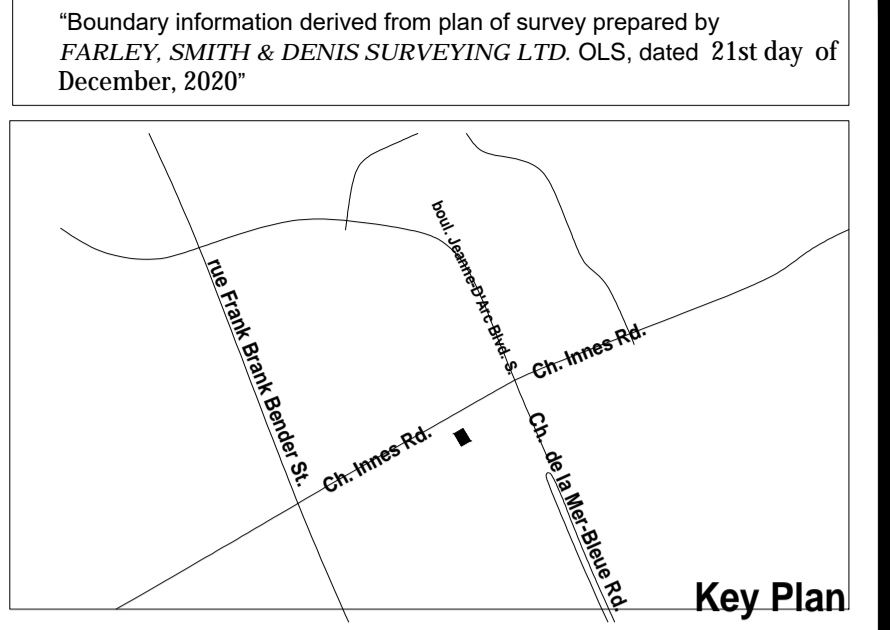
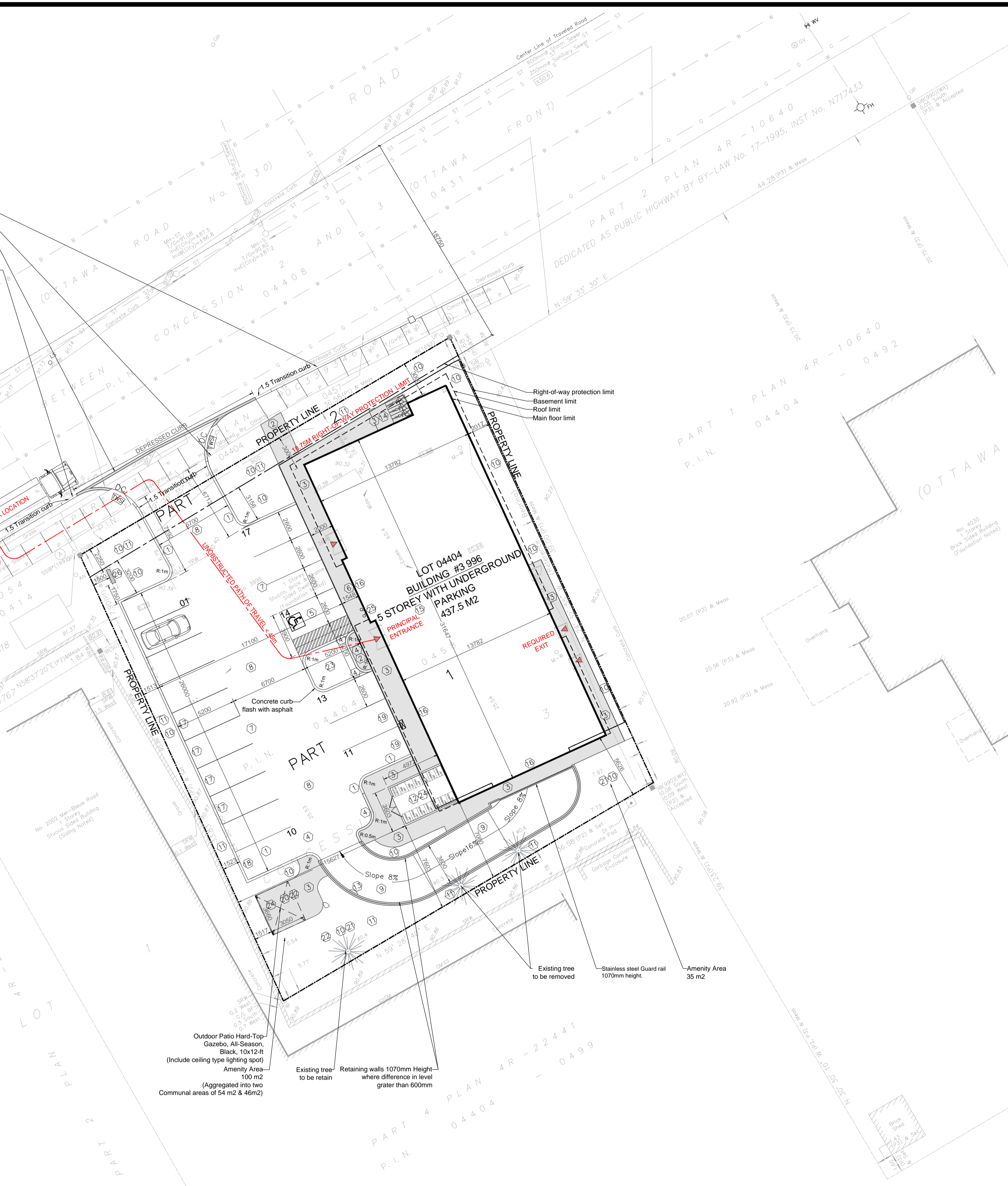


- LEGEND**
- 1 CONCRETE CURB
  - 2 CONCRETE WALKWAY
  - 3 PAVEMENT / WALKWAY
  - 4 DEPRESSED SIDEWALK
  - 5 PARKING SPACE FOR DISABLED
  - 6 WALL MOUNTED MUNICIPAL SIGN FOR DISABLED PARKING
  - 7 PAINT MARKS
  - 8 ASPHALT
  - 9 CONCRETE SLAB / OR RAMP
  - 10 GRASS
  - 11 LANDSCAPED AREA
  - 12 TRASH ENCLOSURE FOR CARTS
  - 13 3 OUTDOOR BICYCLE STALLS
  - 14 9 INDOOR BICYCLE STALLS (610mmX 1070mm)
  - 15 WALL MOUNTED LIGHTING ON BUILDING
  - 16 VISITOR PARKING SIGN
  - 17 RESIDENT PARKING SPACE
  - 18 ELECTRICAL CHARGING STATION
  - 19 OUTDOOR PATIO GAZEBO
  - 20 AMENITY AREA
  - 21 COMMUNAL AMENITY AREA AREA
  - 22 CONCRETE PAVED AREA DELIVERY TRUCK LOADING/UNLOADING AND 3 POINTS TURNING SPACE FOR GARBAGE TRUCK
  - 23 CEILING MOUNTED LIGHTING
  - 24 FIRE DEPARTMENT CONNECTION
  - 25 FREE STANDING SIGNAGE

ISSUED FOR			REVISION				
No	DATE	DESCRIPTION	App.	No	DATE	DESCRIPTION	App.
2021.11.23		SITE PLAN CONTROL APPLICATION	P.T.	2022.04.11		CITY COMMENTS 11 MARCH 2022	P.T.
			P.T.	2022.07.08		CITY COMMENTS 29 APRIL 2022	P.T.



**BUILDING CODE ANALYSIS**

- 5 STOREYS MIXED USE BUILDING WITH BASEMENT FACING 1 STREET
- PARTS 3 OF OSC 2017, USE: GROUP "E", "D", "C" & "F3"
- CLASSIFICATION: 3.2.2.43. Group C, up to 6 Storeys, Sprinklered; 3.2.2.51. Group D, up to 6 Storeys, Sprinklered; 3.2.2.57. Group E, up to 6 Storeys, Sprinklered; 3.2.2.74. Group F, Division 3, up to 6 Storeys
- NONCOMBUSTIBLE CONSTRUCTION
- REQUIRED SPRINKLER AND STANDPIPE SYSTEM
- OCCUPANCY: BASEMENT - CAR PARK; 1ST FLOOR - PHARMACY AND MEDICAL FACILITY; UPPER FLOORS - RESIDENTIAL
- BUILDING AREA: 586.9m<sup>2</sup> / .... sq.ft.
- GROSS FLOOR AREA: BASEMENT 586.9 m<sup>2</sup>; 1ST FLOOR 437.5 m<sup>2</sup>; TYPICAL FLOORS 2066.4 m<sup>2</sup>; (516.6 m<sup>2</sup> \* 4 FLOORS); FIFTH FLOOR 400 m<sup>2</sup>
- TOTAL GROSS FLOOR AREA 3,558.8 m<sup>2</sup> / 37,779.2 sq.ft.
- FIRST FLOOR FIRE SEPARATION: 2HR FIRE RESISTANCE REQUIRED CW VERTICAL STRUCTURAL COMPONENTS
- SECOND FLOOR FIRE SEPARATION: 2HR FIRE RESISTANCE RATING REQUIRED BETWEEN GROUP "E" AND GROUP "C" CW VERTICAL STRUCTURAL COMPONENTS
- FIRE SEPARATION RATINGS FOR TYPICAL FLOORS: 1HR FRR REQUIRED CW VERTICAL STRUCTURAL COMPONENTS
- 34HR FRR, 50% STC REQUIRED BETWEEN PUBLIC CORRIDOR AND THE RESIDENTIAL UNITS
- 1HR FIRE RESISTANCE AND 50 STC REQUIRED BETWEEN ELEVATOR AND THE RESIDENTIAL UNITS
- FIRE RESISTANCE FOR ROOF: NOT REQUIRED FOR NONCOMBUSTIBLE CONST.
- PLUMBING EQUIPMENTS: 1 WASHROOM MIN. PER RESIDENTIAL UNIT REQUIRED AND ONE PUBLIC HANDICAP 2 WASHROOM PROPOSED FOR FIRST FLOOR RETAIL AND MEDICAL FACILITY THAT INCLUDE 1 FOR HANDICAPS
- 2 STANDARD WASHROOM ARE PROVIDED FOR EMPLOYEES ONLY
- BARRIER FREE PATH OF TRAVEL PROVIDED FOR ALL FLOORS ACCORDING TO SECTION 3.8.

**BASEMENT GROSS FLOOR AREA: 586.9 M2**  
**COMMERCIAL GROSS FLOOR AREA: 456.5M2**  
**(CLINIC NET AREA: 200 M2) (PHARMACY NET AREA: 169.2 M2)**  
**RESIDENTIAL GROSS FLOOR AREA: 2 066.4 M2**

**GROSS FLOOR AREA OF RESIDENTIAL SUITES**

SUITE 201, 301, 401	SUITE 203, 303, 403	SUITE 205, 305, 405	SUITE 501
76.3M2	77.6M2	69.0M2	187.1M2
SUITE 202, 302, 402	SUITE 204, 304, 404	SUITE 206, 306, 406	SUITE 502
76.3M2	84.15M2	80.7M2	173.5M2

**AREA (C) OF SCHEDULE A1 ZONING BY-LAW NO.2009-250**

DWELLING UNITS IN MIXED-USE BUILDING (TABLE 101-R10)	RATE	UNIT	PARKING REQUIRED
1 Stall/dwelling unit	20 units	20 Stalls	
VISITOR PARKING (TABLE 102)	0.2 Stalls / dwelling unit	20 units	4 Stalls
MEDICAL FACILITY (table 101-N5)	4 Stalls / 100m <sup>2</sup> of GFA	185 m <sup>2</sup>	7.4 Stalls
RETAIL USE (PHARMACY)	3.4 Stalls/ 100m <sup>2</sup>	160 m <sup>2</sup>	5.4 Stalls
10% REDUCTION AS PER SEC. 101 (C)	-10%	20 units	-2 Stalls
SHARED PARKING REDUCTION	-25% of visitor parking	0.6	-1.36 Stalls
WEEKDAY AFTERNOON (TABLE 10a)	-15% of retail stalls	0.76	

86 PARKING STALLS PROVIDED IN THE BASE BUILDING INCLUDE 2 ACCESSIBLE

**ZONING MECHANISMS - AM ZONE**

DESCRIPTION	REQUIREMENTS	PROVIDED
MINIMUM LOT AREA	NO MINIMUM	1 524.64m <sup>2</sup>
MINIMUM LOT WIDTH	NO MINIMUM	
FRONT YARD AND CORNER SIDE YARD	NO MINIMUM	1st FLOOR: 3m Others Floors: 1.3m
MINIMUM INTERIOR SIDE YARD	NO MINIMUM	1.975m
MINIMUM REAR YARD	NO MINIMUM	5.6m
MAXIMUM BUILDING HEIGHT	25M	18.6m
MAXIMUM FLOOR SPACE INDEX	2 or 3.5	
MINIMUM WIDTH OF LANDSCAPED AREA AROUND A PARKING LOT ABUTTING A STREET	3m	3m
MINIMUM WIDTH OF LANDSCAPED AREA AROUND A PARKING LOT NOT ABUTTING A STREET	1.5m	1.5m
AMENITY SPACE REQUIREMENTS FOR MIXED-USE BUILDING, SEC.137 (S. 10.95 COMMUNAL AMENITY AREA)	6m <sup>2</sup> per dwelling unit	1356m <sup>2</sup> Include Communal 100m <sup>2</sup>
MINIMUM LANDSCAPED AREA REQUIREMENT	15% of 270.5 m <sup>2</sup>	76.74 m <sup>2</sup> = 28.3%

**BYCICLE PARKING SPACE TABLE**

PARKING TYPE	RATE	UNIT	PARKING REQUIRED
MEDICAL FACILITY	1 per 1000m <sup>2</sup> of GFA	300 m <sup>2</sup>	1 Space
RETAIL STORE (PHARMACY)	1 per 20m <sup>2</sup> of GFA	175 m <sup>2</sup>	1 Space
DWELLING UNITS IN A MIXED-USE BUILDING (TABLE 101-R10)	0.5 / dwelling unit	20 units	10 Space
TOTAL			12 Spaces

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Project: **ORLEANS RESIDENTIAL & MEDICAL FACILITY**  
 3996 INNES RD, OTTAWA ON.

Title: **PROPOSED SITE PLAN**

Date: 2022/07/08  
 Revision: 2

Scale: Sheet: Scale: 1:200  
 Drawing No: **A-100**

Drawn / : A. Aldu.  
 Verify / : P.Tabet

City File No. D07-12-21-0209