

No.	Date:	Issue/Revision	By:
6	22/08/17	Issued for SPA Re-Submission	AB
5	22/04/05	Issued for SPA Re-Submission	AB
4	21/11/16	Issued for Brand 25% Re-Submission	AB
3	21/10/08	Issued for Brand 25% Re-Submission	AB
2	21/07/23	Issued for Brand 25% Submission	AB
1	20/09/24	Issued for brand review	MO

No.	Date:	Issue/Revision	By:
6	22/08/17	Issued for SPA Re-Submission	AB
5	22/04/05	Issued for SPA Re-Submission	AB
4	21/11/16	Issued for Brand 25% Re-Submission	AB
3	21/10/08	Issued for Brand 25% Re-Submission	AB
2	21/07/23	Issued for Brand 25% Submission	AB
1	20/09/24	Issued for brand review	MO

Note:
ALL DIMENSIONS AND INFORMATION SHOWN ON THESE DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE AND ANY DISCREPANCIES REPORTED TO THE ARCHITECT PRIOR TO CONSTRUCTION AND FABRICATION OF ITS COMPONENTS. SHOULD EXISTING CONDITIONS OR SERVICES BE FOUND TO VARY FROM THAT INDICATED ON THE DRAWINGS, THE ARCHITECT MUST BE NOTIFIED IMMEDIATELY.

FEATURES OF CONSTRUCTION NOT FULLY SHOWN ARE ASSUMED TO BE THE SAME CHARACTER AS THOSE NOTED FOR SIMILAR CONDITIONS.

UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS, NO PROVISION HAS BEEN MADE IN THE DESIGN FOR CONDITIONS OCCURRING DURING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL NECESSARY BRACING, SHORINGS, SHEET PILING OR OTHER TEMPORARY SUPPORTS, TO SAFEGUARD ALL EXISTING OR ADJACENT STRUCTURES AFFECTED BY THIS WORK.

ALL DRAWINGS AND RELATED DOCUMENTS SHALL REMAIN THE PROPERTY AND COPYRIGHT OF MATAJ ARCHITECTS INC. USE LATEST REVISED DRAWINGS. DO NOT SCALE DRAWINGS.



Architect's Stamp
MATAJ ARCHITECTS
 INCORPORATED
 206-418 Incauville Shore Rd
 Oakville Ontario
 L6H 0X7
 1.905.281.4444

Project:
OTTAWA HOME2 DEVELOPMENT
 135 LUSK STREET, NEPEAN, ON
 Owner
 2441736 Ontario Inc.
 125 Lusk Street Ottawa, ON K2J 6E5
 Phone: 613-307-0412

Sheet Title:
OVERALL SITE PLAN

Design By: AM	Drawn By: AB	Approved By: EM
Scale: 1:300	Date: DEC 2020	Project No.: 20-022

Drawing No:
ASP-01
 City's Application Number D07-12-21-0201
 City's Plan Number: 18665

APPROVED
 By Lily Xu at 3:22 pm, Nov 01, 2022

LILY XU, MCIP, RPP
MANAGER, DEVELOPMENT REVIEW SOUTH
PLANNING, INFRASTRUCTURE & ECONOMIC
DEVELOPMENT DEPARTMENT, CITY OF OTTAWA

CREDIT NOTES:
 THIS SITEPLAN IS BASED UPON AND MUST BE READ IN CONJUNCTION WITH THE SURVEY FOR THIS PROPERTY. MATAJ ARCHITECTS ACCEPTS NO RESPONSIBILITY FOR THE ACCURACY, OR COMPLETENESS OF THE DATA SUPPLIED AND SUCH DATA IS NOT INCLUDED UNDER SEALS OF CERTIFICATION, IF ANY.

LEGAL LAND DESCRIPTION:
 BLOCK 8 IN SUBDIVISION OF PART OF LOT 20, CONCESSION 4 (RIDEAU FRONT) GEOGRAPHIC TOWNSHIP OF NEPEAN, CITY OF OTTAWA

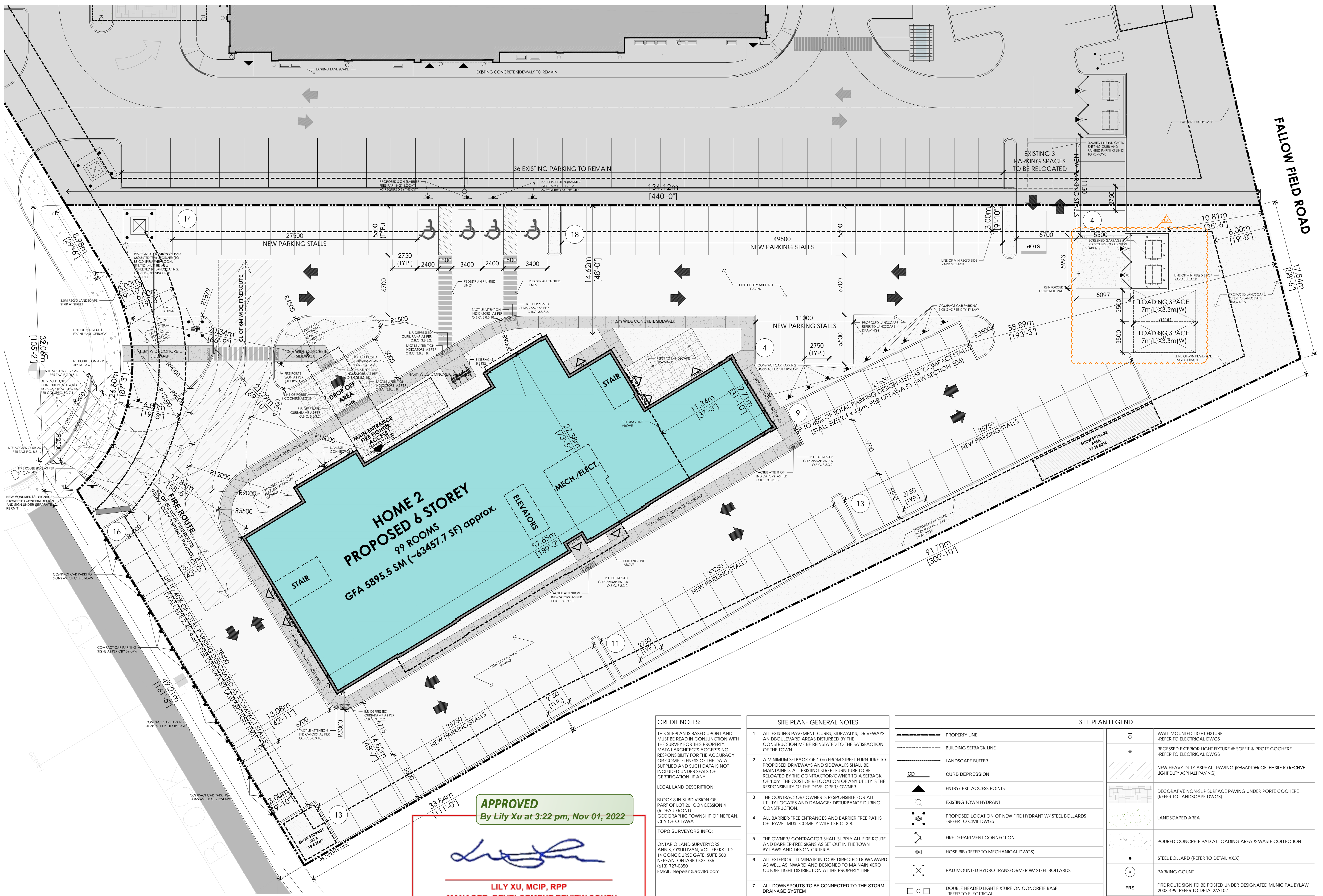
TOPO SURVEYORS INFO:
 ONTARIO LAND SURVEYORS ANNIS, O'SULLIVAN, VOLLEBEK LTD 14 CONCOURSE GATE, SUITE 500 NEPEAN, ONTARIO K2E 7S6 (613) 727-0850 EMAIL: nepean@oavtld.com

SITE PLAN - GENERAL NOTES

- 1 ALL EXISTING PAVEMENT, CURBS, SIDEWALKS, DRIVEWAYS AND DRIVEWAY AREAS DISTURBED BY THE CONSTRUCTION TO BE REINSTATED TO THE SATISFACTION OF THE TOWN
- 2 A MINIMUM SETBACK OF 1.0m FROM STREET FURNITURE TO PROPOSED DRIVEWAYS AND SIDEWALKS SHALL BE MAINTAINED. ALL EXISTING STREET FURNITURE TO BE RELOCATED BY THE CONTRACTOR/OWNER TO A SETBACK OF 1.0m. THE COST OF RELOCATION OF ANY UTILITY IS THE RESPONSIBILITY OF THE DEVELOPER/ OWNER
- 3 THE CONTRACTOR/ OWNER IS RESPONSIBLE FOR ALL UTILITY LOCATES AND DAMAGE/ DISTURBANCE DURING CONSTRUCTION.
- 4 ALL BARRIER-FREE ENTRANCES AND BARRIER FREE PATHS OF TRAVEL MUST COMPLY WITH O.B.C. 3.8.
- 5 THE OWNER/ CONTRACTOR SHALL SUPPLY ALL FIRE ROUTE AND BARRIER-FREE SIGNS AS SET OUT IN THE TOWN BY-LAWS AND DESIGN CRITERIA
- 6 ALL EXTERIOR ILLUMINATION TO BE DIRECTED DOWNWARD AS WELL AS INWARD AND DESIGNED TO MAINTAIN XERO CUTOFF LIGHT DISTRIBUTION AT THE PROPERTY LINE
- 7 ALL DOWNSPOUTS TO BE CONNECTED TO THE STORM DRAINAGE SYSTEM
- 8 ALL CONDENSING UNITS TO BE SCREENED ON THE GROUND FLOOR.
- 9 SEPARATE PERMITS ARE REQUIRED FOR ANY SIGNAGE ON THE PROPERTY
- 10 WHERE POSSIBLE TREES ARE TO BE PROTECTED FROM CONSTRUCTION

SITE PLAN LEGEND

	PROPERTY LINE		WALL MOUNTED LIGHT FIXTURE -REFER TO ELECTRICAL DWGS
	BUILDING SETBACK LINE		RECESSED EXTERIOR LIGHT FIXTURE □ SOFFIT □ PROTE COCHERE -REFER TO ELECTRICAL DWGS
	LANDSCAPE BUFFER		NEW HEAVY DUTY ASPHALT PAVING (REMAINDER OF THE SITE TO RECEIVE LIGHT DUTY ASPHALT PAVING)
	CURB DEPRESSION		DECORATIVE NON-SLIP SURFACE PAVING UNDER PORTE COCHERE (REFER TO LANDSCAPE DWGS)
	ENTRY/ EXIT ACCESS POINTS		LANDSCAPED AREA
	EXISTING TOWN HYDRANT		POURED CONCRETE PAD AT LOADING AREA □ WASTE COLLECTION
	PROPOSED LOCATION OF NEW FIRE HYDRANT W/ STEEL BOLLARDS -REFER TO CIVIL DWGS		STEEL BOLLARD (REFER TO DETAIL XXX)
	FIRE DEPARTMENT CONNECTION		PARKING COUNT
	HOSE BIB (REFER TO MECHANICAL DWGS)		FIRE ROUTE SIGN TO BE POSTED UNDER DESIGNATED MUNICIPAL BYLAW 2003-479. REFER TO DETAIL 2/A/102
	PAD MOUNTED HYDRO TRANSFORMER W/ STEEL BOLLARDS		PROPOSED GRADING (REFER TO CIVIL DWGS)
	DOUBLE HEADED LIGHT FIXTURE ON CONCRETE BASE -REFER TO ELECTRICAL		CONDENSING UNIT ON 4" CONCRETE PAD (REFER TO MECH DWGS)
	SINGLE HEADED LIGHT FIXTURE ON CONCRETE BASE -REFER TO ELECTRICAL DWGS		SNOW STORAGE AREA (OWNER TO TAKE NECESSARY PRECAUTIONS W/ SHOW REMOVAL COMPANY TO ADDRESS SLOPED CONDITION AT SOUTH END OF SITE)
	SINGLE HEADED LIGHT FIXTURE ON CONCRETE BASE W/ ELECTRICAL -REFER TO ELECTRICAL DWGS		



Project North: True North:

Key Plan:

No.	Date:	Issue/Revision	By:
6	22/08/17	Issued for SPA Re-Submission	AB
5	22/04/05	Issued for SPA Re-Submission	AB
4	21/11/16	Issued for Brand 25% Re-Submission	AB
3	21/10/08	Issued for Brand 25% Re-Submission	AB
2	21/07/23	Issued for Brand 25% Submission	AB
1	20/09/24	Issued for brand review	MO

Drawing Issues/Revisions:

Note:
ALL DIMENSIONS AND INFORMATION SHOWN ON THESE DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE AND ANY DISCREPANCIES REPORTED TO THE ARCHITECT PRIOR TO CONSTRUCTION AND FABRICATION OF ITS COMPONENTS. SHOULD EXISTING CONDITIONS OR SERVICES BE FOUND TO VARY FROM THAT INDICATED ON THE DRAWINGS, THE ARCHITECT MUST BE NOTIFIED IMMEDIATELY.

FEATURES OF CONSTRUCTION NOT FULLY SHOWN ARE ASSUMED TO BE THE SAME CHARACTER AS THOSE NOTED FOR SIMILAR CONDITIONS.

UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS, NO PROVISION HAS BEEN MADE IN THE DESIGN FOR CONDITIONS OCCURRING DURING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL NECESSARY BRACING, SHORINGS, SHEET PILING OR OTHER TEMPORARY SUPPORTS, TO SAFEGUARD ALL EXISTING OR ADJACENT STRUCTURES AFFECTED BY THIS WORK.

ALL DRAWINGS AND RELATED DOCUMENTS SHALL REMAIN THE PROPERTY AND COPYRIGHT OF MATAJ ARCHITECTS INC. USE LATEST REVISED DRAWINGS. DO NOT SCALE DRAWINGS.

Architect's Stamp

MATAJ ARCHITECTS
INCORPORATED

206-418 Inglewood Shore Rd
Oakville Ontario
L6H 0X7
1.905.281.4444

Project:
OTTAWA HOME2 DEVELOPMENT
135 LUSK STREET, NEPEAN, ON

Owner:
2441736 Ontario Inc.
125 Lusk Street Ottawa, ON K2J 655
Phone: 613-307-0412

Sheet Title:
ENLARGED SITE PLAN

Design By: AM	Drawn By: AB	Approved By: EM
Scale: 1:200	Date: DEC 2020	Project No.: 20-022

Drawing No.: **ASP-02**

City's Application Number D07-12-21-0201
City's Plan Number: 18665

CREDIT NOTES:
THIS SITE PLAN IS BASED UPON AND MUST BE READ IN CONJUNCTION WITH THE SURVEY FOR THIS PROPERTY. MATAJ ARCHITECTS ACCEPTS NO RESPONSIBILITY FOR THE ACCURACY, OR COMPLETENESS OF THE DATA SUPPLIED AND SUCH DATA IS NOT INCLUDED UNDER SEALS OF CERTIFICATION, IF ANY.

LEGAL LAND DESCRIPTION:
BLOCK 8 IN SUBDIVISION OF PART OF LOT 20, CONVESSION 4 (RIDEAU FRONT) GEOGRAPHIC TOWNSHIP OF NEPEAN, CITY OF OTTAWA

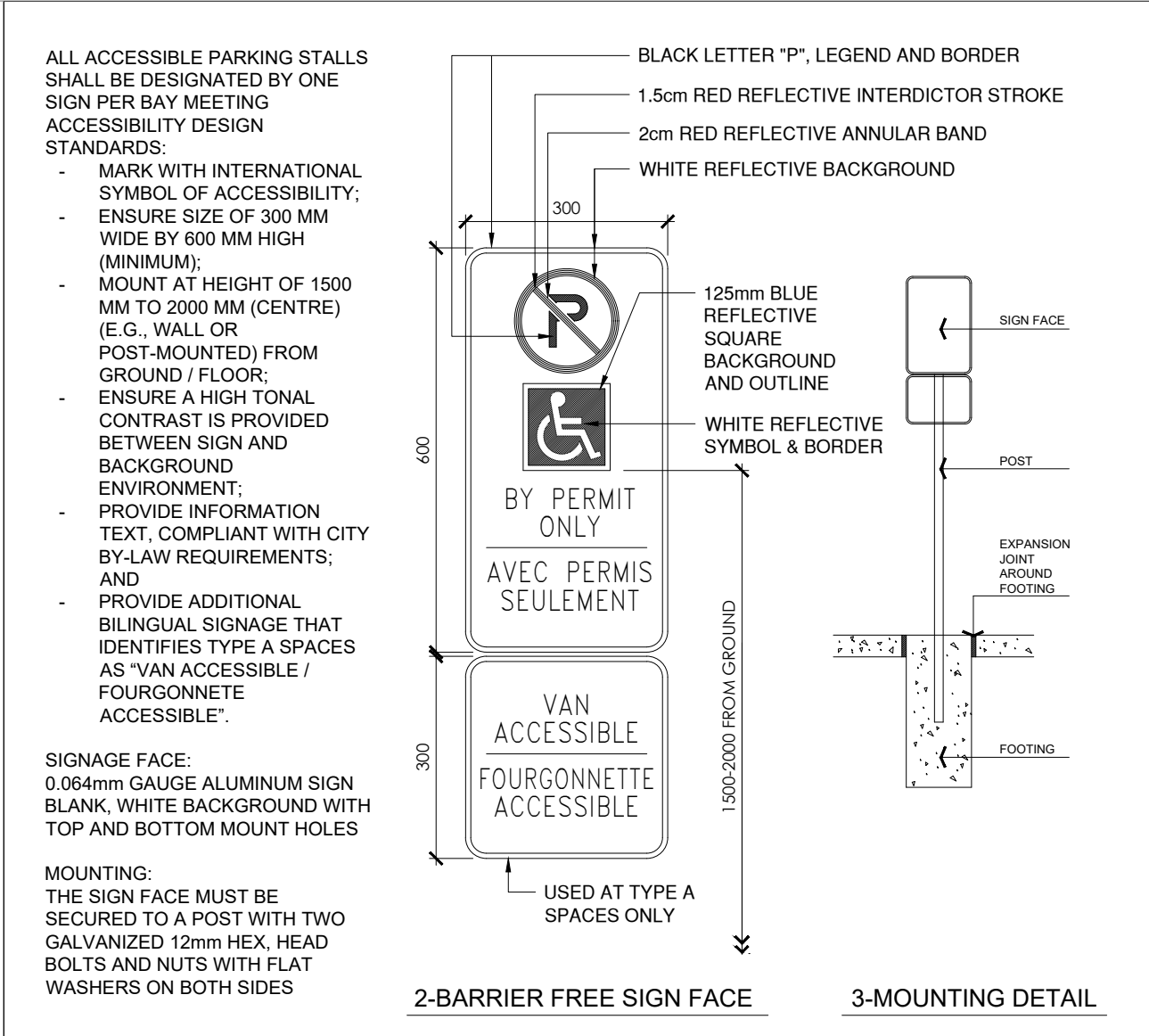
TOPO SURVEYORS INFO:
ONTARIO LAND SURVEYORS
ANNIS, O'SULLIVAN, VOLLEBECK LTD
14 CONCOURSE GATE, SUITE 500
NEPEAN, ONTARIO K2E 756
(613) 727-0850
EMAIL: Nepean@aovtld.com

SITE PLAN- GENERAL NOTES

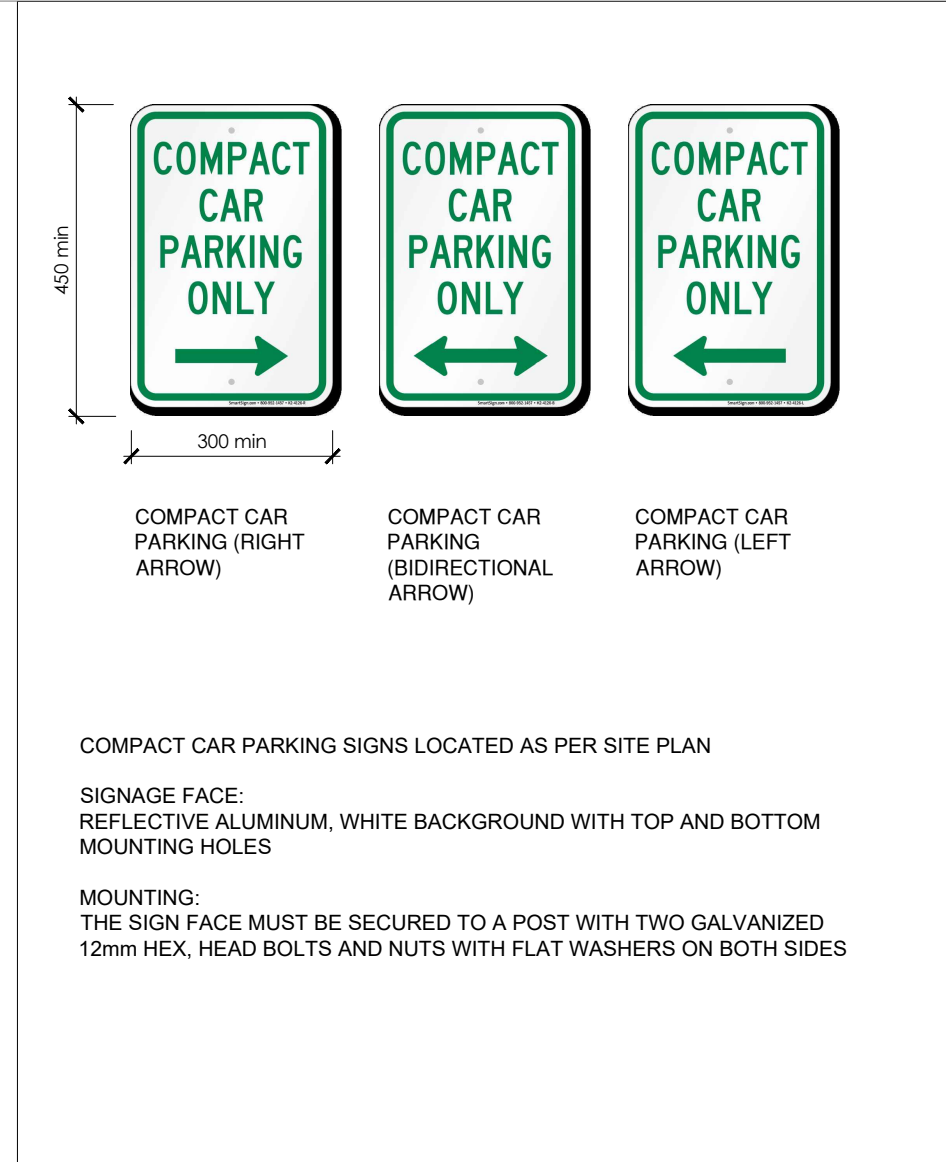
- ALL EXISTING PAVEMENT, CURBS, SIDEWALKS, DRIVEWAYS AND DRIVEWAY AREAS DISTURBED BY THE CONSTRUCTION MUST BE RESTORED TO THE SATISFACTION OF THE TOWN.
- A MINIMUM SETBACK OF 1.0m FROM STREET FURNITURE TO PROPOSED DRIVEWAYS AND SIDEWALKS SHALL BE MAINTAINED. ALL EXISTING STREET FURNITURE TO BE RELOCATED BY THE CONTRACTOR/OWNER TO A SETBACK OF 1.0m. THE COST OF RELOCATION OF ANY UTILITY IS THE RESPONSIBILITY OF THE DEVELOPER/ OWNER.
- THE CONTRACTOR/ OWNER IS RESPONSIBLE FOR ALL UTILITY LOCATES AND DAMAGE/ DISTURBANCE DURING CONSTRUCTION.
- ALL BARRIER-FREE ENTRANCES AND BARRIER FREE PATHS OF TRAVEL MUST COMPLY WITH O.B.C. 3.8.
- THE OWNER/ CONTRACTOR SHALL SUPPLY ALL FIRE ROUTE AND BARRIER-FREE SIGNS AS SET OUT IN THE TOWN BY-LAWS AND DESIGN CRITERIA.
- ALL EXTERIOR ILLUMINATION TO BE DIRECTED DOWNWARD AS WELL AS INWARD AND DESIGNED TO MAINTAIN XERO CUTOFF LIGHT DISTRIBUTION AT THE PROPERTY LINE.
- ALL DOWNSPOUTS TO BE CONNECTED TO THE STORM DRAINAGE SYSTEM.
- ALL CONDENSING UNITS TO BE SCREENED ON THE GROUND FLOOR.
- SEPARATE PERMITS ARE REQUIRED FOR ANY SIGNAGE ON THE PROPERTY.
- WHERE POSSIBLE TREES ARE TO BE PROTECTED FROM CONSTRUCTION.

SITE PLAN LEGEND

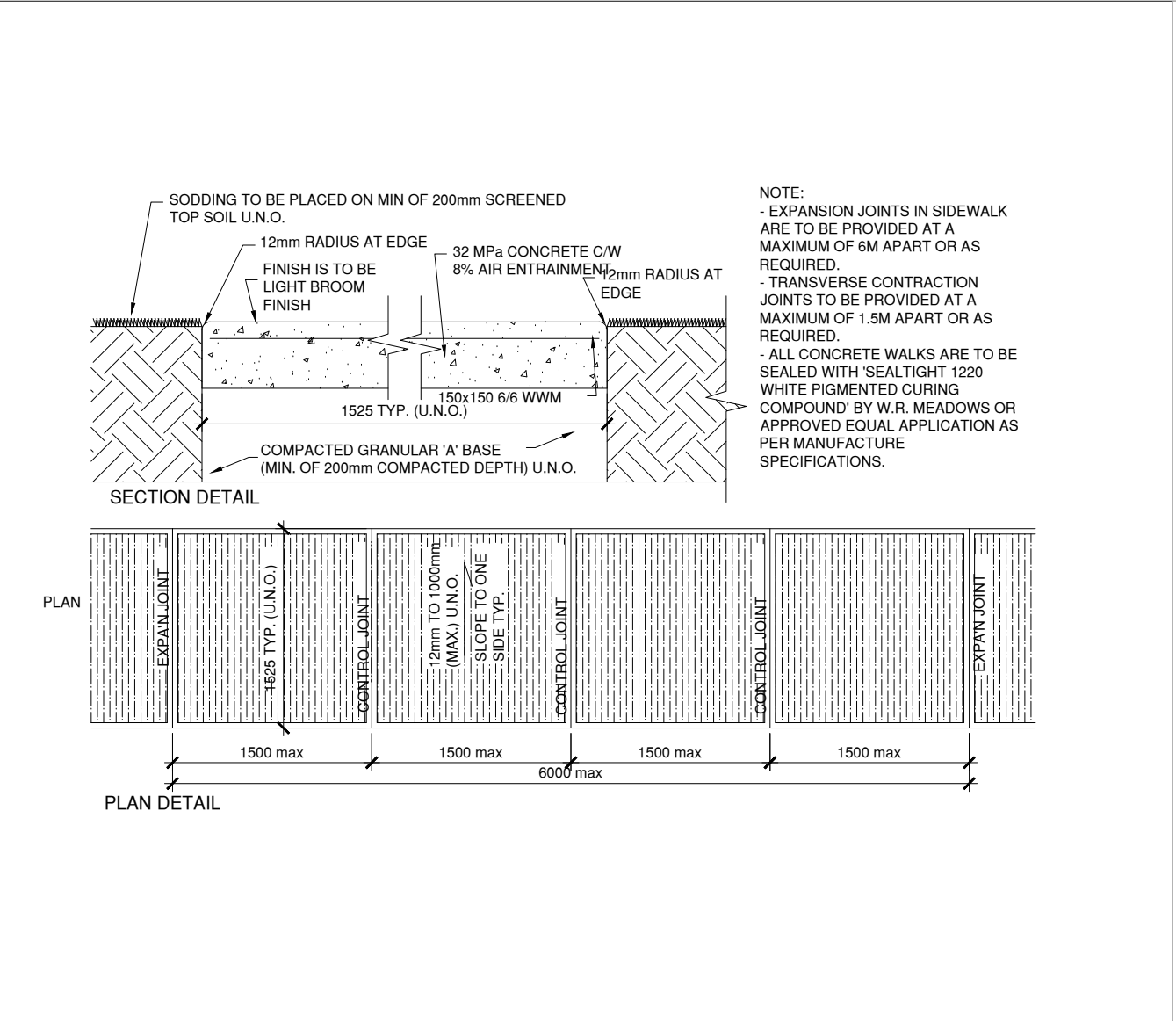
PROPERTY LINE	WALL MOUNTED LIGHT FIXTURE -REFER TO ELECTRICAL DWGS
BUILDING SETBACK LINE	RECESSED EXTERIOR LIGHT FIXTURE @ SOFFIT & PROTE COCHERE -REFER TO ELECTRICAL DWGS
LANDSCAPE BUFFER	NEW HEAVY DUTY ASPHALT PAVING (REMAINDER OF THE SITE TO RECEIVE LIGHT DUTY ASPHALT PAVING)
CD CURB DEPRESSION	DECORATIVE NON-SLIP SURFACE PAVING UNDER PORTE COCHERE (REFER TO LANDSCAPE DWGS)
ENTRY/ EXIT ACCESS POINTS	LANDSCAPED AREA
EXISTING TOWN HYDRANT	POURED CONCRETE PAD AT LOADING AREA & WASTE COLLECTION
PROPOSED LOCATION OF NEW FIRE HYDRANT W/ STEEL BOLLARDS -REFER TO CIVIL DWGS	STEEL BOLLARD (REFER TO DETAIL XX.X)
FIRE DEPARTMENT CONNECTION	PARKING COUNT
HOSE BIB (REFER TO MECHANICAL DWGS)	FRS FIRE ROUTE SIGN TO BE POSTED UNDER DESIGNATED MUNICIPAL BYLAW 2003-499. REFER TO DETAIL 21A/02
PAD MOUNTED HYDRO TRANSFORMER W/ STEEL BOLLARDS	PROPOSED GRADING (REFER TO CIVIL DWGS)
DOUBLE HEADED LIGHT FIXTURE ON CONCRETE BASE -REFER TO ELECTRICAL	CONDENSING UNIT ON 4" CONCRETE PAD (REFER TO MECH DWGS)
SINGLE HEADED LIGHT FIXTURE ON CONCRETE BASE -REFER TO ELECTRICAL DWGS	SNOW STORAGE AREA (OWNER TO TAKE NECESSARY PRECAUTIONS W/ SNOW REMOVAL COMPANY TO ADDRESS SLOPED CONDITION AT SOUTH END OF SITE)
SINGLE HEADED LIGHT FIXTURE ON CONCRETE BASE W/ ELECTRICAL -REFER TO ELECTRICAL DWGS	



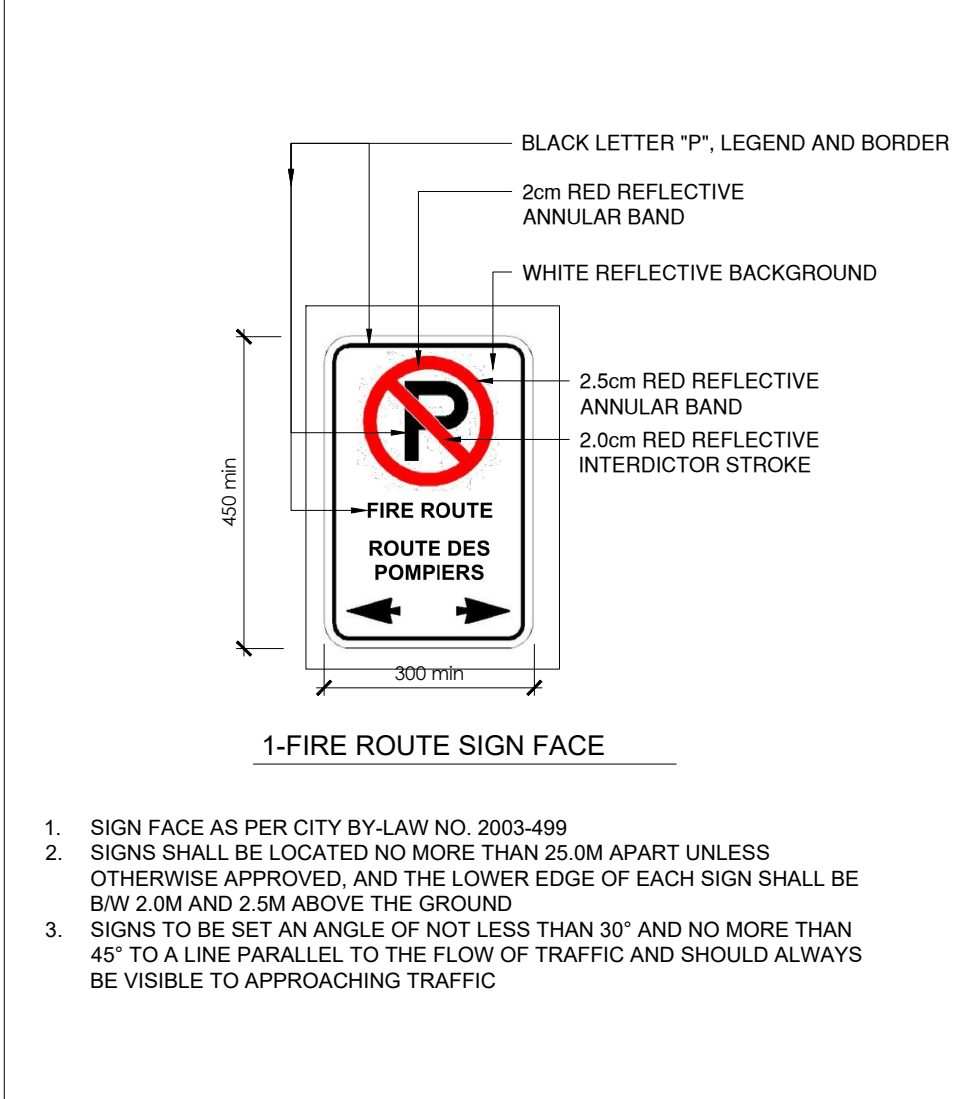
1 ASP-3 1:10 DETAIL - BF PARKING SIGN



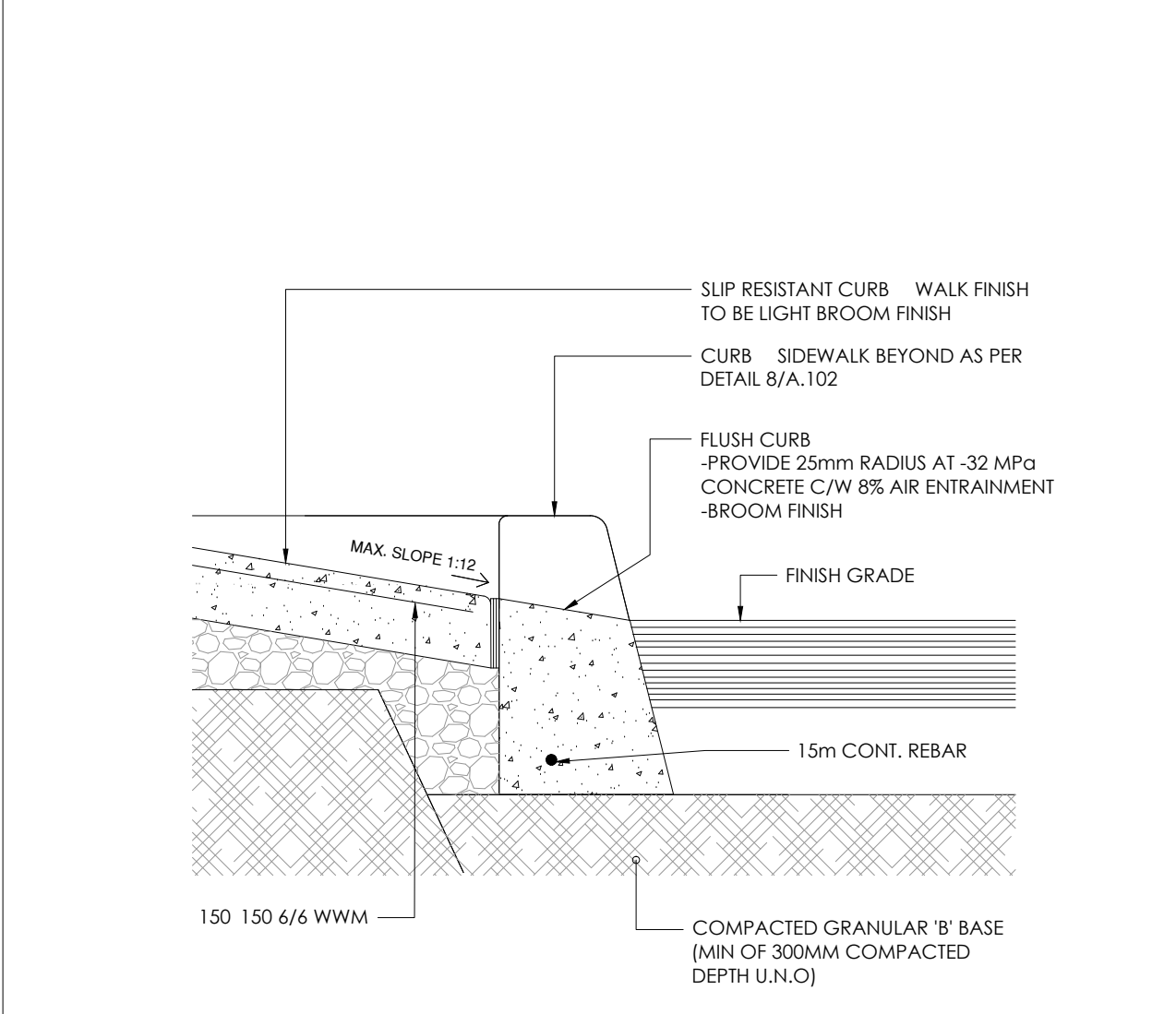
4 ASP-3 1:10 DETAIL - COMPACT CAR PARKING SIGN



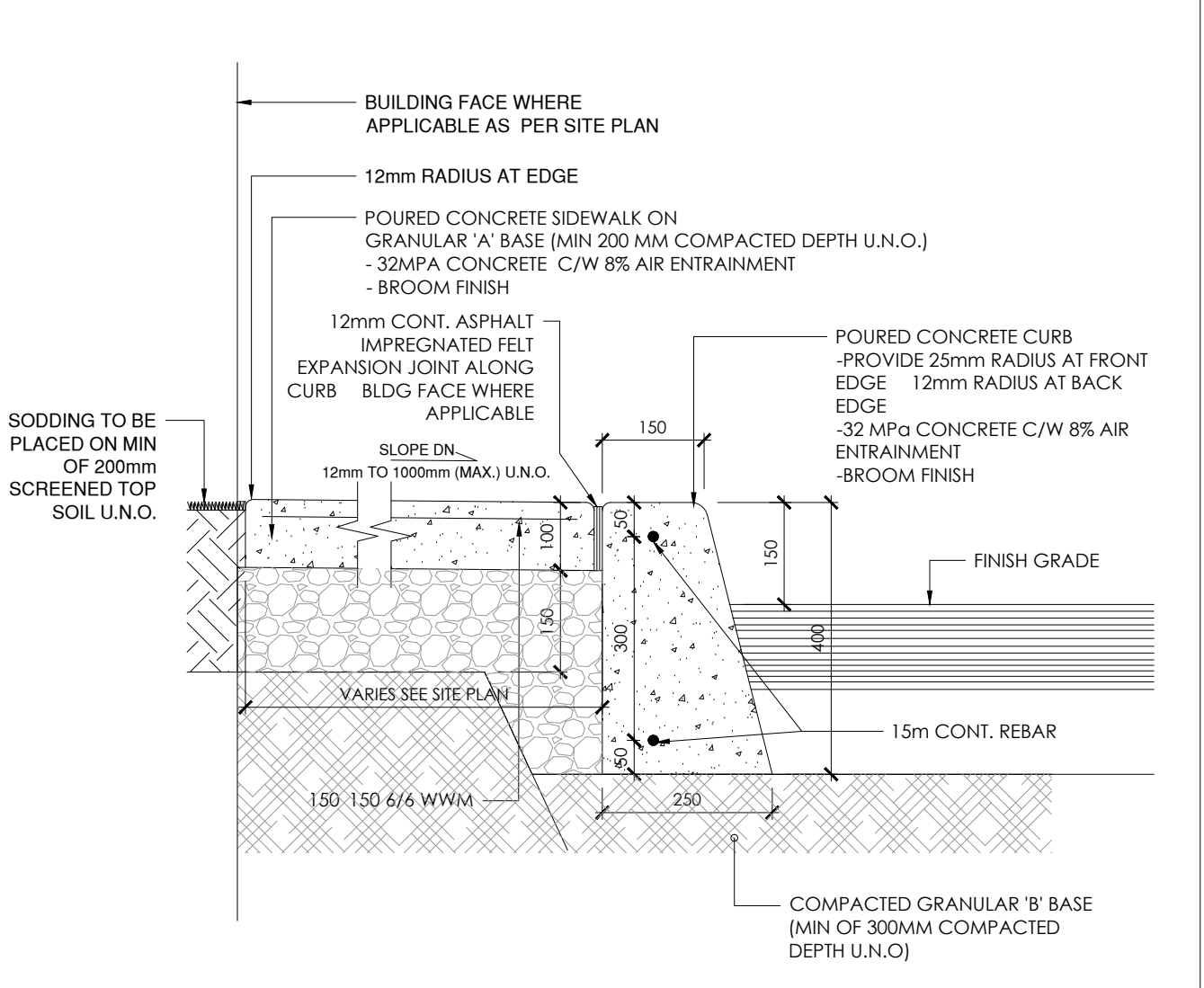
7 ASP-3 1:10 DETAIL - CONC SIDEWALK



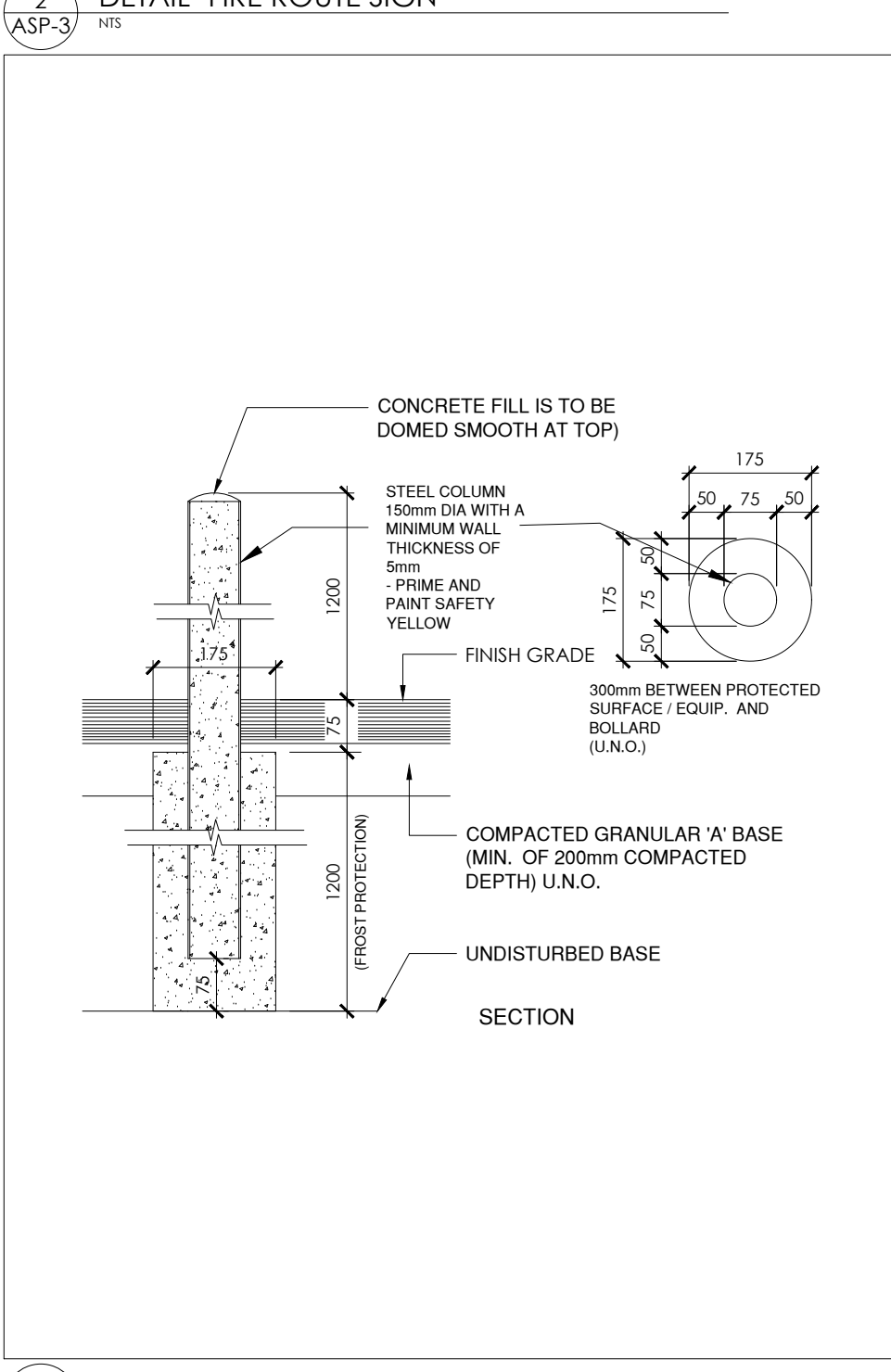
2 ASP-3 1:10 DETAIL - FIRE ROUTE SIGN



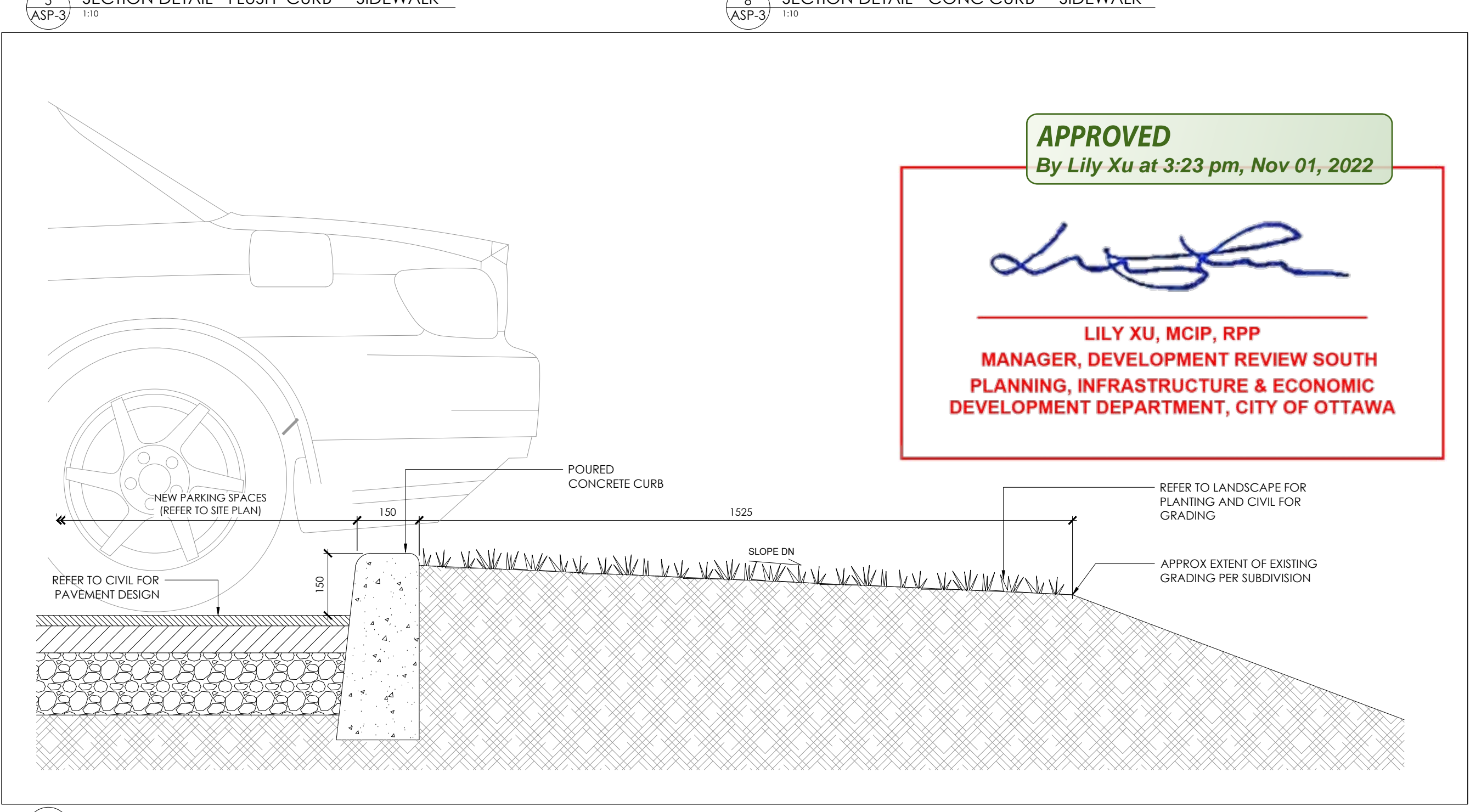
5 ASP-3 1:10 SECTION DETAIL - FLUSH CURB SIDEWALK



8 ASP-3 1:10 SECTION DETAIL - CONC CURB SIDEWALK



3 ASP-3 1:10 DETAIL - TYP BOLLARD



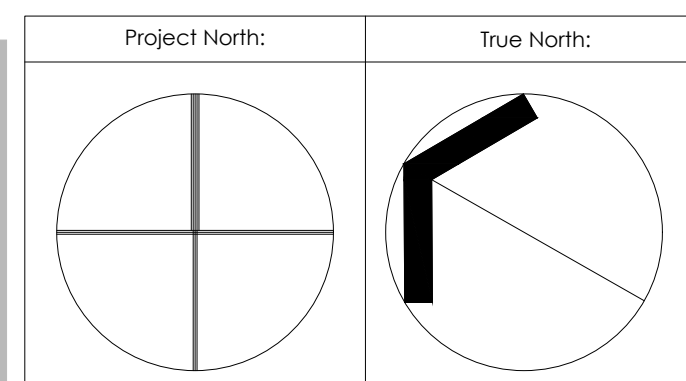
6 ASP-3 1:10 DETAIL - CURB AT PARKING

SITE STATISTICS				
ZONING	IP - BUSINESS PARK INDUSTRIAL			
	IP[2265]H[24]			
COVERAGE CALCULATIONS				
TOTAL SITE AREA	SM	SF	ACRES	%
BUILDING AREA (MAX LOT COVERAGE= 55%)	6,201.0	66,747	1.532	100.0%
ASPHALT PAVED AREA	3679.72	39,608	0.909	59.3%
LANDSCAPED AREA - INCL SIDEWALK AND PATIO	1459.68	15,712	0.361	23.5%
SETBACKS (TABLE 205-IP ZONE PROVISIONS)				
	MIN REQ'D (m)	PROVIDED (m)		
FRONT YARD	6.0	17.84		
REAR YARD	6.0	58.89		
INTERIOR SIDE	3.0	14.62		
INTERIOR SIDE	3.0	14.62		
INTERIOR SIDE	3.0	14.82		
WIDTH OF LANDSCAPE STRIP				
(ii) ABUTTING A STREET	3.0	3.0		
(iii) IN ALL OTHER CASES	NO MIN	VARIES		
HEIGHT OF BUILDING				
	MAX	PROVIDED		
MAX 22m (MEASURED TO T/O ROOF DECK)	22.0m	19.1		
MAX FLOOR SPACE INDEX (2)	2	0.95		
(TOTAL AREA OF EACH FLOOR)				
	SM	SF		
GROUND FLOOR	1061.6	11426.2		
SECOND FLOOR	966.8	10406.3		
THIRD FLOOR	966.8	10406.3		
FOURTH FLOOR	966.8	10406.3		
FIFTH FLOOR	966.8	10406.3		
SIXTH FLOOR	966.8	10406.3		
TOTAL GFA	5895.5	63457.7		
PARKING REQUIREMENTS (BASED ON TABLE 101; AREA "C" ON SCHEDULE 1A)				
	RMS/ GFA(m)	REQ'D	PROVIDED	
- SPACES @ 2.75W x 5.5L (per Brand requirement)				
- 25% of stalls are compact stalls (size at 2.4W x 4.6L per zoning standards)				
HOTEL: 1 SPACE PER GUEST UNIT				
RESTAURANT (10 PER 100sm OF GFA OF ASSEMBLY AREA)				
ROOMS:	99	99	99	
RESTAURANT:	0.0	0	0	
TOTAL NO. OF SPACES		99	99	
SPACES @ 2.4W x 4.6L (IDENTIFIED FOR SMALL CARS ONLY; MAX 40% OF TOTAL)		UP TO 40 STALLS	33	
ACCESSIBLE PARKING (CITY OF OTTAWA ACCESSIBILITY DESIGN STANDARDS)				
	REQ'D	PROVIDED		
76-100 PARKING SPACES, 4 ACCESSIBLE SPACES REQ'D	4	4		
TYPE A (VAN), MIN WIDTH=3400	2	2		
TYPE B, MIN WIDTH=2400	2	2		
BICYCLE PARKING (BASED ON TABLE 111A (g)&(h))				
	REQ'D	PROVIDED		
HOTEL = 1 PER 1000sm OF GFA	6	8		
ALL OTHER (ie. PLACE OF ASSEMBLY) = 1 PER 1500sm OF GFA	0	0		
DRIVEWAYS AND AISLE REQUIREMENTS (SECTION 107)				
	REQ'D (MIN)	PROVIDED		
TW O-WAY DRIVEWAY AY	6.7	6.7		
TW O-WAY PARKING AISLE	6.7	6.7		
LOADING REQUIREMENTS (SECTION 113)				
	REQ'D	PROVIDED		
(SIZE: 3.5W x 9.0L PARALLEL; 3.5W x 7.0 OTHER; 4.2M VERT CLR)				
ALL OTHER USES W / GFA FROM 2,000-4,999sqm	2	2		

9 ASP-3 1:10 SITE STATISTICS



10 ASP-3 1:15 SITE LOCATION



No.	Date:	Issue/Revision	By:
6	22/08/17	Issued for SPA Re-Submission	AB
5	22/04/05	Issued for SPA Re-Submission	AB
4	21/11/16	Issued for Brand 25% Submission	AB
3	21/10/08	Issued for Brand 25% Submission	AB
2	21/07/23	Issued for Brand 25% Submission	AB
1	20/09/24	Issued for brand review	MCJ

Drawing Issues/Revisions:

Note: ALL DIMENSIONS AND INFORMATION SHOWN ON THESE DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE AND ANY DISCREPANCIES REPORTED TO THE ARCHITECT PRIOR TO CONSTRUCTION AND FABRICATION OF ITS COMPONENTS. SHOULD EXISTING CONDITIONS OR SERVICES BE FOUND TO VARY FROM THAT INDICATED ON THE DRAWINGS, THE ARCHITECT MUST BE NOTIFIED IMMEDIATELY.

FEATURES OF CONSTRUCTION NOT FULLY SHOWN ARE ASSUMED TO BE THE SAME CHARACTER AS THOSE NOTED FOR SIMILAR CONDITIONS.

UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS, NO PROVISION HAS BEEN MADE IN THE DESIGN FOR CONDITIONS OCCURRING DURING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL NECESSARY BRACING, SHORINGS, SHEET PILING OR OTHER TEMPORARY SUPPORTS, TO SAFEGUARD ALL EXISTING OR ADJACENT STRUCTURES AFFECTED BY THIS WORK.

ALL DRAWINGS AND RELATED DOCUMENTS SHALL REMAIN THE PROPERTY AND COPYRIGHT OF MATAJ ARCHITECTS INC. USE LATEST REVISED DRAWINGS. DO NOT SCALE DRAWINGS.



Architect's Stamp

MATAJ ARCHITECTS INCORPORATED

206-418 Incaquois Shore Rd
Oakville Ontario
L6H 0X7
1.905.281.4444

Project:
OTTAWA HOME2 DEVELOPMENT
135 LUSK STREET, NEPEAN, ON

Owner:
2441736 Ontario Inc.
125 Lusk Street Ottawa, ON K2J 655
Phone: 613-307-0412

Sheet Title:
SITE DETAILS & SITE STATISTICS

Design By: AM Drawn By: AB Approved By: EM

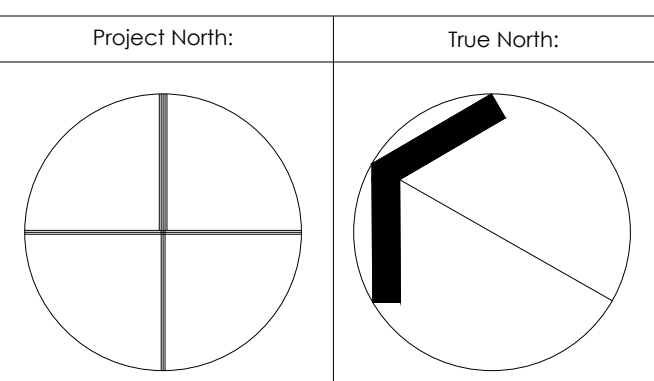
Scale: AS SHOWN Date: OCT 2020 Project No.: 20-022

Drawing No.:

ASP-3 Of:

City's Application Number D07-12-21-0201
City's Plan Number: 18665

Guestroom type	1st Flr	2nd Flr	3rd Flr	4th Flr	5th Flr	6th Flr	Mix(%)	Totals
King Studio	2	7	7	7	7	7	37%	37
King 1-Bedroom	1	1	1	1	1	1	6%	6
Wide King Studio	0	0	0	0	0	1	1%	1
Acc. King Studio	0	1	1	1	1	0	4%	4
Acc. King 1-Bedroom	1	0	0	0	0	0	1%	1
Double Queen Studio	0	9	9	9	9	9	45%	45
Acc. Queen Studio	0	1	1	1	1	1	5%	5
TOTAL	4	19	19	19	19	19	100%	99
TOTAL ACC. ROOMS	1	2	2	2	2	1	10%	10



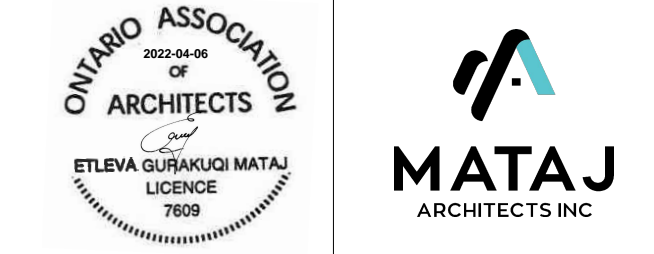
No.	Date	Issue/Revision	By:
6	22/04/05	Issued for SPA Re-Submission	AB
5	22/01/04	Issued for brand 25% Re-Submission	AB
4	21/11/16	Issued for brand 25% Re-Submission	AB
3	21/10/08	Issued for brand 25% Re-Submission	AB
2	21/07/23	Issued for brand 25% Submission	AB
1	20/09/24	Issued for brand review	MO

Note:
 ALL DIMENSIONS AND INFORMATION SHOWN ON THESE DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE AND ANY DISCREPANCIES REPORTED TO THE ARCHITECT PRIOR TO CONSTRUCTION AND FABRICATION OF ITS COMPONENTS. SHOULD EXISTING CONDITIONS OR SERVICES BE FOUND TO VARY FROM THAT INDICATED ON THE DRAWINGS, THE ARCHITECT MUST BE NOTIFIED IMMEDIATELY.

FEATURES OF CONSTRUCTION NOT FULLY SHOWN ARE ASSUMED TO BE THE SAME CHARACTER AS THOSE NOTED FOR SIMILAR CONDITIONS.

UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS, NO PROVISION HAS BEEN MADE IN THE DESIGN FOR CONDITIONS OCCURRING DURING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL NECESSARY BRACING, SHORINGS, SHEET PILING OR OTHER TEMPORARY SUPPORTS, TO SAFEGUARD ALL EXISTING OR ADJACENT STRUCTURES AFFECTED BY THIS WORK.

ALL DRAWINGS AND RELATED DOCUMENTS SHALL REMAIN THE PROPERTY AND COPYRIGHT OF MATAJ ARCHITECTS INC. USE LATEST REVISED DRAWINGS. DO NOT SCALE DRAWINGS.



Architect's Stamp
MATAJ ARCHITECTS
 INCORPORATED
 206-418 Incauville Shore Rd
 Oakville Ontario
 L6H 0X7
 1.905.227.1444

Project:
OTTAWA HOME2 DEVELOPMENT
135 LUSK STREET, NEPEAN, ON

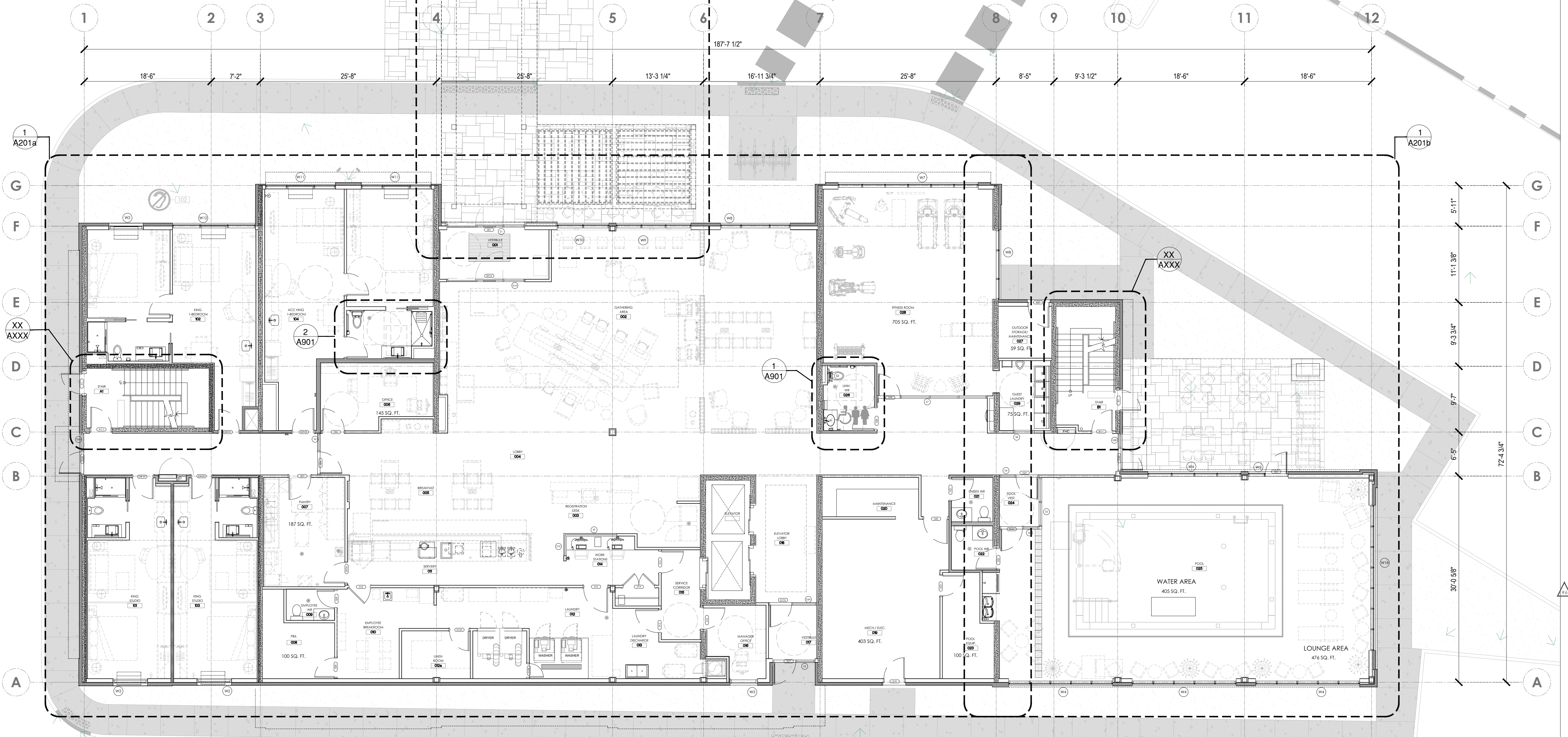
Owner:
 2441736 Ontario Inc.
 125 Lusk Street Ottawa, ON K2J 6S5
 Phone: 613-307-0412

Sheet Title:
GROUND FLOOR PLAN

Design By: AM	Drawn By: AB	Approved By: EM
Scale: 1/8" = 1'-0"	Date: JAN 2022	Project No.: 20-022

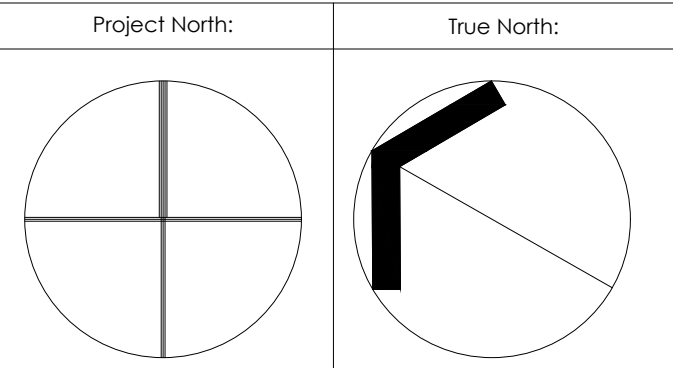
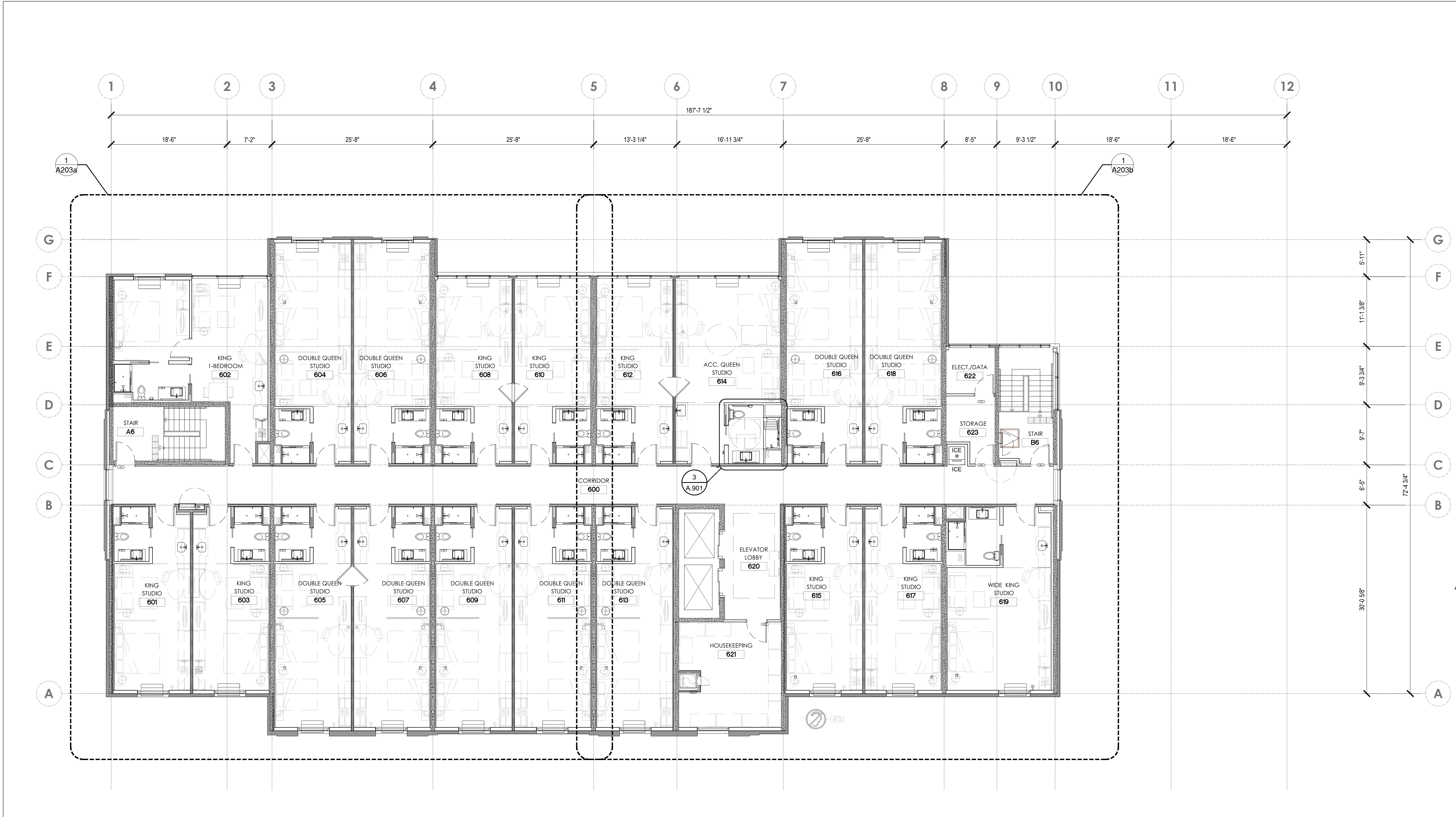
Drawing No:
A.201 Of:

City's Application Number D07-12-21-0201
 City's Plan Number: 18665



[Signature]
APPROVED
 By Lily Xu at 3:23 pm, Nov 01, 2022

LILY XU, MCIP, RPP
 MANAGER, DEVELOPMENT REVIEW SOUTH
 PLANNING, INFRASTRUCTURE & ECONOMIC
 DEVELOPMENT DEPARTMENT, CITY OF OTTAWA



No.	Date:	Issue/Revision	By:
6	22/04/05	Issued for SPA Re-Submission	AB
5	22/01/04	Issued for brand 25% Re-Submission	AB
4	21/11/16	Issued for brand 25% Re-Submission	AB
3	21/10/08	Issued for brand 25% Re-Submission	AB
2	21/07/23	Issued for brand 25% Submission	AB
1	20/09/24	Issued for brand review	MO

Drawing Issues/Revisions:

No.	Date:	Issue/Revision	By:

Note:
ALL DIMENSIONS AND INFORMATION SHOWN ON THESE DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE AND ANY DISCREPANCIES REPORTED TO THE ARCHITECT PRIOR TO CONSTRUCTION AND FABRICATION OF ITS COMPONENTS. SHOULD EXISTING CONDITIONS OR SERVICES BE FOUND TO VARY FROM THAT INDICATED ON THE DRAWINGS, THE ARCHITECT MUST BE NOTIFIED IMMEDIATELY.

FEATURES OF CONSTRUCTION NOT FULLY SHOWN ARE ASSUMED TO BE THE SAME CHARACTER AS THOSE NOTED FOR SIMILAR CONDITIONS.

UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS, NO PROVISION HAS BEEN MADE IN THE DESIGN FOR CONDITIONS OCCURRING DURING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL NECESSARY BRACING, SHORINGS, SHEET PILING OR OTHER TEMPORARY SUPPORTS, TO SAFEGUARD ALL EXISTING OR ADJACENT STRUCTURES AFFECTED BY THIS WORK.

ALL DRAWINGS AND RELATED DOCUMENTS SHALL REMAIN THE PROPERTY AND COPYRIGHT OF MATAJ ARCHITECTS INC. USE LATEST REVISED DRAWINGS. DO NOT SCALE DRAWINGS.



Architect's Stamp

MATAJ ARCHITECTS
INCORPORATED

204-418 Incauiss Shore Rd
Oakville Ontario
L6H 0X7
1.905.221.4444

Project:
OTTAWA HOME2 DEVELOPMENT
135 LUSK STREET, NEPEAN, ON

Owner:
2441736 Ontario Inc.
125 Lusk Street Ottawa, ON K2J 6S5
Phone: 613-307-0412

Sheet Title:
SIXTH FLOOR PLAN

Design By: AM	Drawn By: AB	Approved By: EM
Scale: 1/8" = 1'-0"	Date: JAN 2022	Project No.: 20-022

Drawing No:

A.203 Of:

City's Application Number D07-12-21-0201
City's Plan Number: 18665

1 A.203 SIXTH FLOOR PLAN
1/8" = 1'-0"

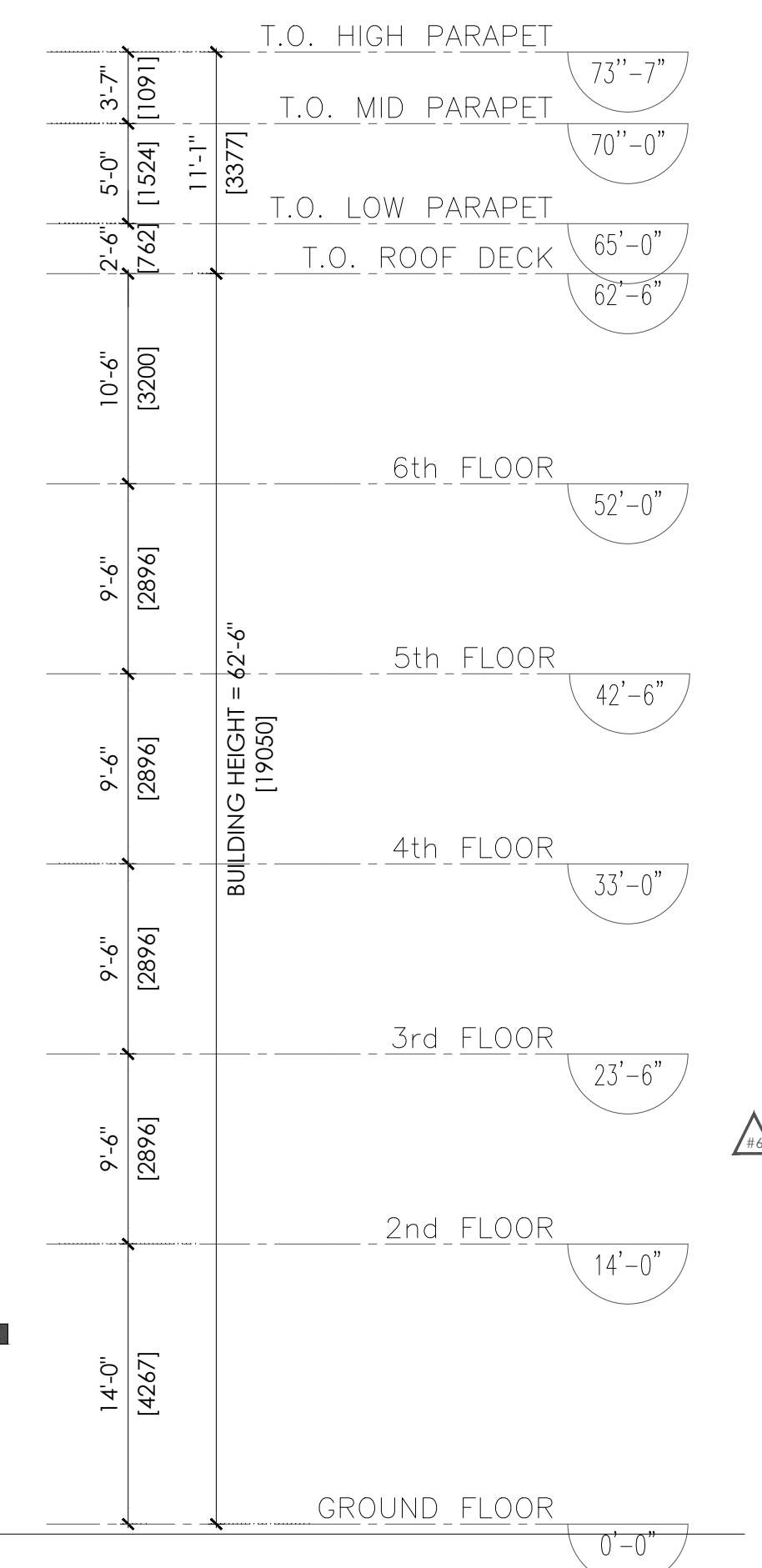
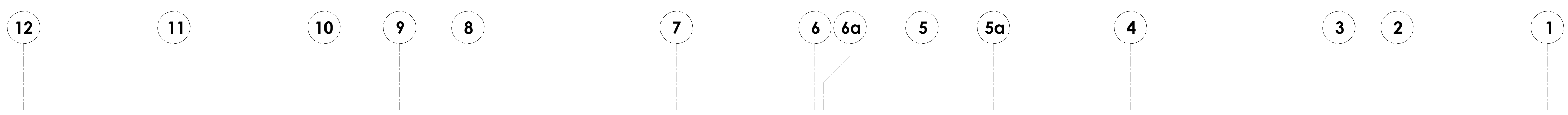
	MATERIAL/FINISH	COLOR		MATERIAL/FINISH	COLOR
0	LONGBOARD "WOOD GRAIN/WALNUT"	TIMBER TEAK	8	ACM FIN BY "SM CLADDING SOLUTIONS"	CHARCOAL
1	ACM PANELS BY "SM CLADDING SOLUTIONS"	BONE WHITE	9	6MM VITRO CLEAR SPANDREL PANEL BY TRULITE OR EQUIVALENT	3-0770 WARM GREY OPACI
2	FIELD APPLIED EIFS BY DURABOND OR EQUIVALENT, GEMSTONE FINISH	SHAKER BEIGE LIGHT	10	BROWNLEE 7332 WALL SCONCE	NICKEL TONE (STANDARD)
3	FIELD APPLIED EIFS BY DURABOND OR EQUIVALENT, GEMSTONE FINISH	WALNUT BEIGE, BM 4020-2D	11	LED COVE LIGHTING	BMHC-168
4	FIELD APPLIED EIFS BY DURABOND OR EQUIVALENT, GEMSTONE FINISH	WHITE DOLOMITE	12	CLEAR LAMINATED CLASS HS/HS 68% LIGHT TRANSMITTANCE	WHITE (ARCTIC SNOW)
5	FIELD APPLIED EIFS BY DURABOND OR EQUIVALENT, SMOOTH FINISH	IRON MOUNTAIN, BM 2134-30	13	ARRISCRAFT RENAISSANCE FULL BED STONE (12"X24")	BARNBOARD-CAMBRIDGE
6	FIELD APPLIED EIFS BY DURABOND OR EQUIVALENT, SMOOTH FINISH	FLOWER POWER	14	PAINTED GALVANIZED HSS (8"X8")	WHITE
7	FIELD APPLIED EIFS BY DURABOND OR EQUIVALENT, SMOOTH FINISH	BLACK	15	PIN LIGHT-VERTICAL DOWN LIGHT	
			16	LED DIRECTIONAL LIGHT	

HATCH DENOTES BIRD FRIENDLY GLAZING
 PRODUCT: AviProtek® T - TRANSPARENT BIRD FRIENDLY GLASS BY WALKER OR APPROVED EQUAL
<https://www.walker-glass.com/products/transparent-bird-friendly-glass>

Specifications for effective visual markers:

- High colour contrast to the glass surface.
- Must be applied to the **exterior (first) surface** of the glass.
- Any pattern of visual marker is acceptable (i.e. lines, dots, etc.) as long as a maximum spacing of 50 mm by 50 mm is used (see Figure 6 below).
- Individual marker elements should be a **minimum of 4 mm diameter, or 2 mm wide by 8 mm long** for linear elements.

SPECIAL INSTRUCTIONS	
A	TYPICAL WALL PLANE, 0.00
B	4" RECESSED FROM 'A'
C	3" RECESSED FROM 'A'
D	2" RECESSED FROM 'A'
E	1" PROJECTED FROM 'A'
F	2" PROJECTED FROM 'A'
G	3" PROJECTED FROM 'A'
H	5" PROJECTED FROM 'A'



No.	Date:	Issue/Revision	By:
6	22/04/05	Issued for SPA Re-Submission	AB
5	22/01/04	Issued for brand 25% Re-Submission	AB
4	21/11/16	Issued for brand 25% Re-Submission	AB
3	21/10/08	Issued for brand 25% Re-Submission	AB
2	21/07/23	Issued for brand 25% Submission	AB
1	20/09/24	Issued for brand review	MO

Note:
 ALL DIMENSIONS AND INFORMATION SHOWN ON THESE DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE AND ANY DISCREPANCIES REPORTED TO THE ARCHITECT PRIOR TO CONSTRUCTION AND FABRICATION OF ITS COMPONENTS. SHOULD EXISTING CONDITIONS OR SERVICES BE FOUND TO VARY FROM THAT INDICATED ON THE DRAWINGS, THE ARCHITECT MUST BE NOTIFIED IMMEDIATELY.

FEATURES OF CONSTRUCTION NOT FULLY SHOWN ARE ASSUMED TO BE THE SAME CHARACTER AS THOSE NOTED FOR SIMILAR CONDITIONS.

UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS, NO PROVISION HAS BEEN MADE IN THE DESIGN FOR CONDITIONS OCCURRING DURING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL NECESSARY BRACING, SHORINGS, SHEET PILING OR OTHER TEMPORARY SUPPORTS, TO SAFEGUARD ALL EXISTING OR ADJACENT STRUCTURES AFFECTED BY THIS WORK.

ALL DRAWINGS AND RELATED DOCUMENTS SHALL REMAIN THE PROPERTY AND COPYRIGHT OF MATAJ ARCHITECTS INC. USE LATEST REVISED DRAWINGS. DO NOT SCALE DRAWINGS.



Architect's Stamp
 MATAJ ARCHITECTS INCORPORATED
 206-418 Incaquois Shore Rd
 Oakville, Ontario L6H 0K7
 T.905.231.4444

Project:
 OTTAWA HOME2 DEVELOPMENT
 135 LUSK STREET, NEPEAN, ON

Owner:
 2441736 Ontario Inc.
 125 Lusk Street Ottawa, ON K2J 6S5
 Phone: 613-307-0412

Sheet Title:
 PROPOSED NORTH ELEVATION

Design By: AM	Drawn By: AB	Approved By: EM
Scale: 1/8" = 1'-0"	Date: JAN 2022	Project No.: 20-022

Drawing No.: **A.301**

City's Application Number D07-12-21-0201
 City's Plan Number: 18665

APPROVED
 By Lily Xu at 3:24 pm, Nov 01, 2022

(Signature)

LILY XU, MCIP, RPP
 MANAGER, DEVELOPMENT REVIEW SOUTH
 PLANNING, INFRASTRUCTURE & ECONOMIC
 DEVELOPMENT DEPARTMENT, CITY OF OTTAWA

	MATERIAL/FINISH	COLOR		MATERIAL/FINISH	COLOR
0	LONGBOARD "WOOD GRAIN/WALNUT"	TIMBER TEAK	8	ACM FIN BY "SM CLADDING SOLUTIONS"	CHARCOAL
1	ACM PANELS BY "SM CLADDING SOLUTIONS"	BONE WHITE	9	6MM VITRO CLEAR SPANDREL PANEL BY TRULITE OR EQUIVALENT	3-0770 WARM GREY OPACI
2	FIELD APPLIED EIFS BY DURABOND OR EQUIVALENT, GEMSTONE FINISH	SHAKER BEIGE LIGHT	10	BROWNLEE 7332 WALL SCONCE	NICKEL TONE (STANDARD)
3	FIELD APPLIED EIFS BY DURABOND OR EQUIVALENT, GEMSTONE FINISH	WALNUT BEIGE, BM 4020-2D	11	LED COVE LIGHTING	BMHC-168
4	FIELD APPLIED EIFS BY DURABOND OR EQUIVALENT, GEMSTONE FINISH	WHITE DOLOMITE	12	CLEAR LAMINATED CLASS HS/HS 68% LIGHT TRANSMITTANCE	WHITE (ARCTIC SNOW)
5	FIELD APPLIED EIFS BY DURABOND OR EQUIVALENT, SMOOTH FINISH	IRON MOUNTAIN, BM 2134-30	13	ARRISCRAFT RENAISSANCE FULL BED STONE (12"X24")	BARNBOARD-CAMBRIDGE
6	FIELD APPLIED EIFS BY DURABOND OR EQUIVALENT, SMOOTH FINISH	FLOWER POWER	14	PAINTED GALVANIZED HSS (8"X8")	WHITE
7	FIELD APPLIED EIFS BY DURABOND OR EQUIVALENT, SMOOTH FINISH	BLACK	15	PIN LIGHT-VERTICAL DOWN LIGHT	
			16	LED DIRECTIONAL LIGHT	

HATCH DENOTES BIRD FRIENDLY GLAZING
 PRODUCT: AviProtek® T-1 - TRANSPARENT BIRD FRIENDLY GLASS BY WALKER OR APPROVED EQUAL
<https://www.walker-glass.com/products/transparent-bird-friendly-glass>

Specifications for effective visual markers:

- High colour contrast to the glass surface.
- Must be applied to the **exterior (first) surface** of the glass.
- Any pattern of visual marker is acceptable (i.e. lines, dots, etc.) as long as a maximum spacing of 50 mm by 50 mm is used (see Figure 6 below).
- Individual marker elements should be a **minimum of 4 mm diameter, or 2 mm wide by 8 mm long for linear elements.**

SPECIAL INSTRUCTIONS	
A	TYPICAL WALL PLANE, 0.00
B	4" RECESSED FROM 'A'
C	3" RECESSED FROM 'A'
D	2" RECESSED FROM 'A'
E	1" PROJECTED FROM 'A'
F	2" PROJECTED FROM 'A'
G	3" PROJECTED FROM 'A'
H	5" PROJECTED FROM 'A'

Key Plan:

No.	Date:	Issue/Revision	By:
6	22/04/05	Issued for SPA Re-Submission	AB
5	22/01/04	Issued for brand 25% Re-Submission	AB
4	21/11/16	Issued for brand 25% Re-Submission	AB
3	21/10/08	Issued for brand 25% Re-Submission	AB
2	21/07/23	Issued for brand 25% Submission	AB
1	20/09/24	Issued for brand review	MO

Drawing Issues/Revisions:

Note:
 ALL DIMENSIONS AND INFORMATION SHOWN ON THESE DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE AND ANY DISCREPANCIES REPORTED TO THE ARCHITECT PRIOR TO CONSTRUCTION AND FABRICATION OF ITS COMPONENTS. SHOULD EXISTING CONDITIONS OR SERVICES BE FOUND TO VARY FROM THAT INDICATED ON THE DRAWINGS, THE ARCHITECT MUST BE NOTIFIED IMMEDIATELY.

FEATURES OF CONSTRUCTION NOT FULLY SHOWN ARE ASSUMED TO BE THE SAME CHARACTER AS THOSE NOTED FOR SIMILAR CONDITIONS.

UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS, NO PROVISION HAS BEEN MADE IN THE DESIGN FOR CONDITIONS OCCURRING DURING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL NECESSARY BRACING, SHORINGS, SHEET PILING OR OTHER TEMPORARY SUPPORTS, TO SAFEGUARD ALL EXISTING OR ADJACENT STRUCTURES AFFECTED BY THIS WORK.

ALL DRAWINGS AND RELATED DOCUMENTS SHALL REMAIN THE PROPERTY AND COPYRIGHT OF MATAJ ARCHITECTS INC. USE LATEST REVISED DRAWINGS. DO NOT SCALE DRAWINGS.

Architect's Stamp

MATAJ ARCHITECTS
 INCORPORATED

206-418 Incauiss Shore Rd
 Oakville Ontario
 L6H 0X7
 T. 905.707.1444

Project:
OTTAWA HOME2 DEVELOPMENT
135 LUSK STREET, NEPEAN, ON

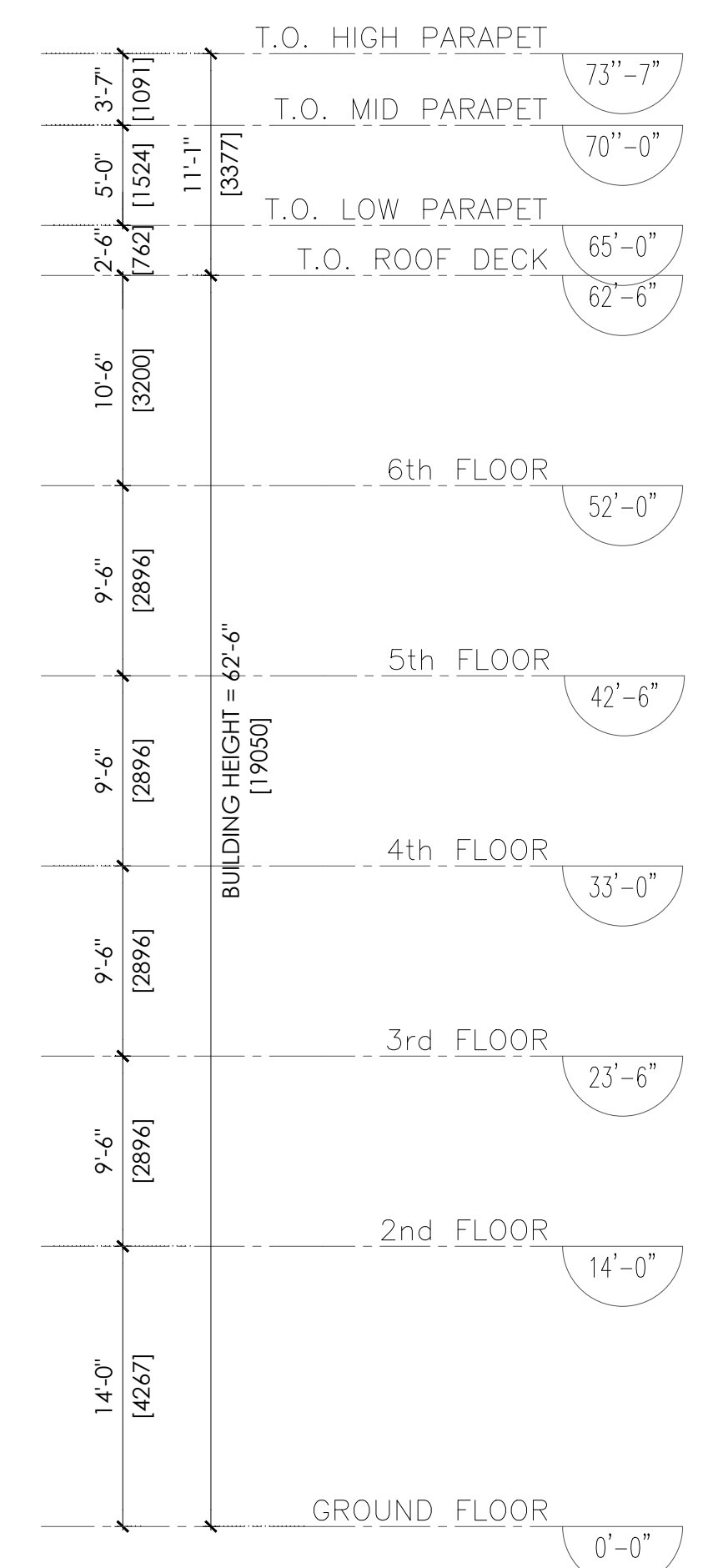
Owner:
 2441736 Ontario Inc.
 125 Lusk Street Ottawa, ON K2J 6S5
 Phone: 613-307-0412

Sheet Title:
PROPOSED WEST ELEVATION

Design By: AM	Drawn By: AB	Approved By: EM
Scale: 1/8" = 1'-0"	Date: JAN 2022	Project No.: 20-022

Drawing No:
A.302 Of:

City's Application Number D07-12-21-0201
 City's Plan Number: 18665



APPROVED
 By Lily Xu at 3:26 pm, Nov 01, 2022

LILY XU, MCIP, RPP
 MANAGER, DEVELOPMENT REVIEW SOUTH
 PLANNING, INFRASTRUCTURE & ECONOMIC
 DEVELOPMENT DEPARTMENT, CITY OF OTTAWA

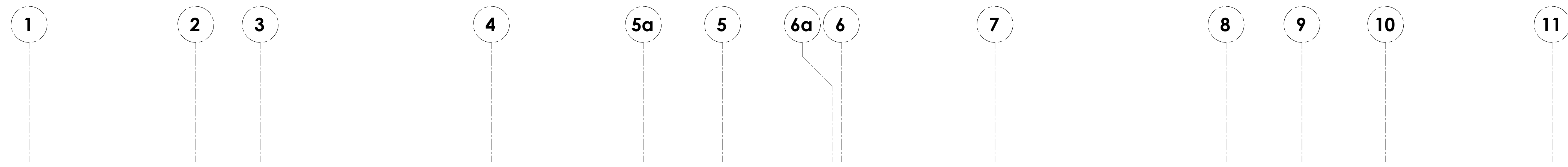
	MATERIAL/FINISH	COLOR		MATERIAL/FINISH	COLOR
0	LONGBOARD "WOOD GRAIN/WALNUT"	TIMBER TEAK	8	ACM FIN BY 'SM CLADDING SOLUTIONS'	CHARCOAL
1	ACM PANELS BY 'SM CLADDING SOLUTIONS'	BONE WHITE	9	6MM VITRO CLEAR SPANDREL PANEL BY TRULITE OR EQUIVALENT	3-0770 WARM GREY OPACI
2	FIELD APPLIED EIFS BY DURABOND OR EQUIVALENT, GEMSTONE FINISH	SHAKER BEIGE LIGHT	10	BROWNLEE 7332 WALL SCONCE	NICKEL TONE (STANDARD)
3	FIELD APPLIED EIFS BY DURABOND OR EQUIVALENT, GEMSTONE FINISH	WALNUT BEIGE, BM 4020-2D	11	LED COVE LIGHTING	BMHC-168
4	FIELD APPLIED EIFS BY DURABOND OR EQUIVALENT, GEMSTONE FINISH	WHITE DOLOMITE	12	CLEAR LAMINATED CLASS HS/HS 68% LIGHT TRANSMITTANCE	WHITE (ARCTIC SNOW)
5	FIELD APPLIED EIFS BY DURABOND OR EQUIVALENT, SMOOTH FINISH	IRON MOUNTAIN, BM 2134-30	13	ARRISCRAFT RENAISSANCE FULL BED STONE (12"X24")	BARNBOARD-CAMBRIDGE
6	FIELD APPLIED EIFS BY DURABOND OR EQUIVALENT, SMOOTH FINISH	FLOWER POWER	14	PAINTED GALVANIZED HSS (8"X8")	WHITE
7	FIELD APPLIED EIFS BY DURABOND OR EQUIVALENT, SMOOTH FINISH	BLACK	15	PIN LIGHT-VERTICAL DOWN LIGHT	
			16	LED DIRECTIONAL LIGHT	

HATCH DENOTES BIRD FRIENDLY GLAZING
 PRODUCT: AviProtek® T-1 - TRANSPARENT BIRD FRIENDLY GLASS BY WALKER OR APPROVED EQUAL
<https://www.walker-glass.com/products/transparent-bird-friendly-glass>

Specifications for effective visual markers:

- High colour contrast to the glass surface.
- Must be applied to the **exterior (first) surface** of the glass.
- Any pattern of visual marker is acceptable (i.e. lines, dots, etc.) as long as a maximum spacing of 50 mm by 50 mm is used (see Figure 6 below).
- Individual marker elements should be a **minimum of 4 mm diameter, or 2 mm wide by 8 mm long for linear elements.**

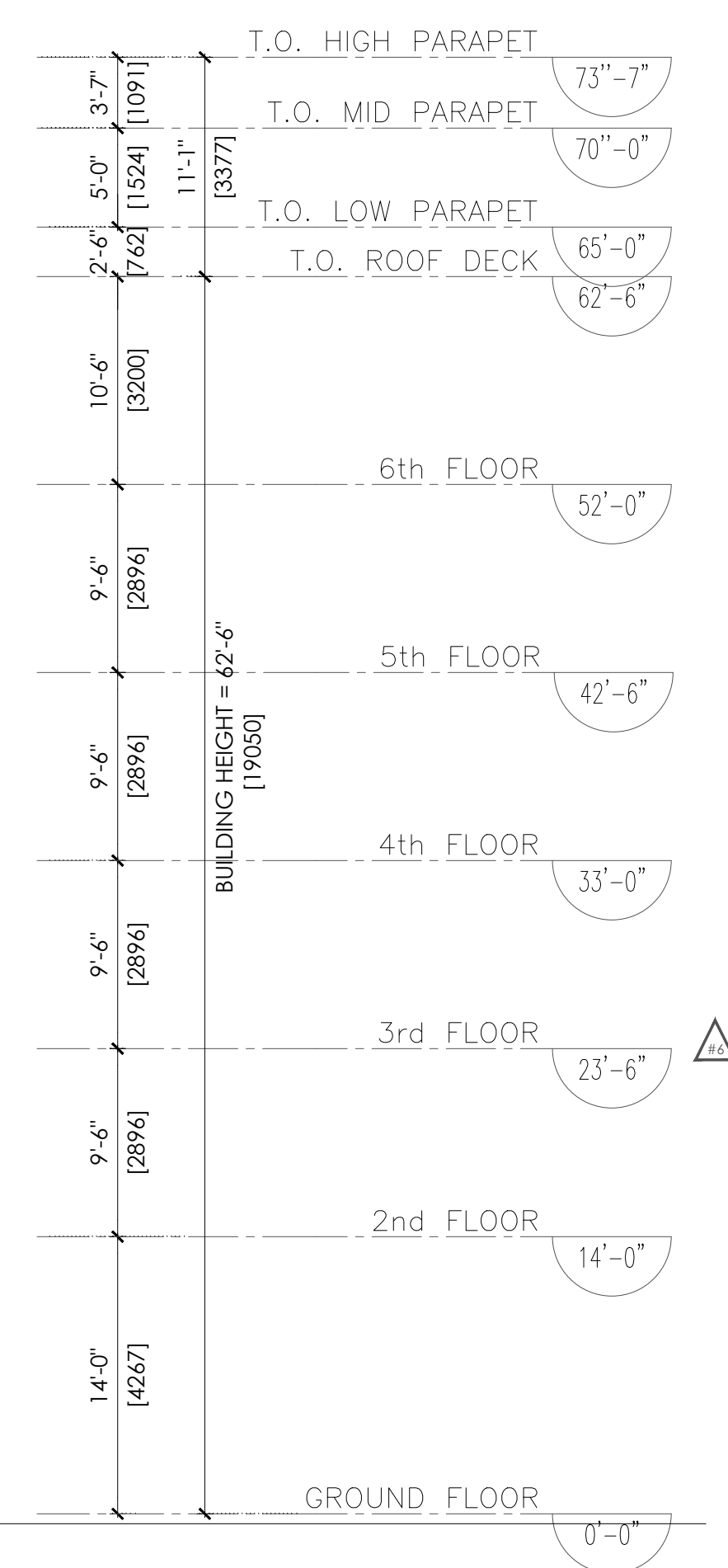
SPECIAL INSTRUCTIONS	
A	TYPICAL WALL PLANE, 0.00
B	4" RECESSED FROM 'A'
C	3" RECESSED FROM 'A'
D	2" RECESSED FROM 'A'
E	1" PROJECTED FROM 'A'
F	2" PROJECTED FROM 'A'
G	3" PROJECTED FROM 'A'
H	5" PROJECTED FROM 'A'



Lily Xu

LILY XU, MCIP, RPP
 MANAGER, DEVELOPMENT REVIEW SOUTH
 PLANNING, INFRASTRUCTURE & ECONOMIC
 DEVELOPMENT DEPARTMENT, CITY OF OTTAWA

APPROVED
 By Lily Xu at 3:27 pm, Nov 01, 2022



No.	Date	Issue/Revision	By:
6	22/04/05	Issued for SPA Re-Submission	AB
5	22/01/04	Issued for brand 25% Re-Submission	AB
4	21/11/16	Issued for brand 25% Re-Submission	AB
3	21/10/08	Issued for brand 25% Re-Submission	AB
2	21/07/23	Issued for brand 25% Submission	AB
1	20/09/24	Issued for brand review	MO

Drawing Issues/Revisions:

Note:
 ALL DIMENSIONS AND INFORMATION SHOWN ON THESE DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE AND ANY DISCREPANCIES REPORTED TO THE ARCHITECT PRIOR TO CONSTRUCTION AND FABRICATION OF ITS COMPONENTS. SHOULD EXISTING CONDITIONS OR SERVICES BE FOUND TO VARY FROM THAT INDICATED ON THE DRAWINGS, THE ARCHITECT MUST BE NOTIFIED IMMEDIATELY.

FEATURES OF CONSTRUCTION NOT FULLY SHOWN ARE ASSUMED TO BE THE SAME CHARACTER AS THOSE NOTED FOR SIMILAR CONDITIONS.

UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS, NO PROVISION HAS BEEN MADE IN THE DESIGN FOR CONDITIONS OCCURRING DURING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL NECESSARY BRACING, SHORINGS, SHEET PILING OR OTHER TEMPORARY SUPPORTS, TO SAFEGUARD ALL EXISTING OR ADJACENT STRUCTURES AFFECTED BY THIS WORK.

ALL DRAWINGS AND RELATED DOCUMENTS SHALL REMAIN THE PROPERTY AND COPYRIGHT OF MATAJ ARCHITECTS INC. USE LATEST REVISED DRAWINGS. DO NOT SCALE DRAWINGS.



Architect's Stamp

MATAJ ARCHITECTS INCORPORATED
 206-418 Incau's Shore Rd
 Oakville Ontario
 L6H 0X7
 T. 905.707.1444

Project:
OTTAWA HOME2 DEVELOPMENT
135 LUSK STREET, NEPEAN, ON

Owner:
 2441736 Ontario Inc.
 125 Lusk Street Ottawa, ON K2J 6S5
 Phone: 613-307-0412

Sheet Title:
PROPOSED SOUTH ELEVATION

Design By: AM	Drawn By: AB	Approved By: EM
Scale: 1/8" = 1'-0"	Date: FEB 2021	Project No.: 20-022

Drawing No:
A.303 Of:

City's Application Number D07-12-21-0201
 City's Plan Number: 18665

	MATERIAL/FINISH	COLOR		MATERIAL/FINISH	COLOR
0	LONGBOARD "WOOD GRAIN/WALNUT"	TIMBER TEAK	8	ACM FIN BY 'SM CLADDING SOLUTIONS'	CHARCOAL
1	ACM PANELS BY 'SM CLADDING SOLUTIONS'	BONE WHITE	9	6MM VITRO CLEAR SPANDREL PANEL BY TRULITE OR EQUIVALENT	3-0770 WARM GREY OPACI
2	FIELD APPLIED EIFS BY DURABOND OR EQUIVALENT, GEMSTONE FINISH	SHAKER BEIGE LIGHT	10	BROWNLEE 7332 WALL SCONCE	NICKEL TONE (STANDARD)
3	FIELD APPLIED EIFS BY DURABOND OR EQUIVALENT, GEMSTONE FINISH	WALNUT BEIGE, BM 4020-2D	11	LED COVE LIGHTING	BMHC-168
4	FIELD APPLIED EIFS BY DURABOND OR EQUIVALENT, GEMSTONE FINISH	WHITE DOLOMITE	12	CLEAR LAMINATED CLASS HS/HS 68% LIGHT TRANSMITTANCE	WHITE (ARCTIC SNOW)
5	FIELD APPLIED EIFS BY DURABOND OR EQUIVALENT, SMOOTH FINISH	IRON MOUNTAIN, BM 2134-30	13	ARRISCRAFT RENAISSANCE FULL BED STONE (12"X24")	BARNBOARD-CAMBRIDGE
6	FIELD APPLIED EIFS BY DURABOND OR EQUIVALENT, SMOOTH FINISH	FLOWER POWER	14	PAINTED GALVANIZED HSS (8"X8")	WHITE
7	FIELD APPLIED EIFS BY DURABOND OR EQUIVALENT, SMOOTH FINISH	BLACK	15	PIN LIGHT-VERTICAL DOWN LIGHT	
			16	LED DIRECTIONAL LIGHT	

HATCH DENOTES BIRD FRIENDLY GLAZING
 PRODUCT: AviProtek® T-1 - TRANSPARENT BIRD FRIENDLY GLASS BY WALKER OR APPROVED EQUAL
<https://www.walker-glass.com/products/transparent-bird-friendly-glass>

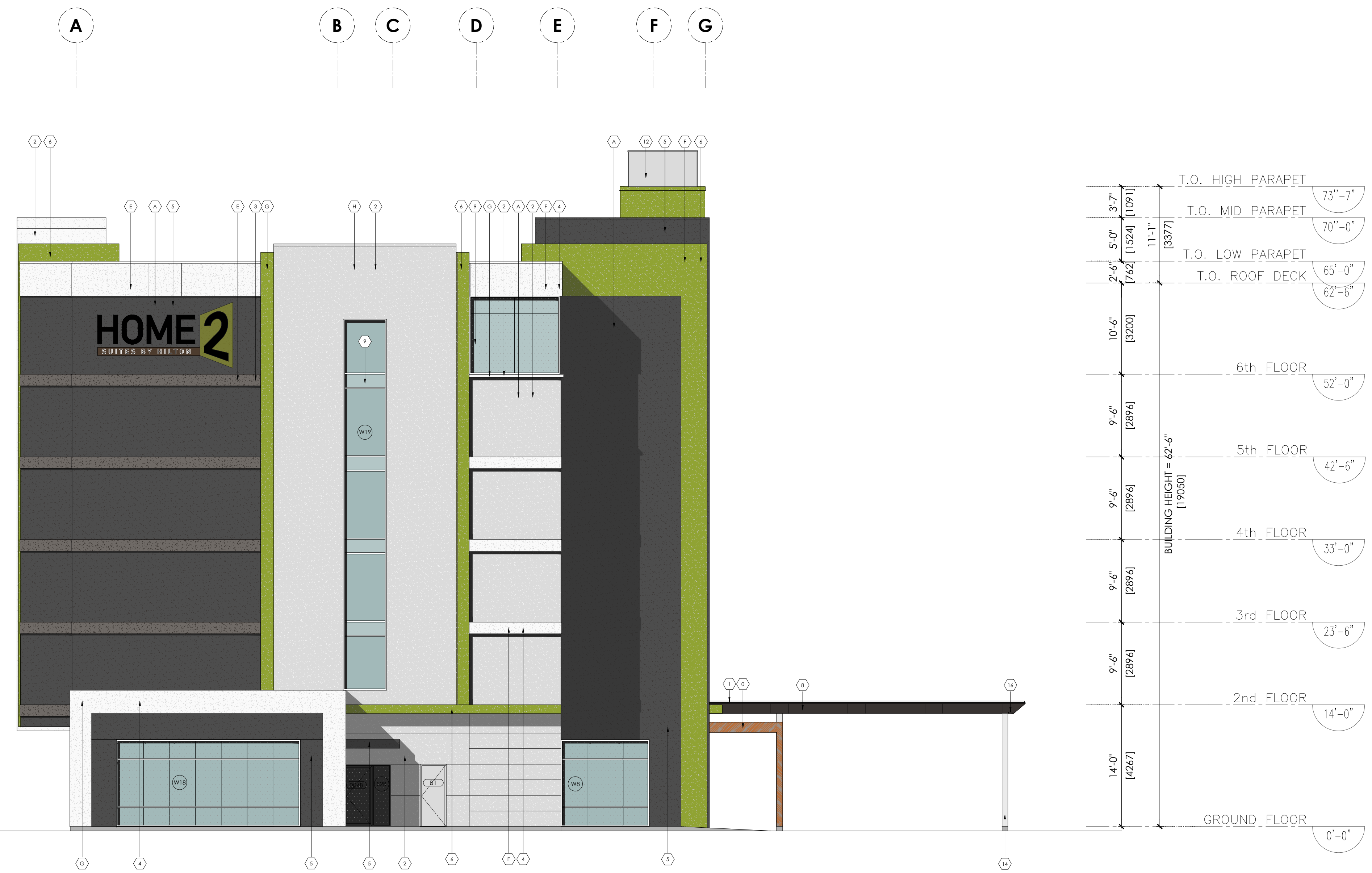
Specifications for effective visual markers:

- High colour contrast to the glass surface.
- Must be applied to the exterior (first) surface of the glass.
- Any pattern of visual marker is acceptable (i.e. lines, dots, etc.) as long as a maximum spacing of 50 mm by 50 mm is used (see Figure 6 below).
- Individual marker elements should be a minimum of 4 mm diameter, or 2 mm wide by 8 mm long for linear elements.

SPECIAL INSTRUCTIONS	
A	TYPICAL WALL PLANE, 0.00
B	4" RECESSED FROM 'A'
C	3" RECESSED FROM 'A'
D	2" RECESSED FROM 'A'
E	1" PROJECTED FROM 'A'
F	2" PROJECTED FROM 'A'
G	3" PROJECTED FROM 'A'
H	5" PROJECTED FROM 'A'



No.	Date	Issue/Revision	By:
6	22/04/05	Issued for SPA Re-Submission	AB
5	22/01/04	Issued for brand 25% Re-Submission	AB
4	21/11/16	Issued for brand 25% Re-Submission	AB
3	21/10/08	Issued for brand 25% Re-Submission	AB
2	21/07/23	Issued for brand 25% Submission	AB
1	20/09/24	Issued for brand review	MO

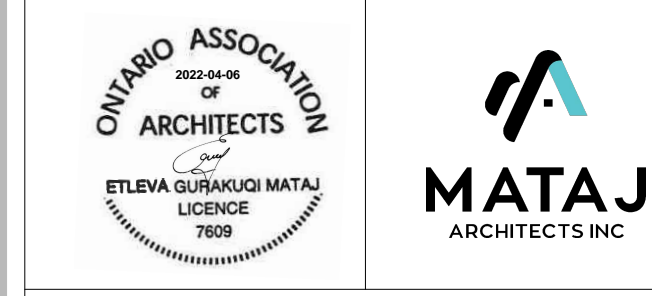


Note:
 ALL DIMENSIONS AND INFORMATION SHOWN ON THESE DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE AND ANY DISCREPANCIES REPORTED TO THE ARCHITECT PRIOR TO CONSTRUCTION AND FABRICATION OF ITS COMPONENTS. SHOULD EXISTING CONDITIONS OR SERVICES BE FOUND TO VARY FROM THAT INDICATED ON THE DRAWINGS, THE ARCHITECT MUST BE NOTIFIED IMMEDIATELY.

FEATURES OF CONSTRUCTION NOT FULLY SHOWN ARE ASSUMED TO BE THE SAME CHARACTER AS THOSE NOTED FOR SIMILAR CONDITIONS.

UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS, NO PROVISION HAS BEEN MADE IN THE DESIGN FOR CONDITIONS OCCURRING DURING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL NECESSARY BRACING, SHORINGS, SHEET PILING OR OTHER TEMPORARY SUPPORTS, TO SAFEGUARD ALL EXISTING OR ADJACENT STRUCTURES AFFECTED BY THIS WORK.

ALL DRAWINGS AND RELATED DOCUMENTS SHALL REMAIN THE PROPERTY AND COPYRIGHT OF MATAJ ARCHITECTS INC. USE LATEST REVISED DRAWINGS. DO NOT SCALE DRAWINGS.



Architect's Stamp

MATAJ ARCHITECTS INCORPORATED
 206-418 Incaquois Shore Rd
 Oakville Ontario
 L6H 0X7
 T. 905.707.1444

Project:
OTTAWA HOME2 DEVELOPMENT
135 LUSK STREET, NEPEAN, ON

Owner:
 2441736 Ontario Inc.
 125 Lusk Street Ottawa, ON K2J 6S5
 Phone: 613-307-0412

Sheet Title:
PROPOSED EAST ELEVATION

Design By: AM	Drawn By: AB	Approved By: EM
Scale: 1/8" = 1'-0"	Date: JAN 2022	Project No.: 20-022

Drawing No:
A.304 Of:

City's Application Number D07-12-21-0201
 City's Plan Number: 18665

APPROVED
 By Lily Xu at 3:30 pm, Nov 01, 2022

LILY XU, MCIP, RPP
 MANAGER, DEVELOPMENT REVIEW SOUTH
 PLANNING, INFRASTRUCTURE & ECONOMIC
 DEVELOPMENT DEPARTMENT, CITY OF OTTAWA