORING PROPERTIES.
 - NO ALTERATION OF EXISTING GRADES AND DRAINAGE PATTERNS ON PROPERTY BOUNDARIES.
 - THIS PLAN MUST BE READ IN CONJUNCTION WITH THE GEOTECHNICAL REPORT COMPLETED BY PATERSON GROUP AND DATED JULY 18, 2022.

MAINTENANCE HOLE BENCHING AND PIPE OPENING ALTERNATIVES

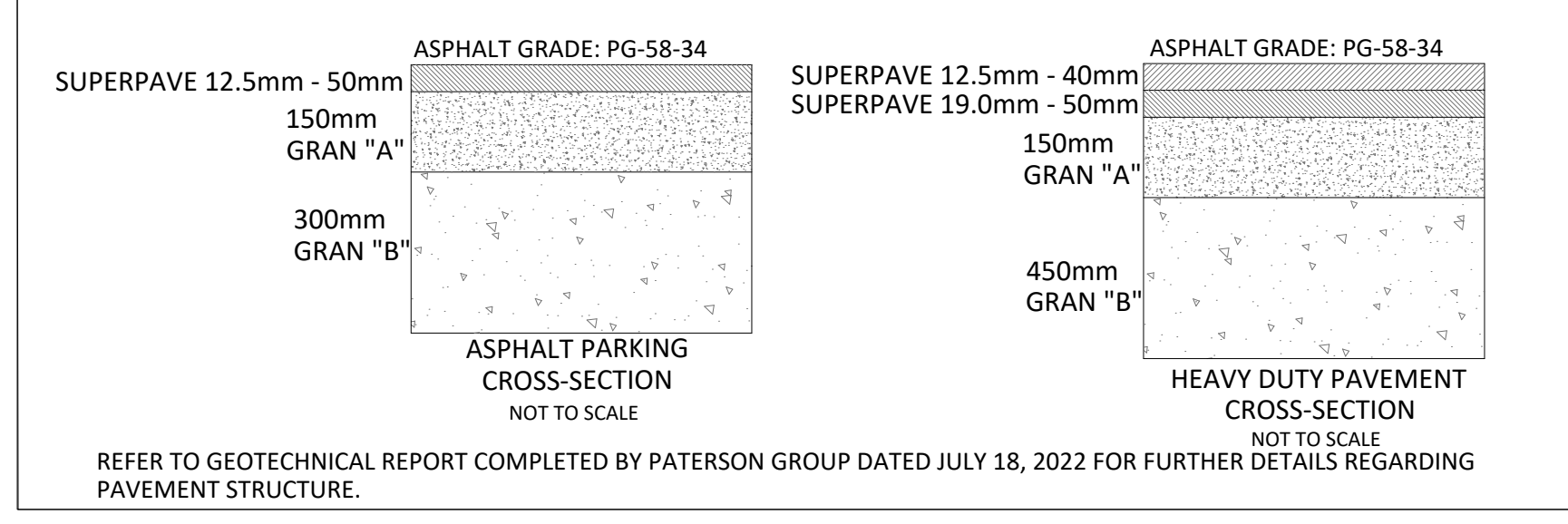
Maintenance Hole Diameter	No. 1-4	No. 5 and 6	No. 8	No. 7	
				Inlet Hole	Outlet Hole
1200	700	860	780	700	860
1500	860	1220	960	860	1170
1800	1220	1485	1220	1220	1485
2400	1485	2020	1760	1485	2020
3000	1930	2450	2300	1930	2450
3600	2470	3085	2730	2470	3085

NOTES:

- 1 Slopes shall be maintained from the outlet hole opening for top of benching.
- A Concrete for benching shall be 30Mpa.
- B When benching is hand-finished, it shall be given wood float finish, channel shall be given steel trowel finish.
- C Benchings slope and height shall be as specified.
- D When specified, maintenance holes that are 1200mm in diameter with a uniform channel for 200 or 250mm pipe may be pre-benched at the manufacturer with standardized benching slope and channel orientation.
- E All dimensions are in millimetres.
- F All dimensions are in millimetres unless otherwise shown.

ONTARIO PROVINCIAL STANDARD DRAWING Nov 2014 Rev 4

OPSD 701.021



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Client: **RBJ SCHLEGEL HOLDINGS**
325 MAX BECKER DRIVE SUITE 201
KITCHENER, ON N2E 4H5

Project: **SCHLEGEL VILLAGES OTTAWA**
1919 RIVERSIDE DRIVE

Drawing Title: **SITE GRADING AND DRAINAGE PLAN**

Scale: 1:400 Project Number: CCO-21-2955

Drawn By: R.R.R. Drawing Number: C101

Checked By: A.J.G.

Designed By: A.J.G.

FILENAME: I:\C:\Users\A1\OneDrive - Paterson Group\Documents\Projects\CCO-21-2955\Drawings\Site\Site Grading and Drainage\Site Grading and Drainage.dwg
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