

No.	Date	Issue/Revision	By:
5	22/04/05	Issued for SPA Re-Submission	AB
4	21/11/16	Issued for Brand 25% Re-Submission	AB
3	21/10/08	Issued for Brand 25% Re-Submission	AB
2	21/07/23	Issued for Brand 25% Submission	AB
1	20/09/24	Issued for brand review	MO

Drawing Issues/Revisions:

No.	Date	Issue/Revision	By:

Note:
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Architect's Stamp

MATAJ ARCHITECTS
INCORPORATED

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Oakville Ontario
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1.905.207.4444

Project:
OTTAWA HOME2 DEVELOPMENT
135 LUSK STREET, NEPEAN, ON

Owner:
2441736 Ontario Inc.
125 Lusk Street Ottawa, ON K2J 6S5
Phone: 613-307-0412

Sheet Title:
OVERALL SITE PLAN

Design By: AM	Drawn By: AB	Approved By: EM
Scale: 1:300	Date: DEC 2020	Project No.: 20-022

Drawing No.: **ASP-01**

City's Application Number D07-12-21-0201
City's Plan Number: 18665

CREDIT NOTES:
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LEGAL LAND DESCRIPTION:
BLOCK 8 IN SUBDIVISION OF PART OF LOT 20, CONCESSION 4 (RIDEAU FRONT) GEOGRAPHIC TOWNSHIP OF NEPEAN, CITY OF OTTAWA

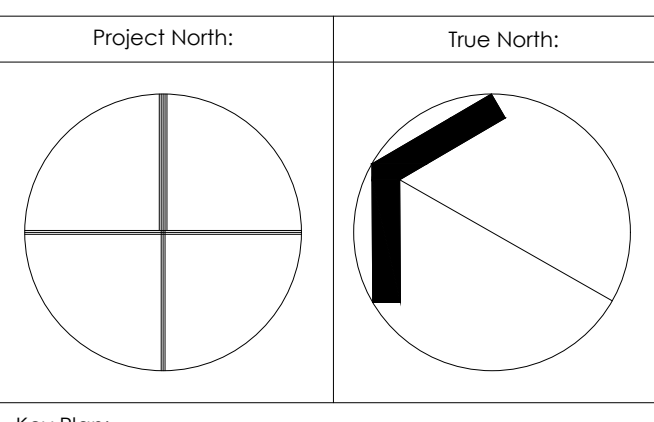
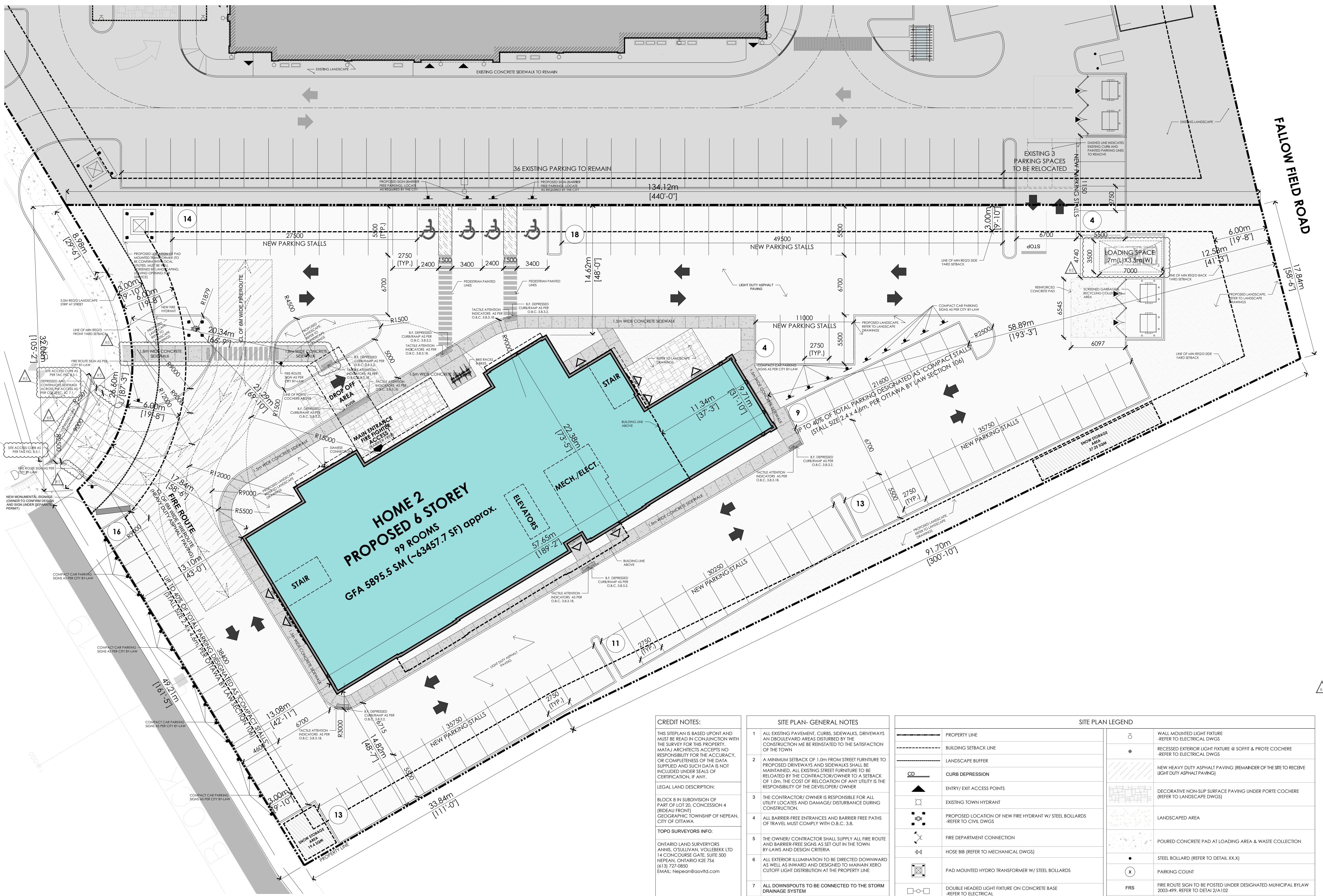
TOPO SURVEYORS INFO:
ONTARIO LAND SURVEYORS
ANNIS, O'SULLIVAN, VOLLEBEK LTD
14 CONOURSE GATE, SUITE 500
NEPEAN, ONTARIO K2E 7S6
(613) 727-0850
EMAIL: Nepean@oavtfd.com

SITE PLAN- GENERAL NOTES

- ALL EXISTING PAVEMENT, CURBS, SIDEWALKS, DRIVEWAYS AND BOULEVARD AREAS DISTURBED BY THE CONSTRUCTION ME BE REINSTATED TO THE SATISFACTION OF THE TOWN
- A MINIMUM SETBACK OF 1.0M FROM STREET FURNITURE TO PROPOSED DRIVEWAYS AND SIDEWALKS SHALL BE MAINTAINED. ALL EXISTING STREET FURNITURE TO BE RELOCATED BY THE CONTRACTOR/OWNER TO A SETBACK OF 1.0M. THE COST OF RELOCATION OF ANY UTILITY IS THE RESPONSIBILITY OF THE DEVELOPER/ OWNER
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- ALL EXTERIOR ILLUMINATION TO BE DIRECTED DOWNWARD AS WELL AS INWARD AND DESIGNED TO MAINTAIN XERO CUTOFF LIGHT DISTRIBUTION AT THE PROPERTY LINE
- ALL DOWNSPOUTS TO BE CONNECTED TO THE STORM DRAINAGE SYSTEM
- ALL CONDENSING UNITS TO BE SCREENED ON THE GROUND FLOOR.
- SEPARATE PERMITS ARE REQUIRED FOR ANY SIGNAGE ON THE PROPERTY
- WHERE POSSIBLE TREES ARE TO BE PROTECTED FROM CONSTRUCTION

SITE PLAN LEGEND

PROPERTY LINE	WALL MOUNTED LIGHT FIXTURE -REFER TO ELECTRICAL DWGS
BUILDING SETBACK LINE	RECESSED EXTERIOR LIGHT FIXTURE @ SOFFIT & PROTE COCHERE -REFER TO ELECTRICAL DWGS
LANDSCAPE BUFFER	NEW HEAVY DUTY ASPHALT PAVING (REMAINDER OF THE SITE TO RECEIVE LIGHT DUTY ASPHALT PAVING)
CD CURB DEPRESSION	DECORATIVE NON-SLIP SURFACE PAVING UNDER PORTE COCHERE (REFER TO LANDSCAPE DWGS)
ENTRY/ EXIT ACCESS POINTS	LANDSCAPED AREA
EXISTING TOWN HYDRANT	POURED CONCRETE PAD AT LOADING AREA & WASTE COLLECTION
PROPOSED LOCATION OF NEW FIRE HYDRANT W/ STEEL BOLLARDS -REFER TO CIVIL DWGS	STEEL BOLLARD (REFER TO DETAIL XXX)
FIRE DEPARTMENT CONNECTION	PARKING COUNT
HOSE BIB (REFER TO MECHANICAL DWGS)	FRS FIRE ROUTE SIGN TO BE POSTED UNDER DESIGNATED MUNICIPAL BYLAW 2003-499. REFER TO DETAIL 2/A1/02
PAD MOUNTED HYDRO TRANSFORMER W/ STEEL BOLLARDS	PROPOSED GRADING (REFER TO CIVIL DWGS)
DOUBLE HEADED LIGHT FIXTURE ON CONCRETE BASE -REFER TO ELECTRICAL	CONDENSING UNIT ON 4" CONCRETE PAD (REFER TO MECH DWGS)
SINGLE HEADED LIGHT FIXTURE ON CONCRETE BASE -REFER TO ELECTRICAL DWGS	SNOW STORAGE AREA (OWNER TO TAKE NECESSARY PRECAUTIONS W/ SHOW REMOVAL COMPANY TO ADDRESS SLOPED CONDITION AT SOUTH END OF SITE)
SINGLE HEADED LIGHT FIXTURE ON CONCRETE BASE W/ ELECTRICAL -REFER TO ELECTRICAL DWGS	



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Owner:
 2441736 Ontario Inc.
 125 Lusk Street Ottawa, ON K2J 655
 Phone: 613-307-0412

Sheet Title:
ENLARGED SITE PLAN

Design By: AM	Drawn By: AB	Approved By: EM
Scale: 1:200	Date: DEC 2020	Project No.: 20-022

Drawing No.: **ASP-02** Of:

City's Application Number D07-12-21-0201
 City's Plan Number: 18665

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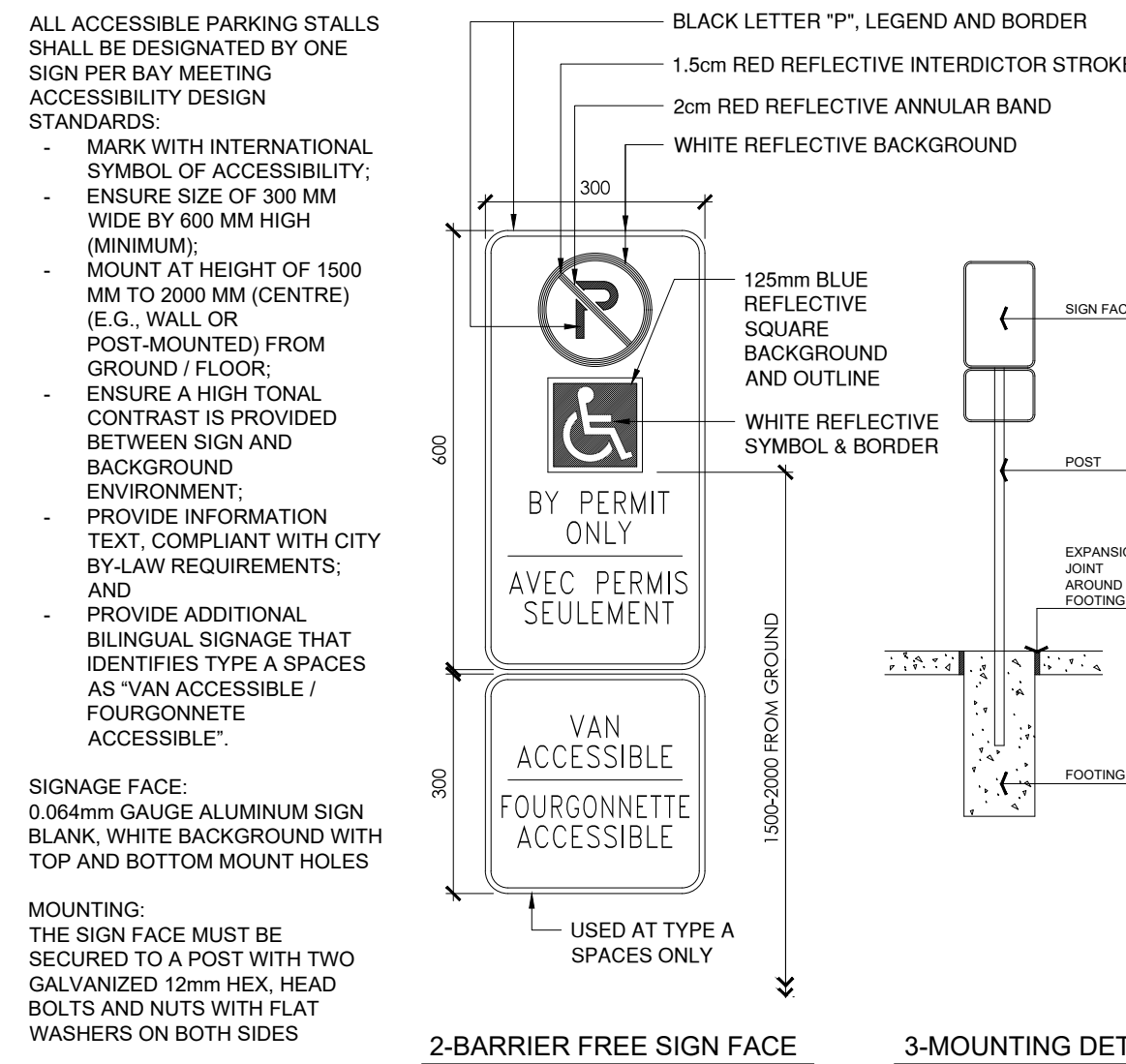
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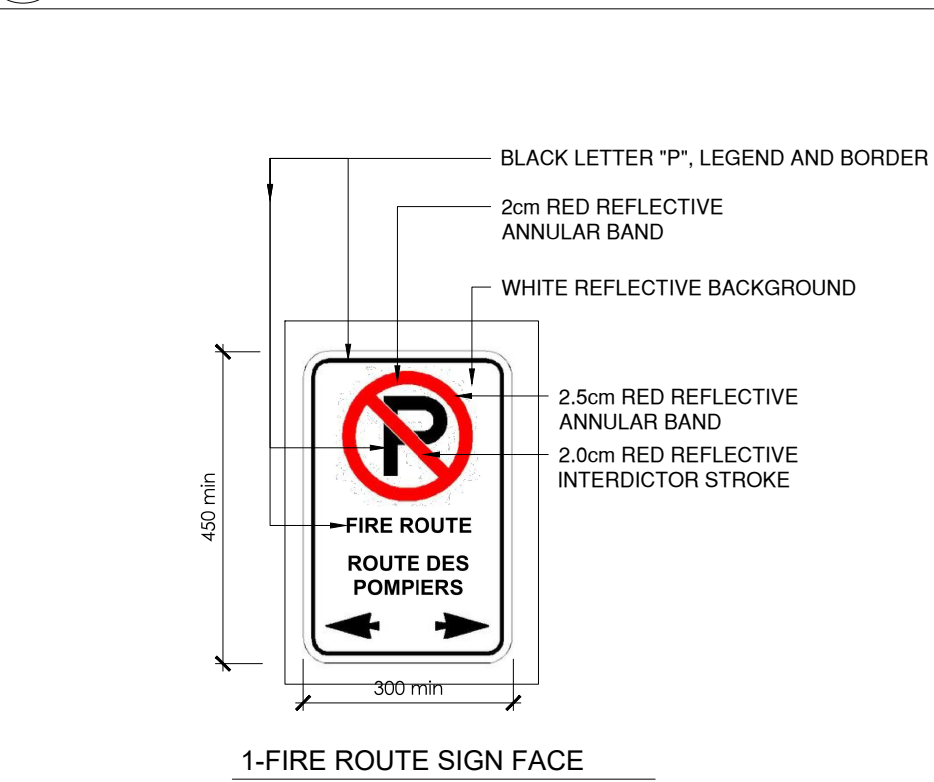
- SITE PLAN - GENERAL NOTES**
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SITE PLAN LEGEND

—	PROPERTY LINE	○	WALL MOUNTED LIGHT FIXTURE -REFER TO ELECTRICAL DWGS
- - -	BUILDING SETBACK LINE	⊕	RECESSED EXTERIOR LIGHT FIXTURE @ SOFFIT & PROTE COCHERE -REFER TO ELECTRICAL DWGS
—	LANDSCAPE BUFFER	▨	NEW HEAVY DUTY ASPHALT PAVING (REMAINDER OF THE SITE TO RECEIVE LIGHT DUTY ASPHALT PAVING)
CD	CURB DEPRESSION	▨	DECORATIVE NON-SLIP SURFACE PAVING UNDER PORTE COCHERE (REFER TO LANDSCAPE DWGS)
▲	ENTRY/ EXIT ACCESS POINTS	▨	LANDSCAPED AREA
○	EXISTING TOWN HYDRANT	▨	POURED CONCRETE PAD AT LOADING AREA & WASTE COLLECTION
●	PROPOSED LOCATION OF NEW FIRE HYDRANT W/ STEEL BOLLARDS -REFER TO CIVIL DWGS	●	STEEL BOLLARD (REFER TO DETAIL XXX)
⊕	FIRE DEPARTMENT CONNECTION	○	PARKING COUNT
⊕	HOSE BIB (REFER TO MECHANICAL DWGS)	FRS	FIRE ROUTE SIGN TO BE POSTED UNDER DESIGNATED MUNICIPAL BYLAW 2003-499. REFER TO DETAIL 21A/02
⊕	PAD MOUNTED HYDRO TRANSFORMER W/ STEEL BOLLARDS	104.04	PROPOSED GRADING (REFER TO CIVIL DWGS)
○	DOUBLE HEADED LIGHT FIXTURE ON CONCRETE BASE -REFER TO ELECTRICAL	▨	CONDENSING UNIT ON 4" CONCRETE PAD (REFER TO MECH DWGS)
○	SINGLE HEADED LIGHT FIXTURE ON CONCRETE BASE -REFER TO ELECTRICAL DWGS	▨	SNOW STORAGE AREA (OWNER TO TAKE NECESSARY PRECAUTIONS W/ SNOW REMOVAL COMPANY TO ADDRESS SLOPED CONDITION AT SOUTH END OF SITE)
○	SINGLE HEADED LIGHT FIXTURE ON CONCRETE BASE W/ ELECTRICAL		

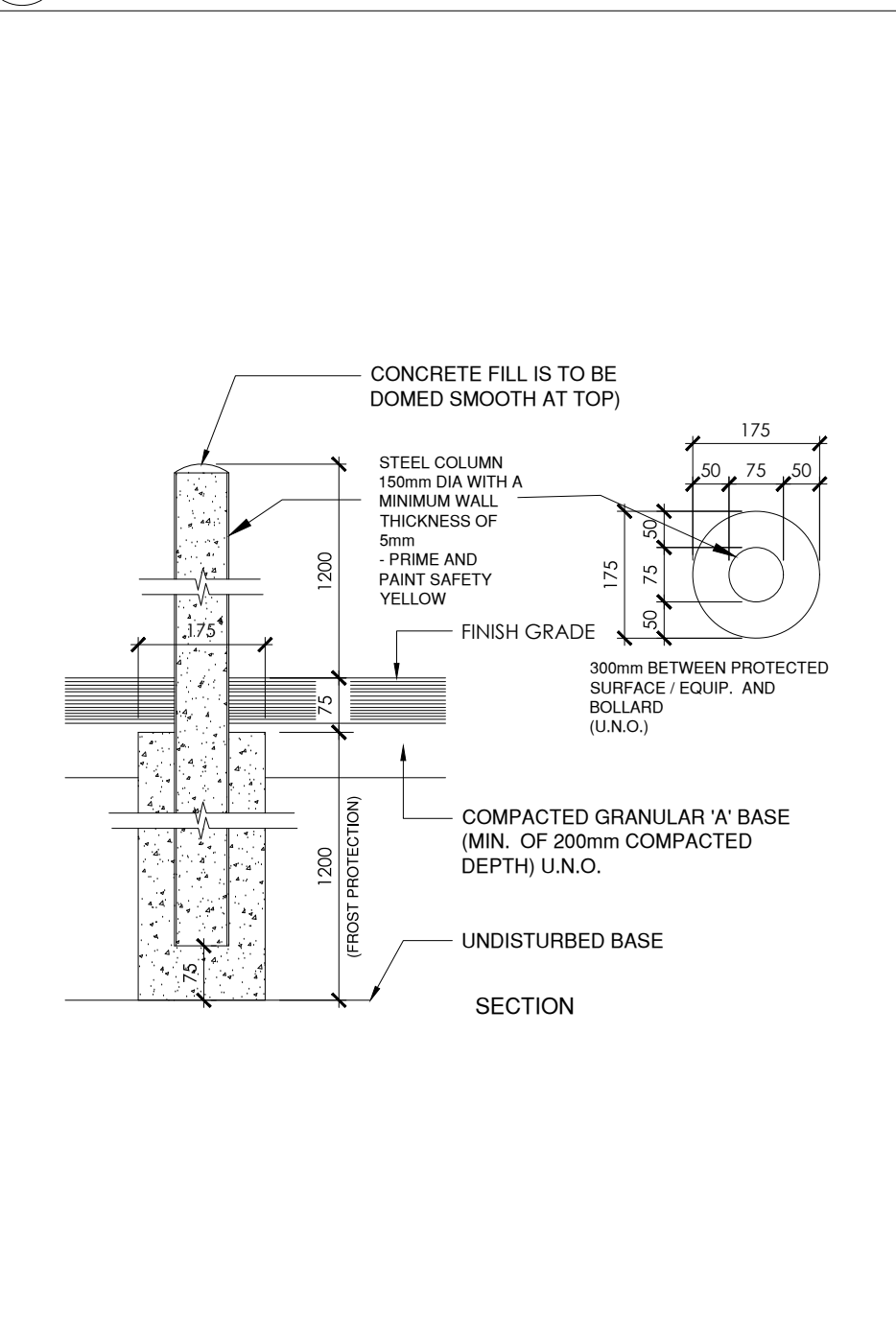


1 DETAIL - BF PARKING SIGN

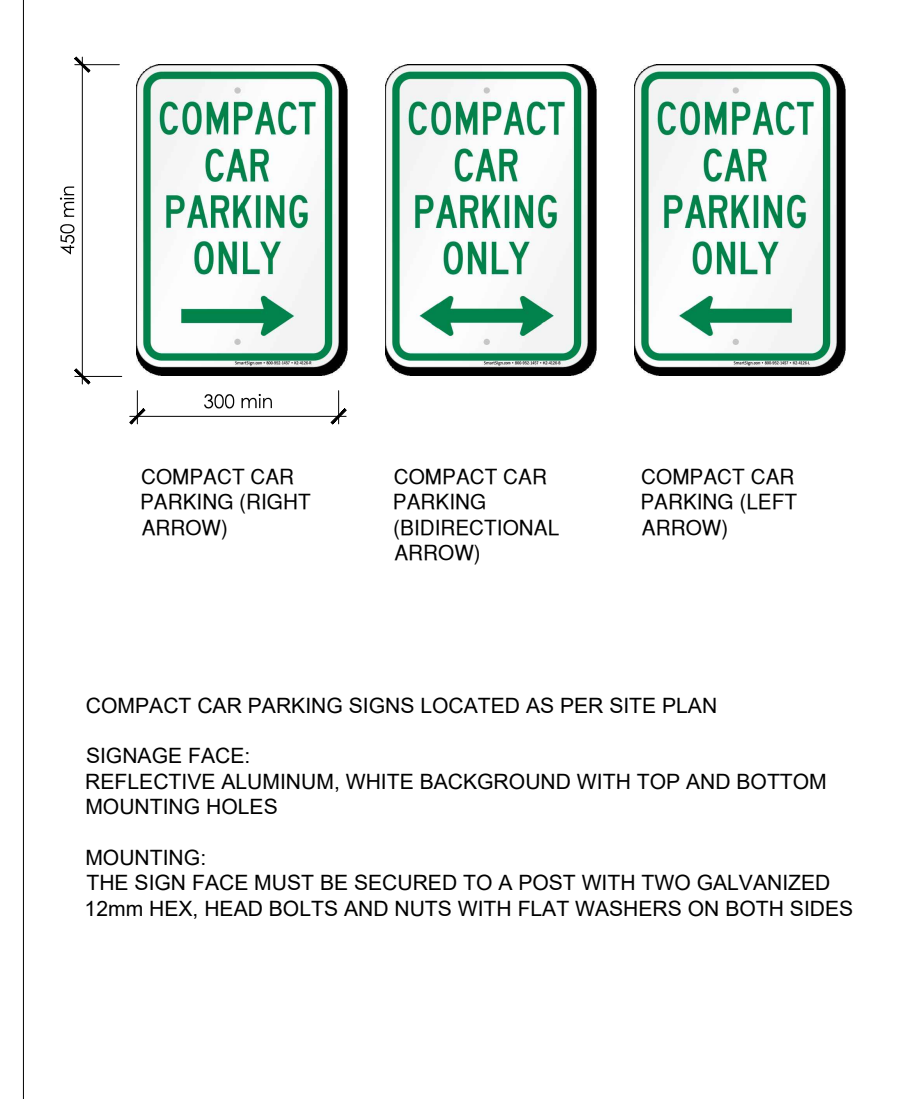


- SIGN FACE AS PER CITY BY-LAW NO. 2003-499
- SIGNS SHALL BE LOCATED NO MORE THAN 25.0M APART UNLESS OTHERWISE APPROVED AND THE LOWER EDGE OF EACH SIGN SHALL BE B/W 2.0M AND 2.5M ABOVE THE GROUND
- SIGNS TO BE SET AN ANGLE OF NOT LESS THAN 30° AND NO MORE THAN 45° TO A LINE PARALLEL TO THE FLOW OF TRAFFIC AND SHOULD ALWAYS BE VISIBLE TO APPROACHING TRAFFIC

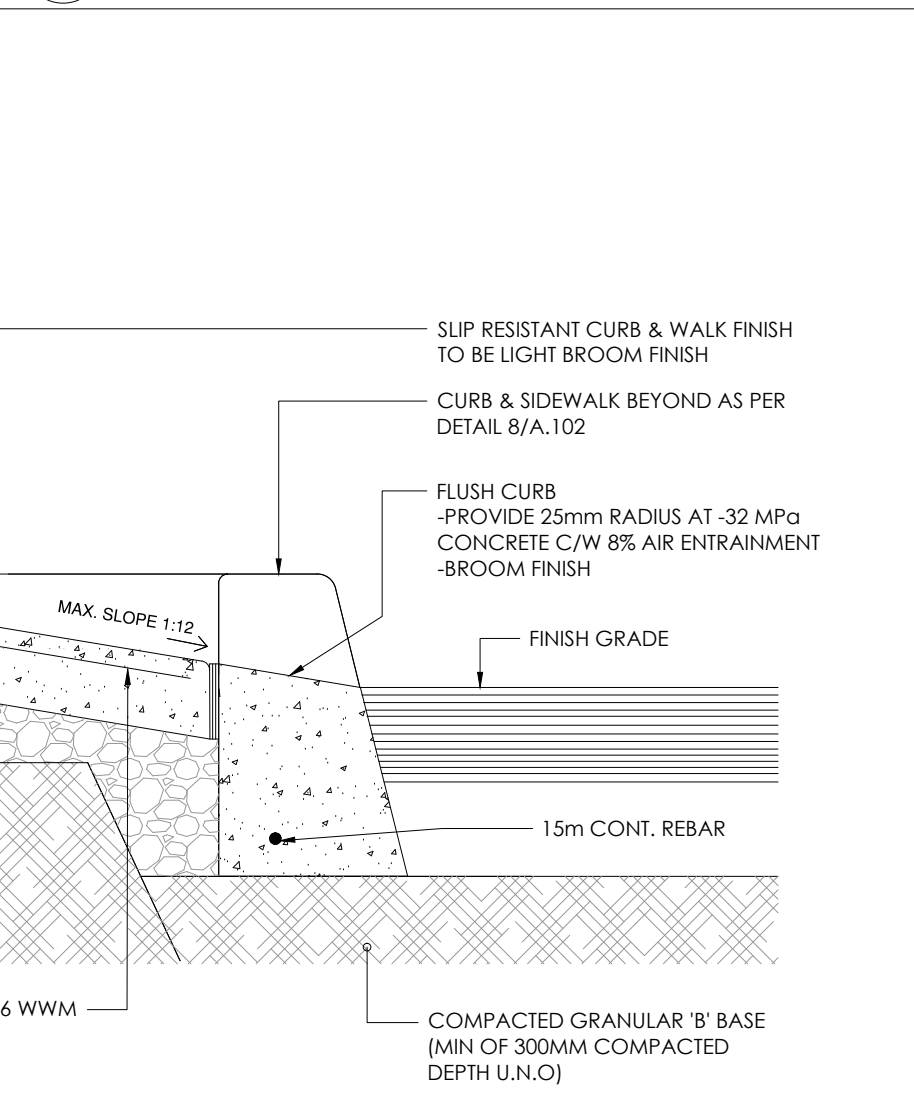
2 DETAIL - FIRE ROUTE SIGN



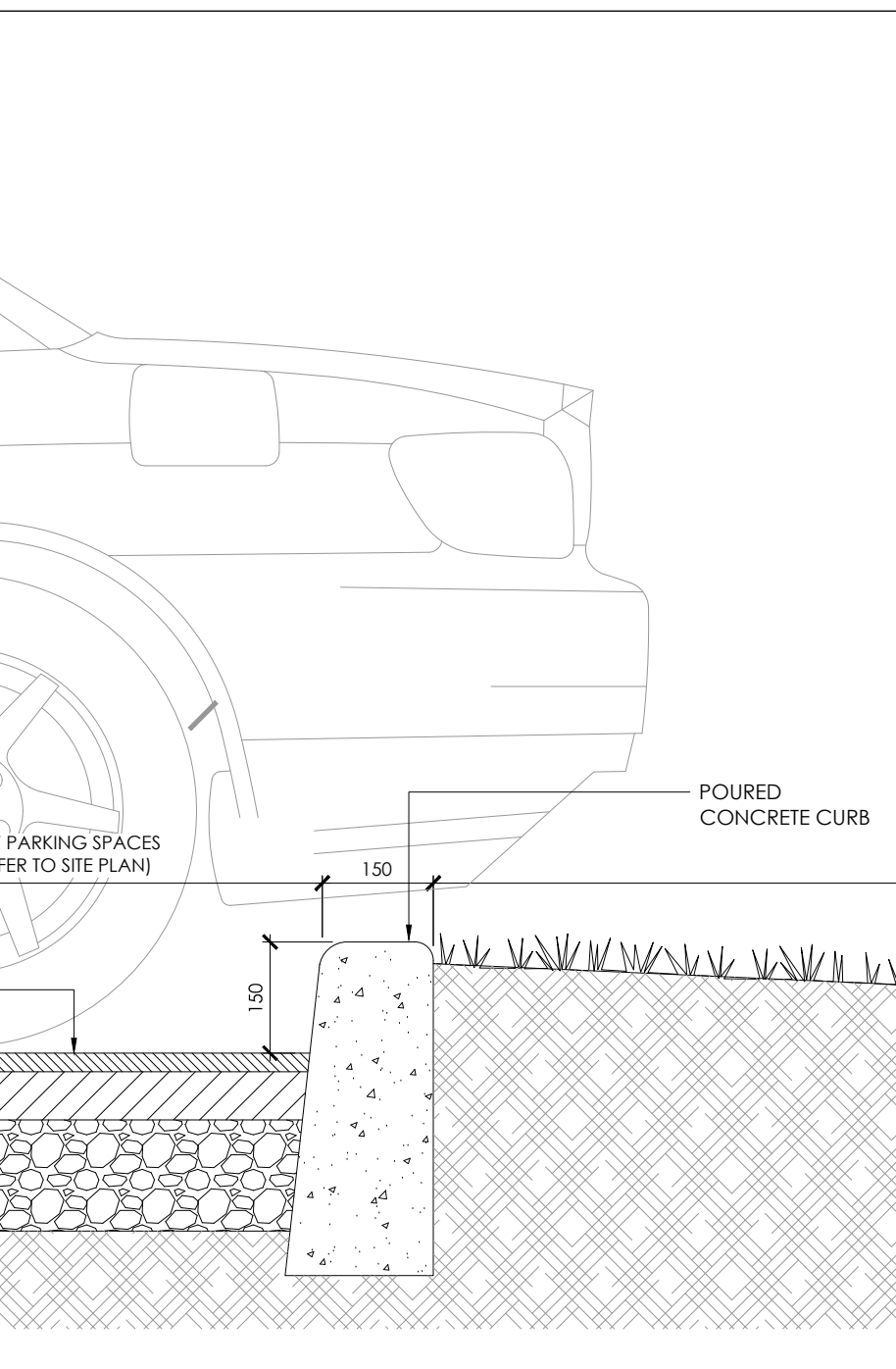
3 DETAIL - TYP BOLLARD



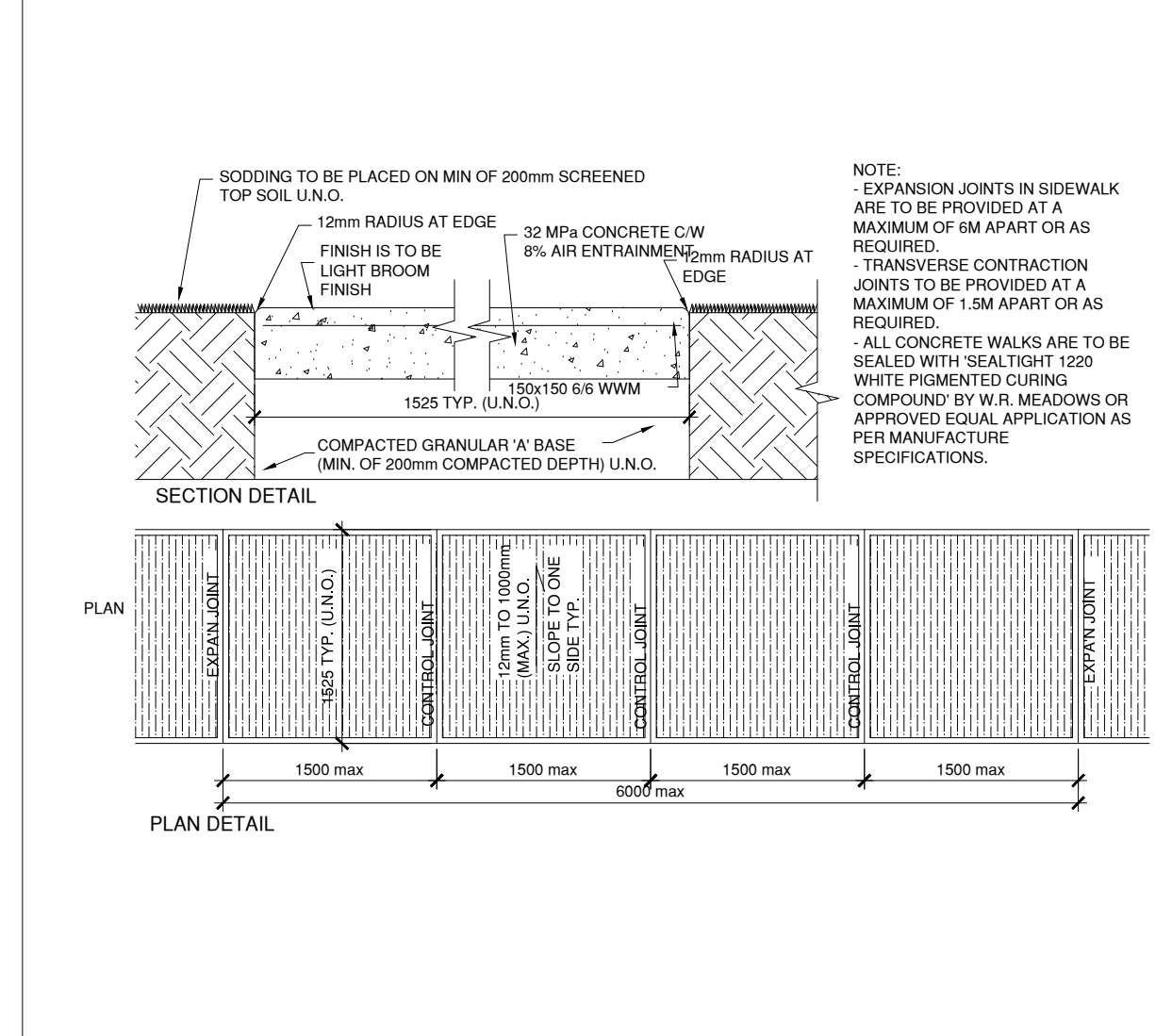
4 DETAIL - COMPACT CAR PARKING SIGN



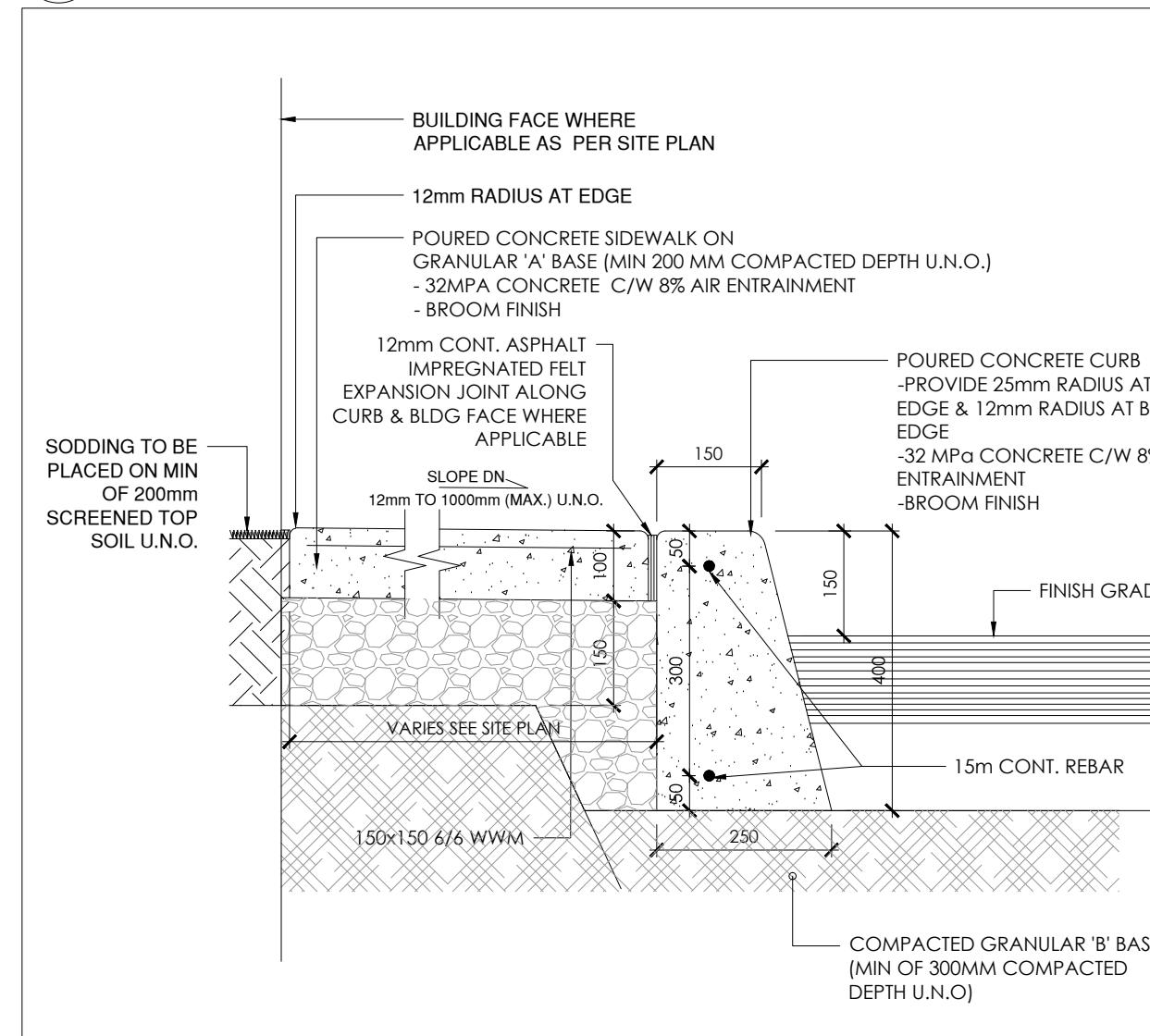
5 SECTION DETAIL - FLUSH CURB @ SIDEWALK



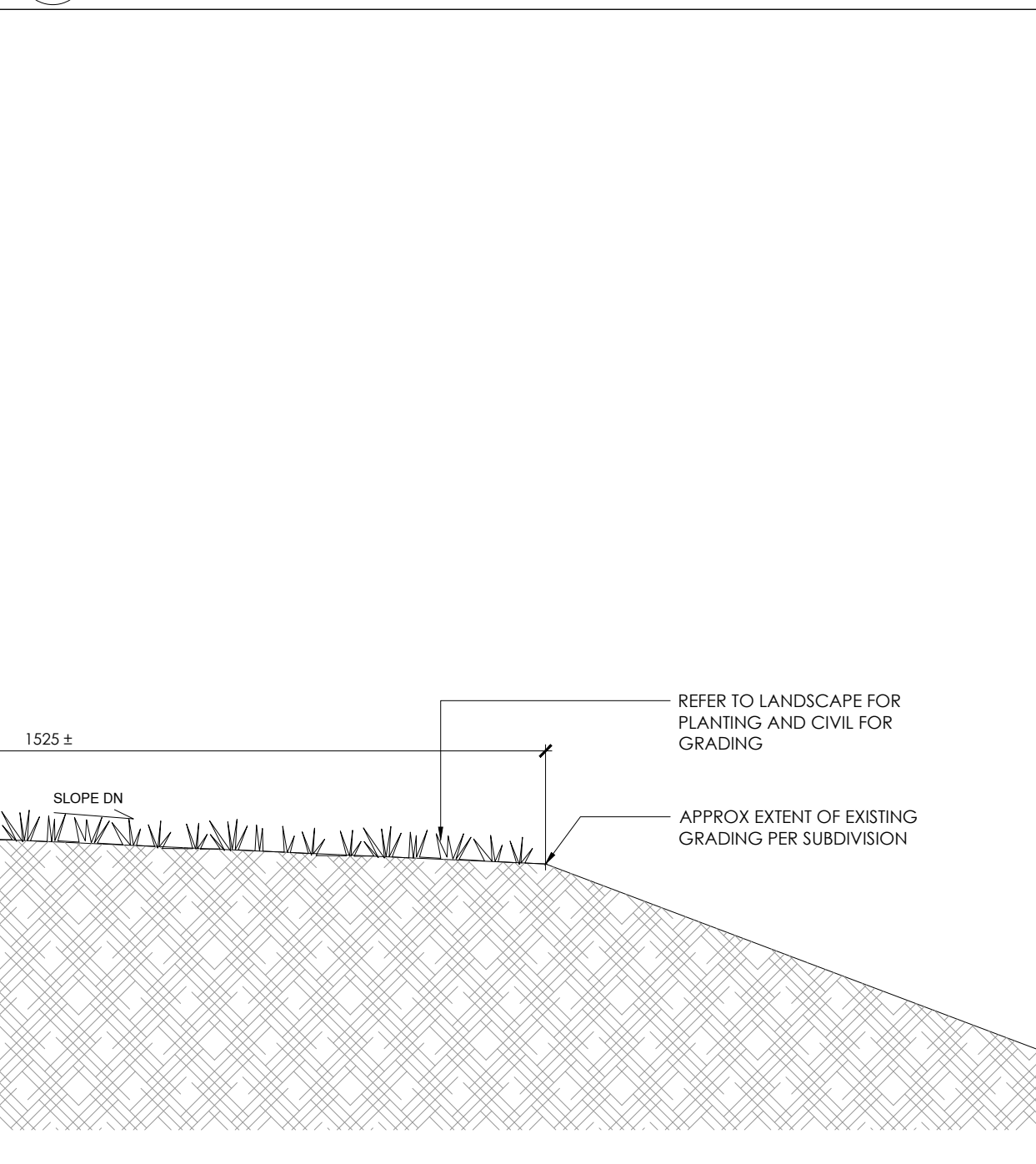
6 DETAIL - CURB AT PARKING



7 DETAIL - CONC SIDEWALK



8 SECTION DETAIL - CONC CURB @ SIDEWALK



9 DETAIL - TYP BOLLARD

SITE STATISTICS			
ZONING	IP - BUSINESS PARK INDUSTRIAL		
	IP[2265]H[24]		
COVERAGE CALCULATIONS			
TOTAL SITE AREA	SM	SF	ACRES
BUILDING AREA (MAX LOT COVERAGE= 55%)	6,201.0	66,747	1.532
ASPHALT PAVED AREA	1041.6	11,427	0.262
LANDSCAPED AREA -INCL SIDEWALK AND PATIO	3679.72	39,608	0.909
	1459.68	15,712	0.361
			23.5%
SETBACKS (TABLE 205-IP ZONE PROVISIONS)			
	MIN REQ'D (m)	PROVIDED (m)	
FRONT YARD	6.0	17.84	
REAR YARD	6.0	58.89	
INTERIOR SIDE	3.0	14.62	
INTERIOR SIDE	3.0	14.62	
INTERIOR SIDE	3.0	14.82	
WIDTH OF LANDSCAPE STRIP			
(ii) ABUTTING A STREET	3.0	3.0	
(iii) IN ALL OTHER CASES	NO MIN	VARIABLES	
HEIGHT OF BUILDING			
	MAX	PROVIDED	
MAX 22m (MEASURED TO T/O ROOF DECK)	22.0m	19.1	
MAX FLOOR SPACE INDEX [2]	2	0.95	
(TOTAL AREA OF EACH FLOOR)			
	SM	SF	
GROUND FLOOR	1041.6	11426.2	
SECOND FLOOR	966.8	10406.3	
THIRD FLOOR	966.8	10406.3	
FOURTH FLOOR	966.8	10406.3	
FIFTH FLOOR	966.8	10406.3	
SIXTH FLOOR	966.8	10406.3	
TOTAL GFA	5895.5	63457.7	

PARKING REQUIREMENTS (BASED ON TABLE 101; AREA "C" ON SCHEDULE 1A)			
- SPACES @ 2.75W x 5.5L (per Brand requirement)			
- 25% of stalls are compact stalls (size at 2.4W x 4.6L per zoning standards)			
	RMS/ GFA(sm)	REQ'D	PROVIDED
-HOTEL: 1 SPACE PER GUEST UNIT			
-RESTAURANT (10 PER 100sm OF GFA OF ASSEMBLY AREA)			
	ROOMS:	99	99
	RESTAURANT:	0.0	0
	TOTAL NO. OF SPACES	99	99
	SPACES @ 2.4W x 4.6L (IDENTIFIED FOR SMALL CARS ONLY; MAX 40% OF TOTAL)	UP TO 40 STALLS	33

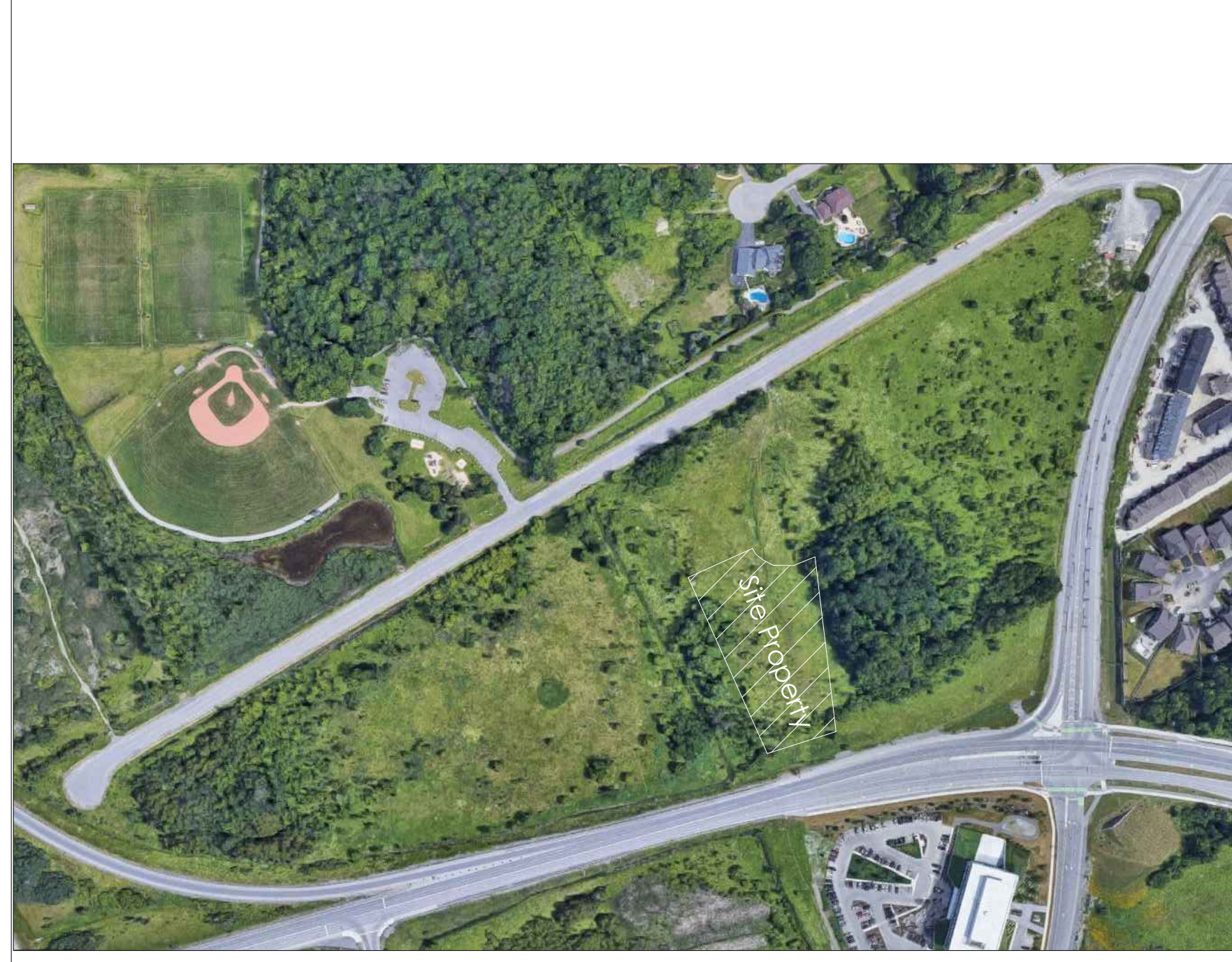
ACCESSIBLE PARKING (CITY OF OTTAWA ACCESSIBILITY DESIGN STANDARDS)			
	REQ'D	PROVIDED	
76-100 PARKING SPACES, 4 ACCESSIBLE SPACES REQ'D	4	4	
TYPE A (VAN), MIN WIDTH=3400	2	2	
TYPE B, MIN WIDTH=2400	2	2	

BICYCLE PARKING (BASED ON TABLE 111A (g)&(i))			
	REQ'D	PROVIDED	
HOTEL = 1 PER 1000sm OF GFA	6	8	
ALL OTHER (ie. PLACE OF ASSEMBLY) = 1 PER 1500sm OF GFA	0	0	

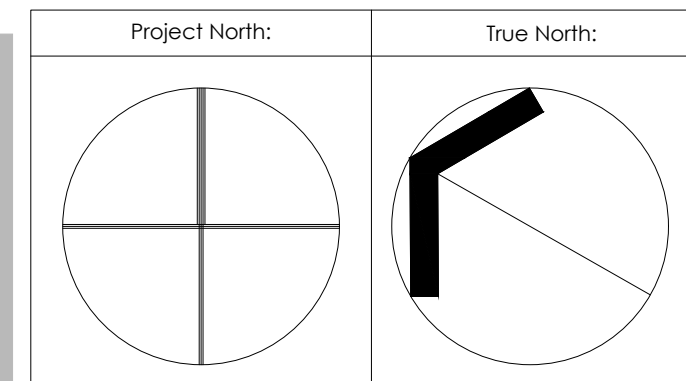
DRIVEWAYS AND AISLE REQUIREMENTS (SECTION 107)			
	REQ'D (MIN)	PROVIDED	
TWO-WAY DRIVEWAY	6.7	6.7	
TWO-WAY PARKING AISLE	6.7	6.7	

LOADING REQUIREMENTS (SECTION 113)			
	REQ'D	PROVIDED	
(SIZE: 3.5W x 9.0L PARALLEL; 3.5W x 7.0 OTHER; 4.2M VERT CLR)	2	1	
ALL OTHER USES W / GFA FROM 2,000-4,999sm			

9 SITE STATISTICS



10 SITE LOCATION



Key Plan:



No.	Date:	Issue/Revision	By:
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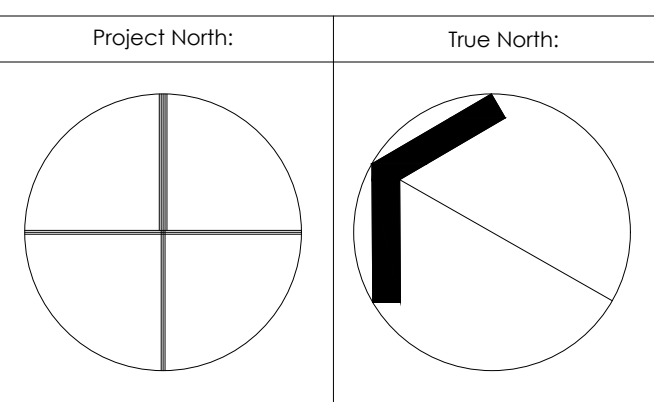
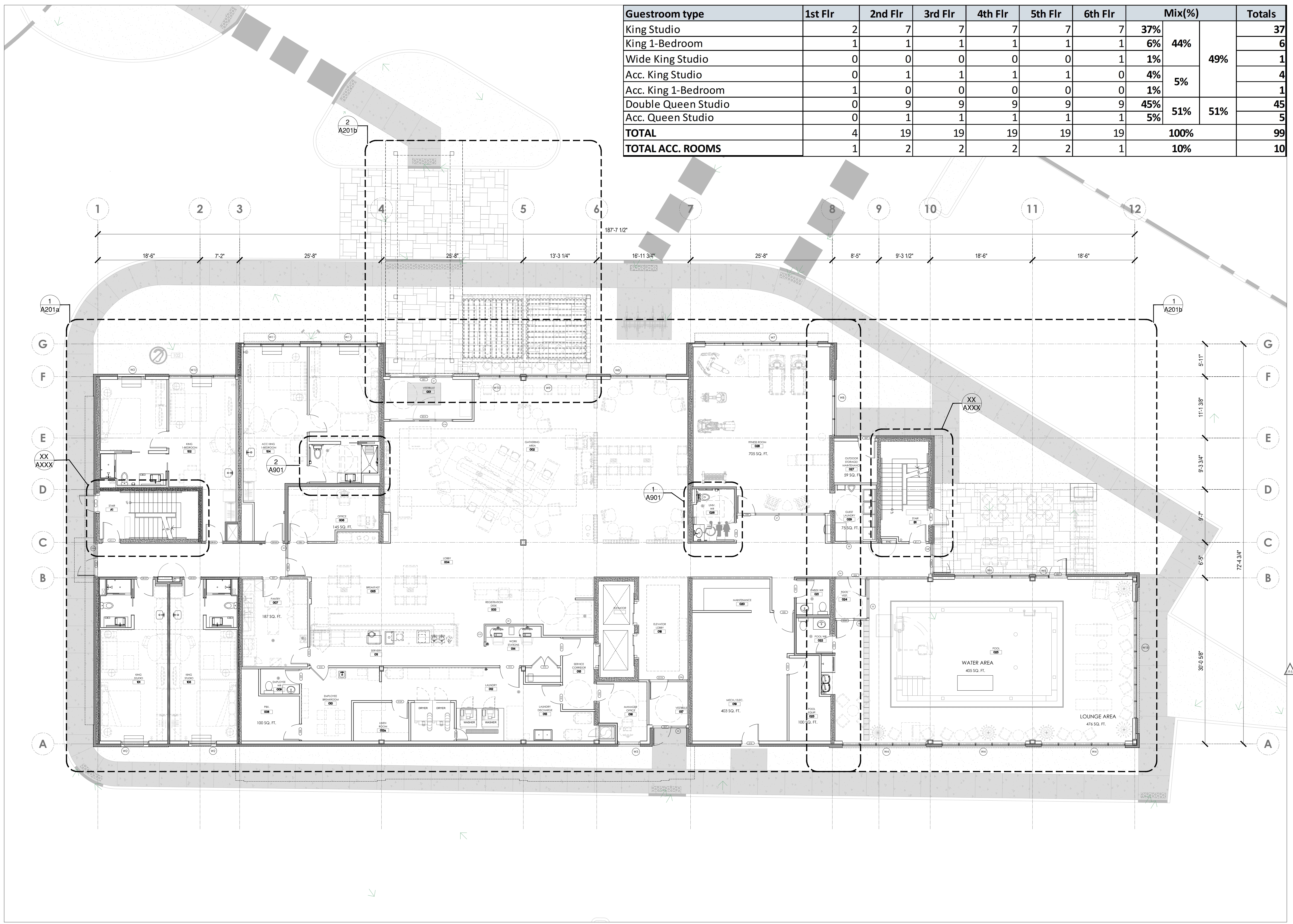
Project:
OTTAWA HOME2 DEVELOPMENT
135 LUSK STREET, NEPEAN, ON
 Owner:
 2441736 Ontario Inc.
 125 Lusk Street Ottawa, ON K2J 655
 Phone: 613-307-0412

Sheet Title:
SITE DETAILS & SITE STATISTICS

Design By: AM	Drawn By: AB	Approved By: EM
Scale: AS SHOWN	Date: OCT 2020	Project No.: 20-022
Drawing No.:		

ASP-3
 City's Application Number D07-12-21-0201
 City's Plan Number: 18665

Guestroom type	1st Flr	2nd Flr	3rd Flr	4th Flr	5th Flr	6th Flr	Mix(%)	Totals
King Studio	2	7	7	7	7	7	37%	37
King 1-Bedroom	1	1	1	1	1	1	6%	6
Wide King Studio	0	0	0	0	0	1	1%	1
Acc. King Studio	0	1	1	1	1	0	4%	4
Acc. King 1-Bedroom	1	0	0	0	0	0	1%	1
Double Queen Studio	0	9	9	9	9	9	45%	45
Acc. Queen Studio	0	1	1	1	1	1	5%	5
TOTAL	4	19	19	19	19	19	100%	99
TOTAL ACC. ROOMS	1	2	2	2	2	1	10%	10



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Sheet Title:
GROUND FLOOR PLAN

Design By: AM	Drawn By: AB	Approved By: EM
Scale: 1/8" = 1'-0"	Date: JAN 2022	Project No.: 20-022

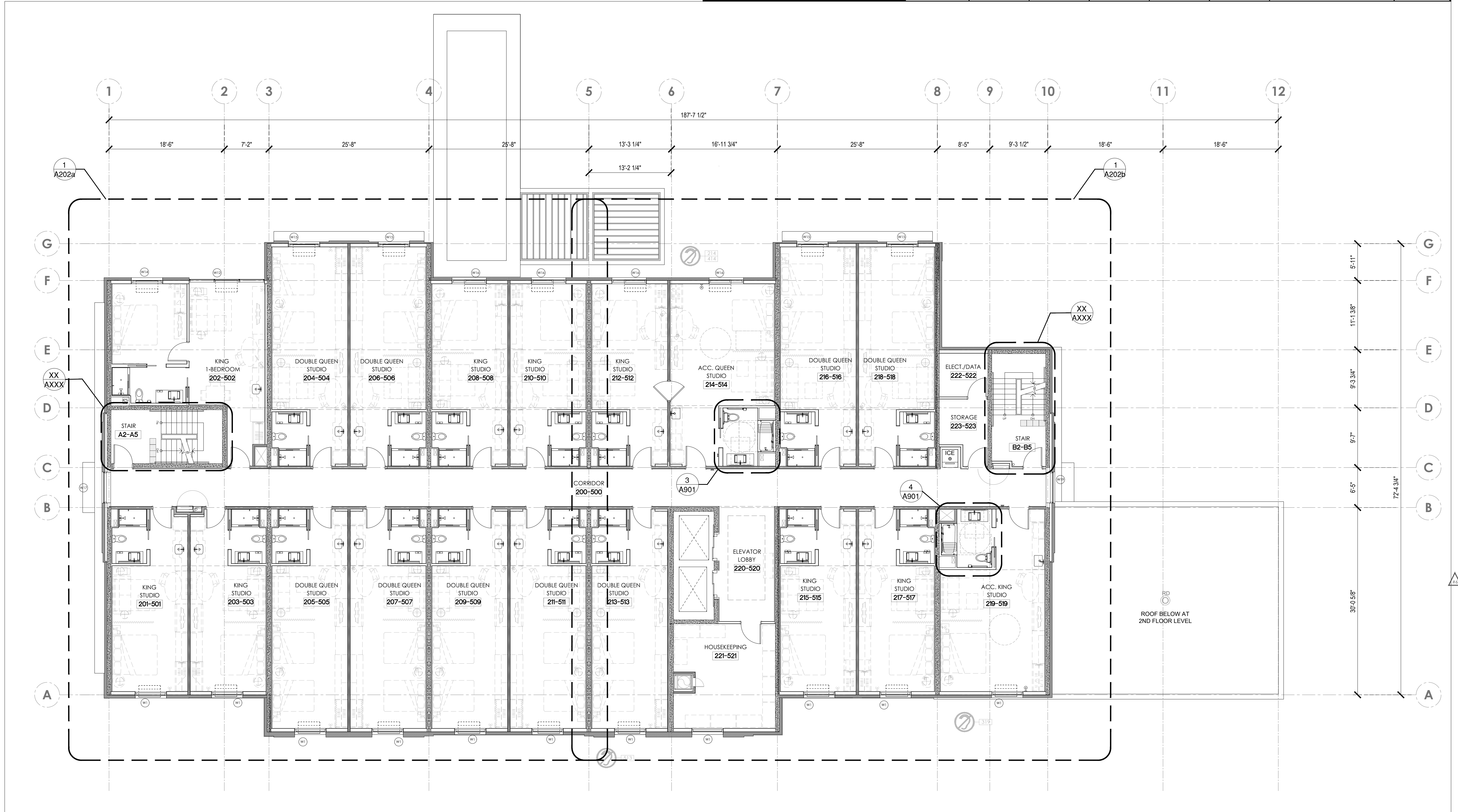
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A.201 Of:

City's Application Number D07-12-21-0201
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King 1-Bedroom	1	1	1	1	1	1	6%	6
Wide King Studio	0	0	0	0	0	1	1%	1
Acc. King Studio	0	1	1	1	1	0	4%	4
Acc. King 1-Bedroom	1	0	0	0	0	0	1%	1
Double Queen Studio	0	9	9	9	9	9	45%	45
Acc. Queen Studio	0	1	1	1	1	1	5%	5
TOTAL	4	19	19	19	19	19	100%	99
TOTAL ACC. ROOMS	1	2	2	2	2	1	10%	10

Project North: True North:

Key Plan:



No.	Date	Issue/Revision	By:
6	22/04/05	Issued for SPA Re-Submission	AB
5	22/01/04	Issued for brand 25% Re-Submission	AB
4	21/11/16	Issued for brand 25% Re-Submission	AB
3	21/10/08	Issued for brand 25% Re-Submission	AB
2	21/07/23	Issued for brand 25% Submission	AB
1	20/09/24	Issued for brand review	MO

Drawing Issues/Revisions:

Note:
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ONTARIO ASSOCIATION OF ARCHITECTS
2022-04-06
ETELVA GURAKUZI MATAJ
LICENCE 7609

MATAJ ARCHITECTS INC.

Architect's Stamp

MATAJ ARCHITECTS
INCORPORATED

204-418 Incaquois Shore Rd
Oakville Ontario
L6H 0X7
1.905.227.1444

Project:
OTTAWA HOME2 DEVELOPMENT
135 LUSK STREET, NEPEAN, ON

Owner:
2441736 Ontario Inc.
125 Lusk Street Ottawa, ON K2J 6S5
Phone: 613-307-0412

Sheet Title:
TYPICAL FLOOR PLAN (2ND-5TH)

Design By: AM	Drawn By: AB	Approved By: EM
Scale: 1/8" = 1'-0"	Date: JAN 2022	Project No.: 20-022

Drawing No:
A.202

City's Application Number D07-12-21-0201
City's Plan Number: 18665

1
A.202
TYP. FLOOR PLAN (2ND-5TH)
1/8" = 1'-0"

	MATERIAL/FINISH	COLOR		MATERIAL/FINISH	COLOR
0	LONGBOARD "WOOD GRAIN/WALNUT"	TIMBER TEAK	8	ACM FIN BY "SM CLADDING SOLUTIONS"	CHARCOAL
1	ACM PANELS BY "SM CLADDING SOLUTIONS"	BONE WHITE	9	6MM VITRO CLEAR SPANDREL PANEL BY TRULITE OR EQUIVALENT	3-0770 WARM GREY OPACI
2	FIELD APPLIED EIFS BY DURABOND OR EQUIVALENT, GEMSTONE FINISH	SHAKER BEIGE LIGHT	10	BROWNLEE 7332 WALL SCONCE	NICKEL TONE (STANDARD)
3	FIELD APPLIED EIFS BY DURABOND OR EQUIVALENT, GEMSTONE FINISH	WALNUT BEIGE, BM 4020-2D	11	LED COVE LIGHTING	BMHC-168
4	FIELD APPLIED EIFS BY DURABOND OR EQUIVALENT, GEMSTONE FINISH	WHITE DOLOMITE	12	CLEAR LAMINATED CLASS HS/HS 68% LIGHT TRANSMITTANCE	WHITE (ARCTIC SNOW)
5	FIELD APPLIED EIFS BY DURABOND OR EQUIVALENT, SMOOTH FINISH	IRON MOUNTAIN, BM 2134-30	13	ARRISCRAFT RENAISSANCE FULL BED STONE (12"X24")	BARNBOARD-CAMBRIDGE
6	FIELD APPLIED EIFS BY DURABOND OR EQUIVALENT, SMOOTH FINISH	FLOWER POWER	14	PAINTED GALVANIZED HSS (8"X8")	WHITE
7	FIELD APPLIED EIFS BY DURABOND OR EQUIVALENT, SMOOTH FINISH	BLACK	15	PIN LIGHT-VERTICAL DOWN LIGHT	
			16	LED DIRECTIONAL LIGHT	

HATCH DENOTES BIRD FRIENDLY GLAZING
 PRODUCT: AviProtek® T-1 - TRANSPARENT BIRD FRIENDLY GLASS BY WALKER OR APPROVED EQUAL
<https://www.walkerglass.com/products/transparent-bird-friendly-glass>

Specifications for effective visual markers:

- High colour contrast to the glass surface.
- Must be applied to the **exterior (first) surface** of the glass.
- Any pattern of visual marker is acceptable (i.e. lines, dots, etc.) as long as a maximum spacing of 50 mm by 50 mm is used (see Figure 6 below).
- Individual marker elements should be a **minimum of 4 mm diameter, or 2 mm wide by 8 mm long for linear elements.**

SPECIAL INSTRUCTIONS	
A	TYPICAL WALL PLANE, 0.00
B	4" RECESSED FROM 'A'
C	3" RECESSED FROM 'A'
D	2" RECESSED FROM 'A'
E	1" PROJECTED FROM 'A'
F	2" PROJECTED FROM 'A'
G	3" PROJECTED FROM 'A'
H	5" PROJECTED FROM 'A'

Key Plan:

No.	Date:	Issue/Revision	By:
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ETELVA GURAKUJI MATAJ
 LICENCE 7609

Architect's Stamp

MATAJ ARCHITECTS
 INCORPORATED

206-418 Incau's Shore Rd
 Oakville Ontario
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 T. 905.707.1444

Project:
OTTAWA HOME2 DEVELOPMENT
135 LUSK STREET, NEPEAN, ON

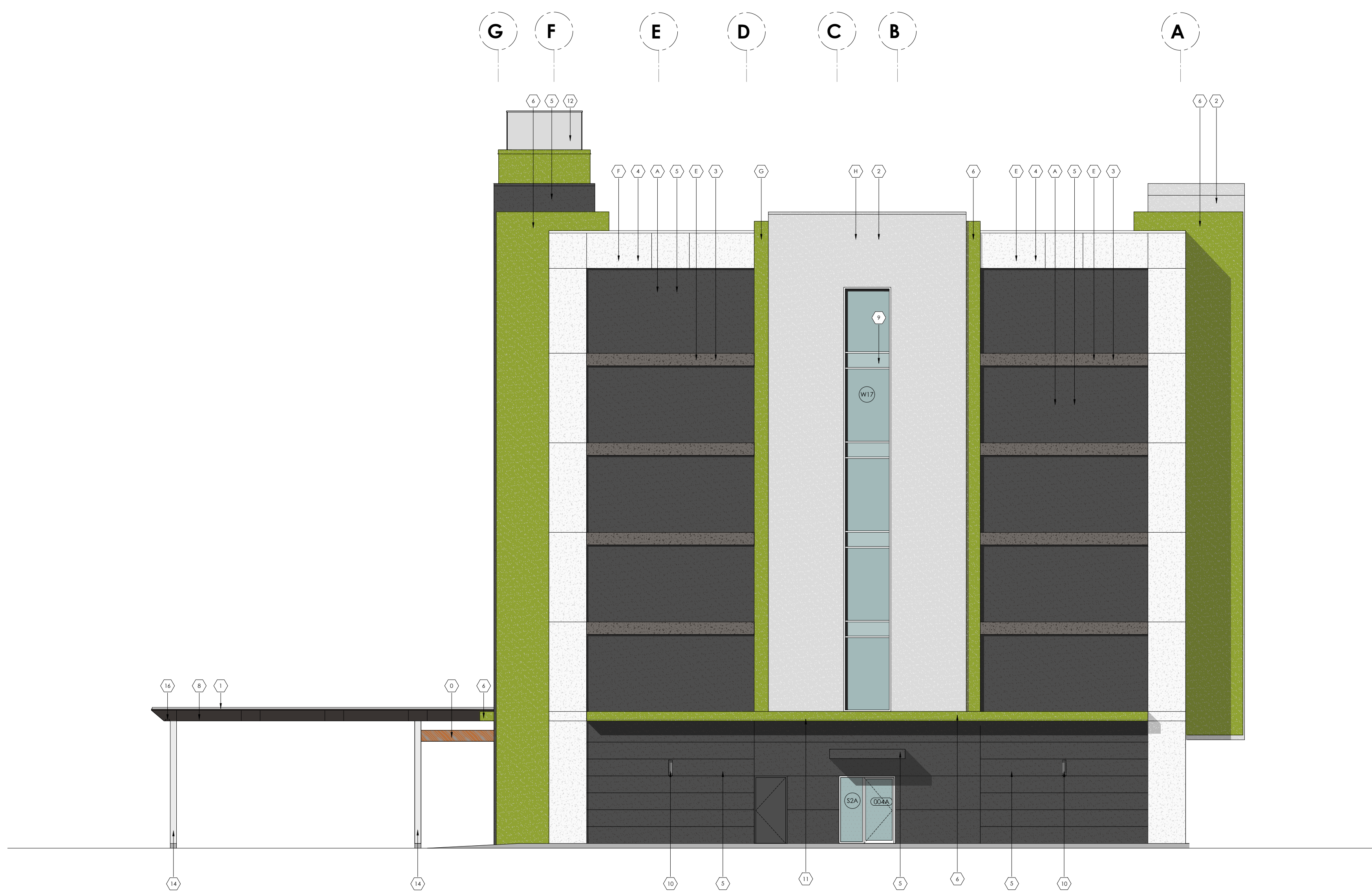
Owner
 2441736 Ontario Inc.
 125 Lusk Street Ottawa, ON K2J 6S5
 Phone: 613-307-0412

Sheet Title:
PROPOSED WEST ELEVATION

Design By: AM	Drawn By: AB	Approved By: EM
Scale: 1/8" = 1'-0"	Date: JAN 2022	Project No.: 20-022

Drawing No:
A.302 Of:

City's Application Number D07-12-21-0201
 City's Plan Number: 18665



Level	Height	Dimension
T.O. HIGH PARAPET	73'-7"	[1091]
T.O. MID PARAPET	70'-0"	[3377]
T.O. LOW PARAPET	65'-0"	[1524]
T.O. ROOF DECK	62'-6"	[762]
6th FLOOR	52'-0"	[3200]
5th FLOOR	42'-6"	[2896]
4th FLOOR	33'-0"	[2896]
3rd FLOOR	23'-6"	[2896]
2nd FLOOR	14'-0"	[2896]
GROUND FLOOR	0'-0"	[4267]

BUILDING HEIGHT = 62'-6"
 [19050]

