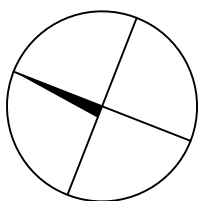


North



Revisions

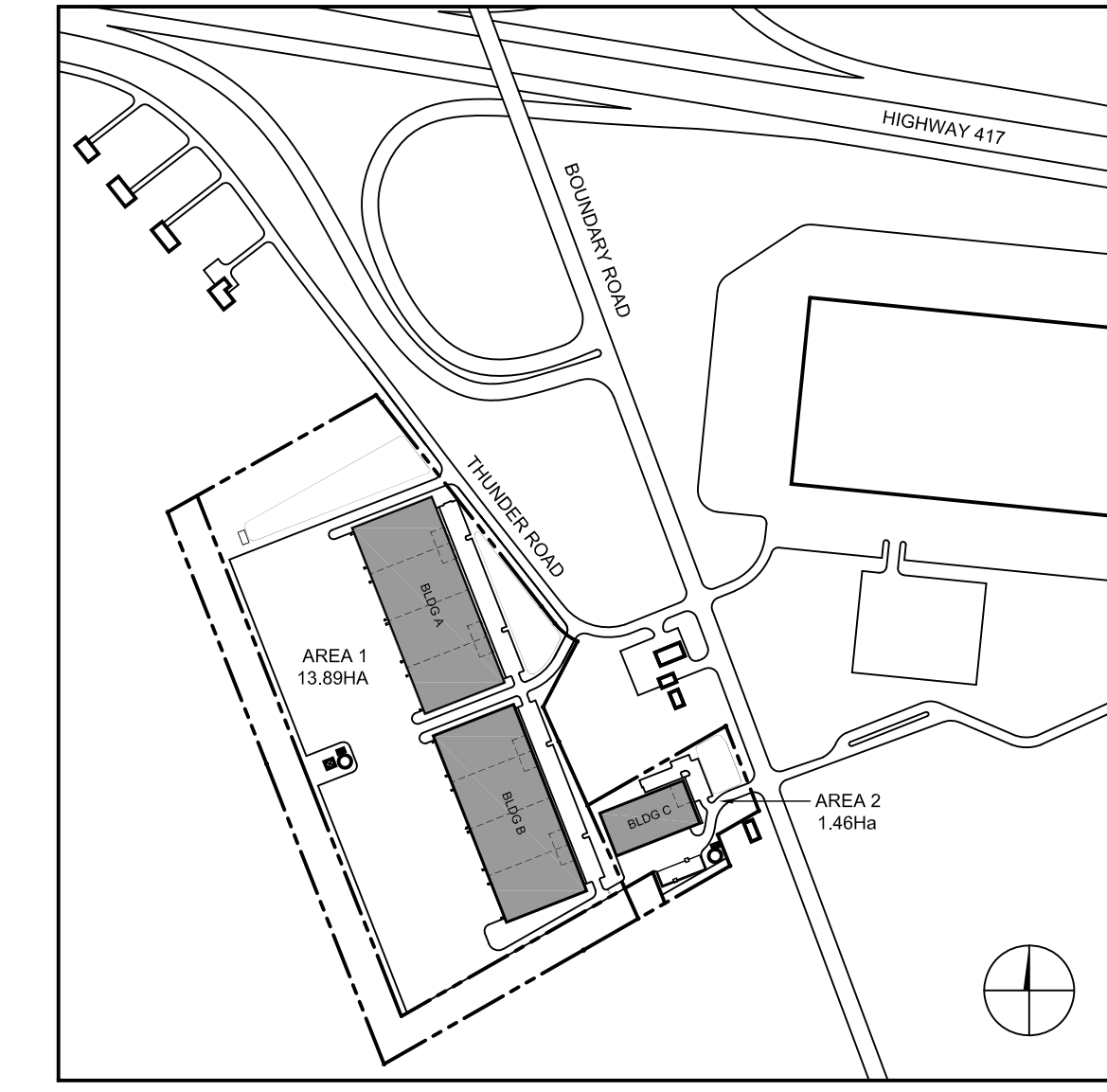
| No. | By | Description | Date |
|-----|-----|-------------------------|------------|
| 01 | ERM | ISSUED FOR REVIEW | 2023-02-06 |
| 02 | ERM | ISSUED FOR COORDINATION | 2023-02-14 |
| 03 | ERM | ISSUED FOR COORDINATION | 2023-03-24 |
| | | | |
| | | | |
| | | | |

03 SITE PLAN
SPA-01 SCALE: 1:1500

| ZONING MECHANISM: ZONING BY-LAW 2008-250 CONSOLIDATION | REQUIRED | PROVIDED |
|---|---|--|
| ZONING: RG(908R)-h RURAL GENERAL INDUSTRIAL ZONE | LIGHT INDUSTRIAL LIMITED COMMERCIAL | LIGHT INDUSTRIAL USE WAREHOUSE (N95) |
| MINIMUM LOT AREA | 0.4HA | AREA 1: 13.89HA AREA 2: 1.46HA TOTAL: 15.35HA 37.93 ACRES |
| MINIMUM LOT WIDTH | 30m | 425m THUNDER ROAD 82m BOUNDARY ROAD |
| MAXIMUM LOT COVERAGE | 50.0% | AREA 1: 20.8% (2.90HA) AREA 2: 24.0% (0.35HA) TOTAL: 21.17% (3.25HA) |
| MINIMUM FRONT YARD | 15m | COMPLIANT WITH ZONING |
| MINIMUM CORNER SIDE YARD | 12m | COMPLIANT WITH ZONING |
| MINIMUM INTERIOR YARD SETBACK | ABUTTING A RG, RH OR RC ZONE: 3m ALL OTHER CASES: 8m | COMPLIANT WITH ZONING |
| MINIMUM REAR YARD | 15m | COMPLIANT WITH ZONING |
| MAXIMUM FLOOR SPACE INDEX | 2 | COMPLIANT WITH ZONING |
| MAXIMUM BUILDING HEIGHT | 15m | 10.5m |
| OUTDOOR STORAGE | NOT PERMITTED WITHIN ANY REQUIRED FRONT OR CORNER YARD STORAGE MUST BE SCREEN WHEN ABUTTING RESIDENTIAL ZONES AND PUBLIC STREETS | COMPLIANT WITH ZONING COMPLIANT WITH ZONING |

| ZONING MECHANISM: ZONING BY-LAW 2008-250 CONSOLIDATION | REQUIRED | PROVIDED |
|--|---|---|
| MINIMUM WIDTH OF LANDSCAPING | 3m | COMPLIANT WITH ZONING |
| PARKING - TYPICAL SECTION 101 | BUILDING A: 14,493sm 78 TYPICAL 1 BARRIER-FREE BUILDING B: 14,493sm 78 TYPICAL 1 BARRIER-FREE BUILDING C: 3,510sm 27 TYPICAL 1 BARRIER-FREE TOTAL 183 TYPICAL 3 BARRIER-FREE | 117 TYPICAL 3 BARRIER-FREE TYPE A 3 BARRIER-FREE TYPE B 121 TYPICAL 3 BARRIER-FREE TYPE A 3 BARRIER-FREE TYPE B 40 TYPICAL 1 BARRIER-FREE TYPE A 1 BARRIER-FREE TYPE B 278 TYPICAL 7 BARRIER-FREE TYPE A 7 BARRIER-FREE TYPE B |
| PARKING - BARRIER-FREE SECTION 111 PART C BY-LAW 2017-301 AND SECTION 3.1 - CITY OF OTTAWA ACCESSIBILITY DESIGN STANDARDS | BUILDING A: 14,493sm 8 SPACES BUILDING B: 14,493sm 8 SPACES BUILDING C: 3,510sm 2 SPACES TOTAL 18 SPACES | 8 - LOCATION TO BE DETERMINED 8 - LOCATION TO BE DETERMINED 4 - LOCATION TO BE DETERMINED |
| BICYCLE PARKING SECTION 111 | BUILDING A: 14,493sm 8 SPACES BUILDING B: 14,493sm 8 SPACES BUILDING C: 3,510sm 2 SPACES TOTAL 18 SPACES | 8 - LOCATION TO BE DETERMINED 8 - LOCATION TO BE DETERMINED 4 - LOCATION TO BE DETERMINED |
| WAREHOUSE 1 SPACE PER 2000m2 BY-LAW 2015-190 | BUILDING A: 14,493sm 8 SPACES BUILDING B: 14,493sm 8 SPACES BUILDING C: 3,510sm 2 SPACES TOTAL 18 SPACES | 8 - LOCATION TO BE DETERMINED 8 - LOCATION TO BE DETERMINED 4 - LOCATION TO BE DETERMINED |

| ZONING MECHANISM: ZONING BY-LAW 2008-250 CONSOLIDATION | REQUIRED | PROVIDED |
|---|--|--|
| LOADING SPACE SECTION 113 | BUILDING A 2 OVERSIZED (4.3m X 13m) BUILDING B 2 OVERSIZED (4.3m X 13m) BUILDING C 2 OVERSIZED (4.3m X 13m) | 20 OVERSIZED (1 PER 8,000sf) 20 OVERSIZED (1 PER 8,000sf) 8 OVERSIZED (1 PER 6,000sf) |
| LIGHT INDUSTRIAL USE | BUILDING A 2 OVERSIZED (4.3m X 13m) BUILDING B 2 OVERSIZED (4.3m X 13m) BUILDING C 2 OVERSIZED (4.3m X 13m) | 20 OVERSIZED (1 PER 8,000sf) 20 OVERSIZED (1 PER 8,000sf) 8 OVERSIZED (1 PER 6,000sf) |
| BUILDING CLASSIFICATION: | GROUP F, DIVISION 2, ANY HEIGHT, ANY AREA SPRINKLERED NON-COMBUSTIBLE CONSTRUCTION FLOOR ASSEMBLIES SHALL HAVE A MIN 2HR FIRE RESISTANCE RATING MEZZANINES SHALL HAVE A MIN 1HR FIRE RESISTANCE RATING LOAD BEARING WALLS AND COLUMNS SHALL HAVE A FIRE RESISTANCE RATING NOT LESS THAN SUPPORTED ASSEMBLIES | |
| 3.2.3.1: | SPATIAL SEPARATION - TABLE 3.2.3.1.E 15m MINIMUM SPATIAL SEPARATION FOR 100% AREA OF UNPROTECTED OPENINGS (EBF > 200m2) 10m MINIMUM SPATIAL SEPARATION FOR 80% AREA OF UNPROTECTED OPENINGS (EBF > 200M2) 9m SPATIAL SEPARATION FOR 100% AREA OF UNPROTECTED OPENINGS WHEN FACING A STREET | |
| 3.4.2.5: | LOCATION OF EXITS 45m MAXIMUM TRAVEL DISTANCE | |



01 LOCATION PLAN
SPA-01 SCALE: NTS

Project

THUNDER ROAD INDUSTRIAL PARK

6160 THUNDER ROAD, OTTAWA

Drawing

**LOCATION PLAN,
ZONING REVIEW
AND SITE PLAN C3**

Scale AS NOTED Stamp

Drawn ERM

Checked JAS

Project No. 21-135

Drawing No.

Date APRIL 2021

SPA-01