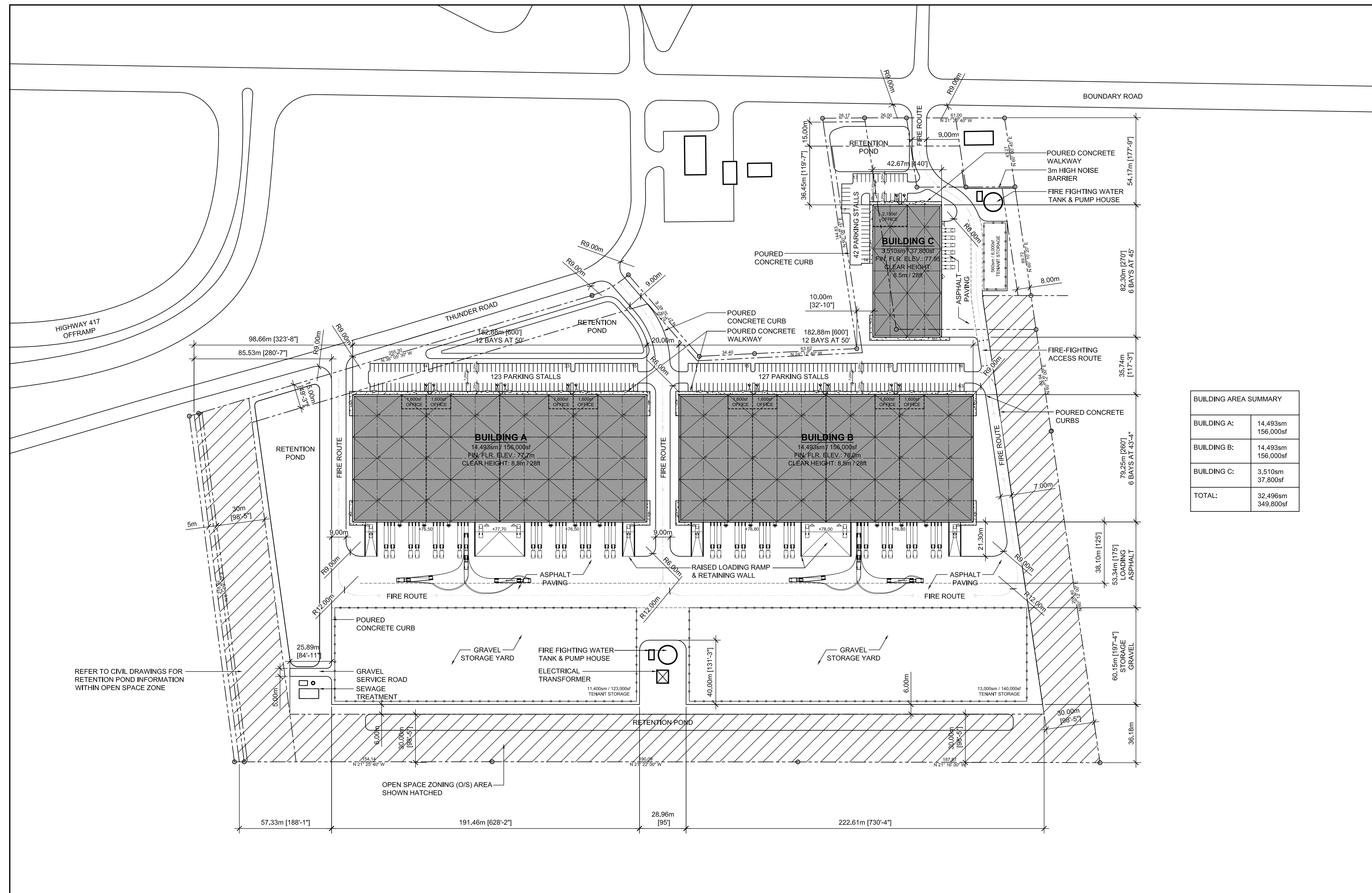


04 DRAWING LEGEND

SPA-01 SCALE:



03 SITE PLAN

SPA-01 SCALE: 1:1500

ZONING MECHANISM: ZONING BY-LAW 2008-250 CONSOLIDATION	REQUIRED	PROVIDED
ZONING: RG908R-h RURAL GENERAL INDUSTRIAL ZONE	LIGHT INDUSTRIAL LIMITED COMMERCIAL	LIGHT INDUSTRIAL USE WAREHOUSE (N95)
MINIMUM LOT AREA	0.4HA	AREA 1: 13.89HA AREA 2: 1.46HA TOTAL: 15.35HA 37.93 ACRES
MINIMUM LOT WIDTH	30m	425m THUNDER ROAD 82m BOUNDARY ROAD
MAXIMUM LOT COVERAGE	50.0%	AREA 1: 20.8% (2.90HA) AREA 2: 24.0% (0.35HA) TOTAL: 21.17% (3.25HA)
MINIMUM FRONT YARD	15m	COMPLIANT WITH ZONING
MINIMUM CORNER SIDE YARD	12m	COMPLIANT WITH ZONING
MINIMUM INTERIOR YARD SETBACK	ABUTTING A RG, RH OR RC ZONE 3m ALL OTHER CASES 8m	COMPLIANT WITH ZONING
MINIMUM REAR YARD	15m	COMPLIANT WITH ZONING
MAXIMUM FLOOR SPACE INDEX	2	0.21 FSI
MAXIMUM BUILDING HEIGHT	15m	10.5m
OUTDOOR STORAGE	NOT PERMITTED WITHIN ANY REQUIRED FRONT OR CORNER YARD STORAGE MUST BE SCREEN WHEN ABUTTING RESIDENTIAL ZONES AND PUBLIC STREETS	COMPLIANT WITH ZONING

02 SITE DATA AND ZONING INFORMATION

SPA-01 SCALE:

ZONING MECHANISM: ZONING BY-LAW 2008-250 CONSOLIDATION	REQUIRED	PROVIDED
MINIMUM WIDTH OF LANDSCAPING	3m	COMPLIANT WITH ZONING
PARKING - TYPICAL SECTION 101	BUILDING A: 14,493sm 78 TYPICAL 1 BARRIER-FREE	117 TYPICAL 3 BARRIER-FREE TYPE A 3 BARRIER-FREE TYPE B
0.8 SPACES PER 100m ² FOR FIRST 5,000m ² 0.4 SPACES PER 100m ² AFTER FIRST 5,000m ² LIGHT INDUSTRIAL USE WAREHOUSE (N95)	BUILDING B: 14,493sm 78 TYPICAL 1 BARRIER-FREE	121 TYPICAL 3 BARRIER-FREE TYPE A 3 BARRIER-FREE TYPE B
PARKING - BARRIER-FREE SECTION 111 PART C BY-LAW 2017-301 AND SECTION 3.1 - CITY OF OTTAWA ACCESSIBILITY DESIGN STANDARDS	BUILDING C: 3,510sm 27 TYPICAL 1 BARRIER-FREE	40 TYPICAL 1 BARRIER-FREE TYPE A 1 BARRIER-FREE TYPE B
TOTAL	183 TYPICAL 3 BARRIER-FREE	278 TYPICAL 7 BARRIER-FREE TYPE A 7 BARRIER-FREE TYPE B
BICYCLE PARKING SECTION 111	BUILDING A: 14,493sm 8 SPACES	8 - LOCATION TO BE DETERMINED
WAREHOUSE 1 SPACE PER 2000m ² BY-LAW 2015-190	BUILDING B: 14,493sm 8 SPACES	8 - LOCATION TO BE DETERMINED
	BUILDING C: 3,510sm 2 SPACES	4 - LOCATION TO BE DETERMINED

ZONING MECHANISM: ZONING BY-LAW 2008-250 CONSOLIDATION	REQUIRED	PROVIDED
LOADING SPACE SECTION 113	BUILDING A 2 OVERSIZED (4.3m X 13m)	20 OVERSIZED (1 PER 8,000sf)
LIGHT INDUSTRIAL USE	BUILDING B 2 OVERSIZED (4.3m X 13m)	20 OVERSIZED (1 PER 8,000sf)
	BUILDING C 2 OVERSIZED (4.3m X 13m)	8 OVERSIZED (1 PER 6,000sf)

BUILDING CLASSIFICATION:
ONTARIO BUILDING CODE 332/2012

3.2.2.67: GROUP F, DIVISION 2, ANY HEIGHT, ANY AREA SPRINKLERED

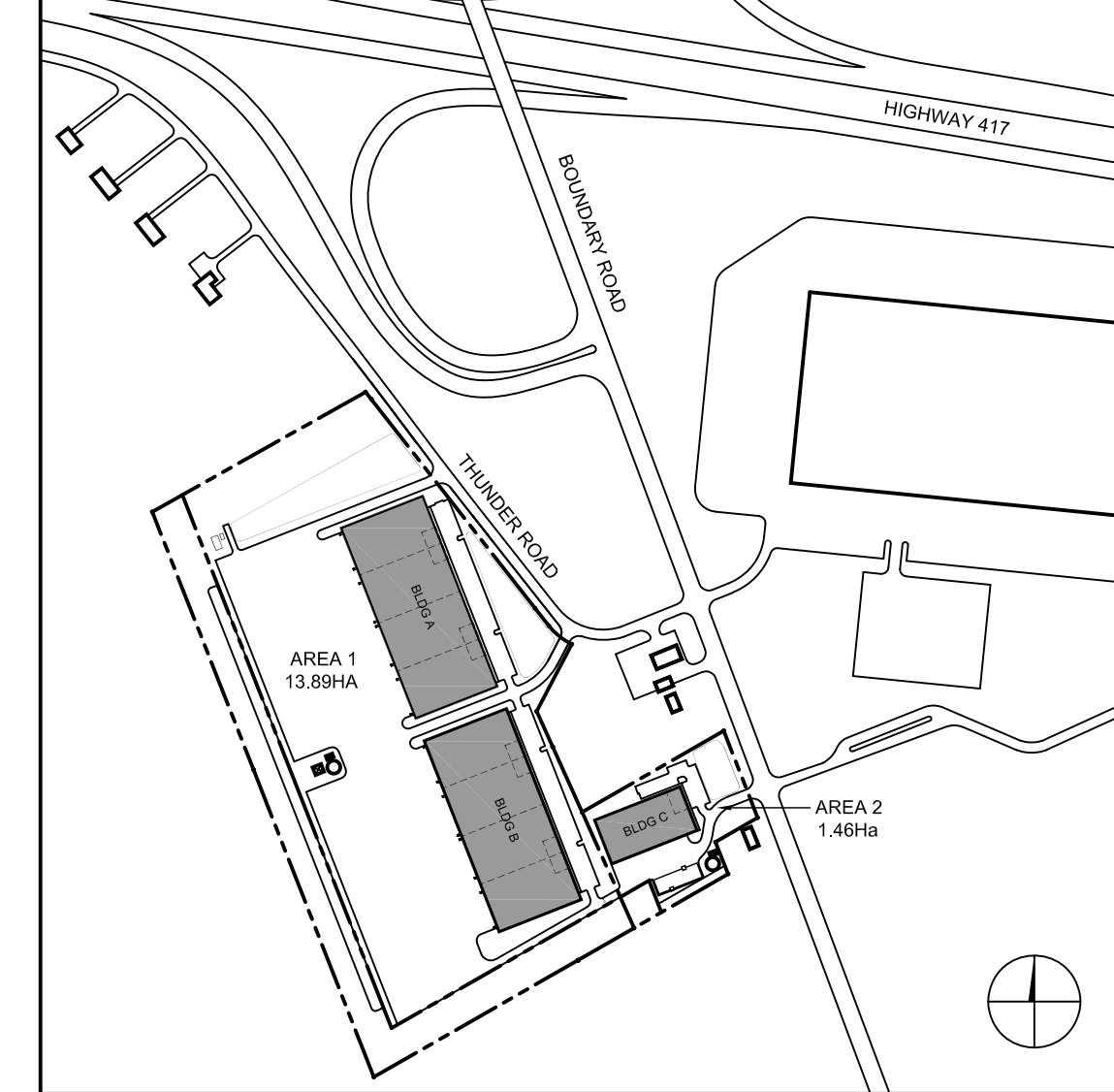
- NON-COMBUSTIBLE CONSTRUCTION
- FLOOR ASSEMBLIES SHALL HAVE A MIN 2HR FIRE RESISTANCE RATING
- MEZZANINES SHALL HAVE A MIN 1HR FIRE RESISTANCE RATING
- LOAD BEARING WALLS AND COLUMNS SHALL HAVE A FIRE RESISTANCE RATING NOT LESS THAN SUPPORTED ASSEMBLIES

3.2.3.1: SPATIAL SEPARATION - TABLE 3.2.3.1.E

- 15m MINIMUM SPATIAL SEPARATION FOR 100% AREA OF UNPROTECTED OPENINGS (EBF > 200m²)
- 10m MINIMUM SPATIAL SEPARATION FOR 50% AREA OF UNPROTECTED OPENINGS (EBF > 200M²)
- 9m SPATIAL SEPARATION FOR 100% AREA OF UNPROTECTED OPENINGS WHEN FACING A STREET

3.4.2.5: LOCATION OF EXITS

- 45m MAXIMUM TRAVEL DISTANCE

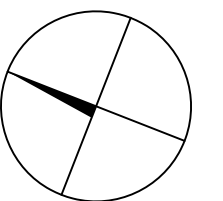


01 LOCATION PLAN

SPA-01 SCALE: NTS

BUILDING AREA SUMMARY	
BUILDING A:	14,493sm 156,000sf
BUILDING B:	14,493sm 156,000sf
BUILDING C:	3,510sm 37,800sf
TOTAL:	32,496sm 349,800sf

North



Revisions

No.	By	Description	Date
01	ERM	ISSUED FOR SITE PLAN APPLICATION	2023-05-19

Project

**THUNDER ROAD
INDUSTRIAL PARK**

6160 THUNDER ROAD, OTTAWA

Drawing
**LOCATION PLAN,
ZONING REVIEW
AND SITE PLAN C3**

Scale AS NOTED

Drawn ERM

Checked JAS

Stamp



Project No. 21-135

Date APRIL 2021

Drawing No.

SPA-01