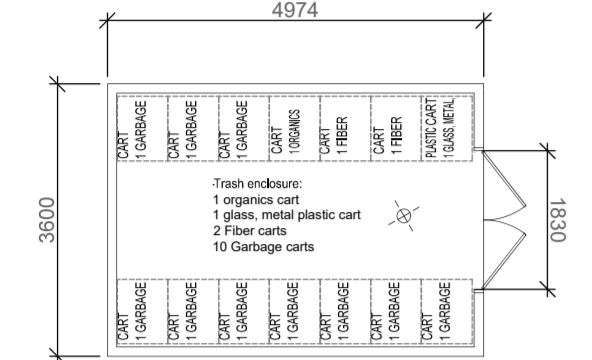
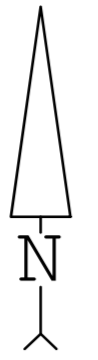
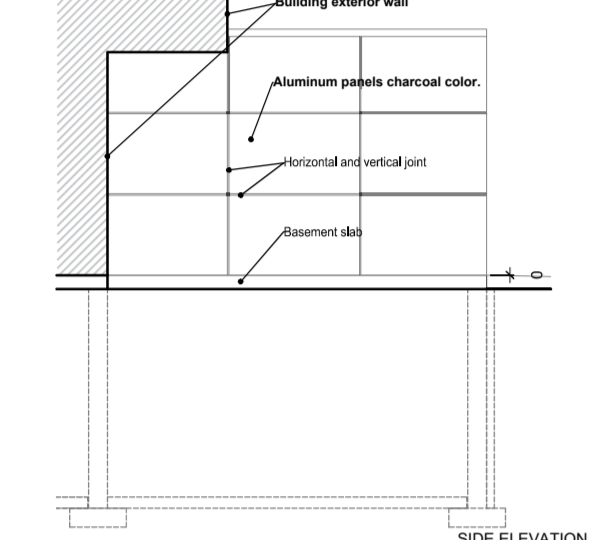


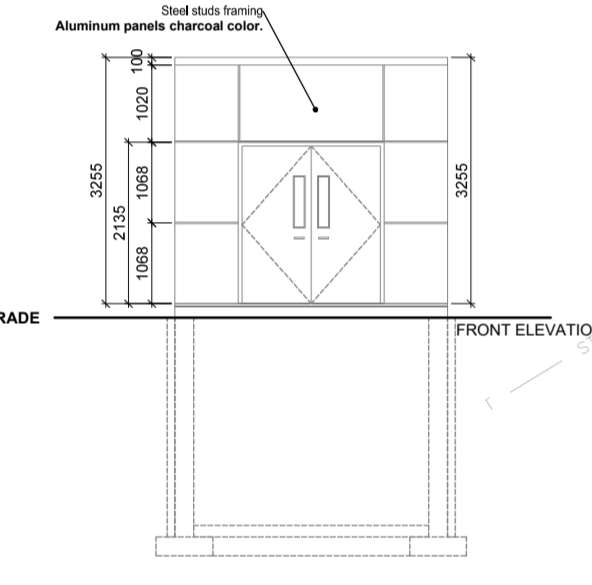
TYPICAL BIKE RACK LAYOUT
SCALE 1:100



PLAN

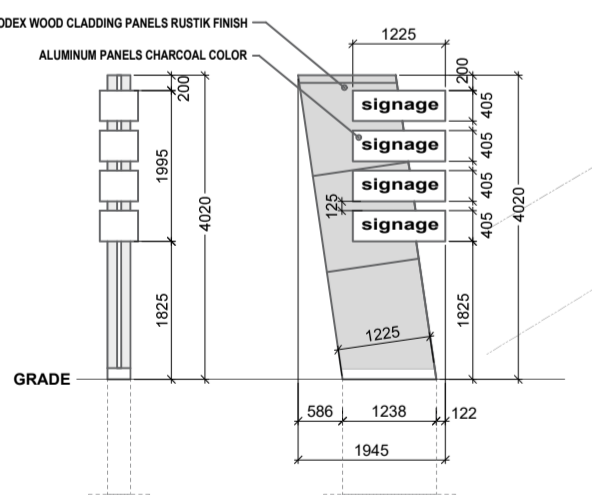


SIDE ELEVATION



FRONT ELEVATION

TRASH ENCLOSURE DETAIL
SCALE 1:100



FRONT VIEW

SIDE VIEW

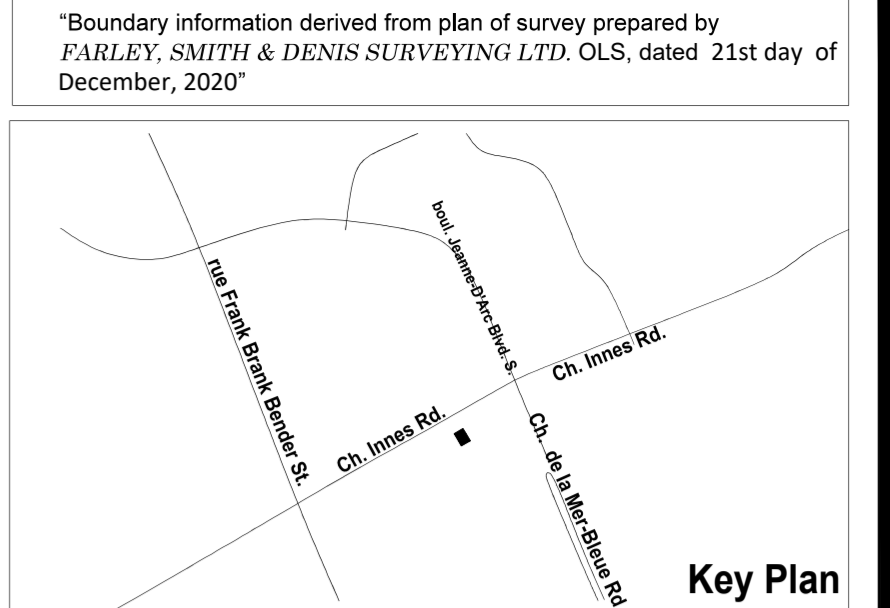
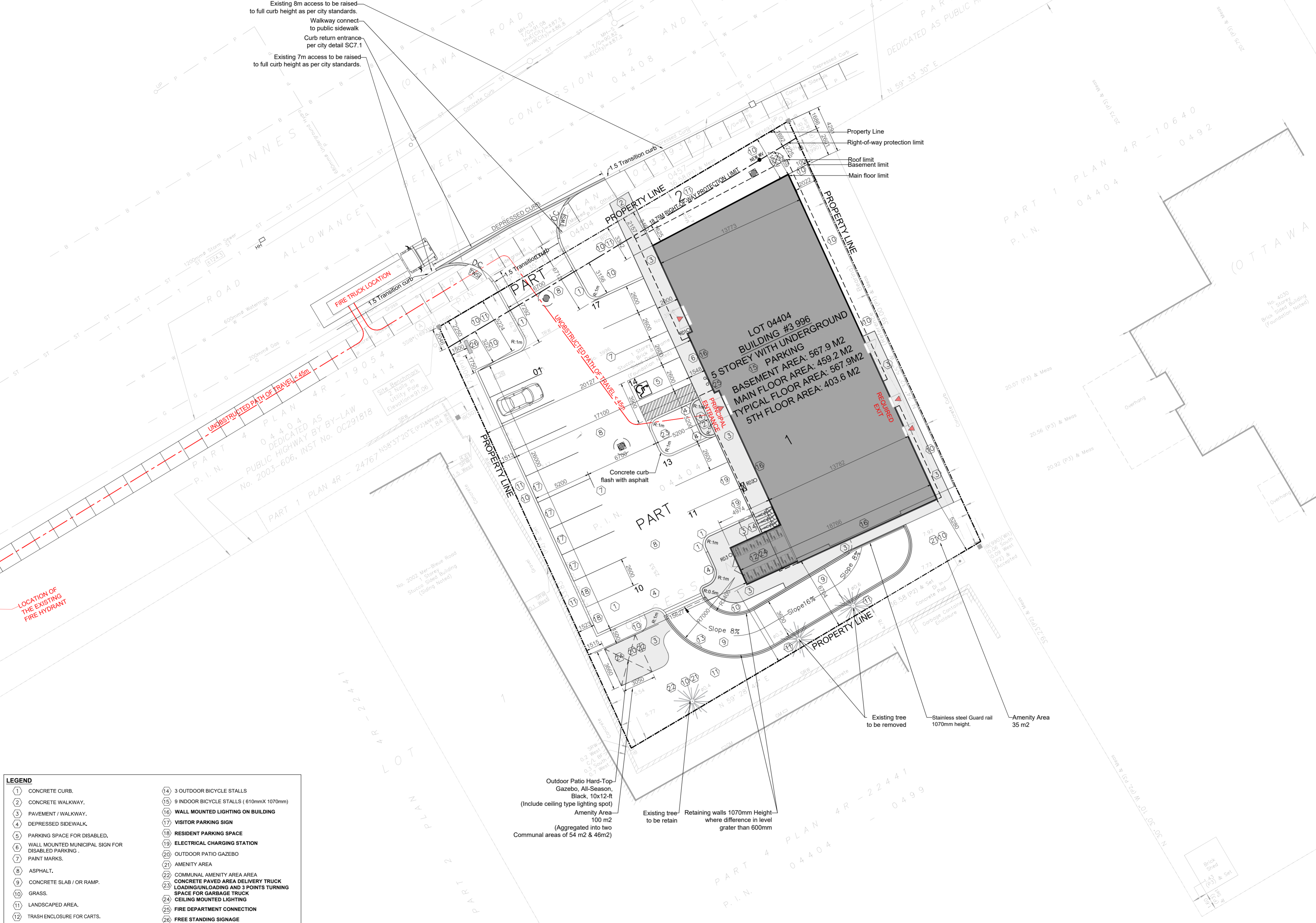
PLAN

FREE STANDING SIGNAGE
SCALE 1:100

LEGEND

1	CONCRETE CURB.	14	3 OUTDOOR BICYCLE STALLS
2	CONCRETE WALKWAY.	15	9 INDOOR BICYCLE STALLS (610mmx1070mm)
3	PAVEMENT / WALKWAY.	16	WALL MOUNTED LIGHTING ON BUILDING
4	DEPRESSED SIDEWALK.	17	VISITOR PARKING SIGN
5	RESIDENT PARKING SPACE	18	PARKING SPACE FOR DISABLED.
6	WALL MOUNTED MUNICIPAL SIGN FOR DISABLED PARKING.	19	ELECTRICAL CHARGING STATION
7	PAINT MARKS.	20	OUTDOOR PATIO GAZEBO
8	ASPHALT.	21	AMENITY AREA
9	CONCRETE SLAB / OR RAMP.	22	COMMUNAL AMENITY AREA AREA
10	GRASS.	23	CONCRETE PAVED AREA DELIVERY TRUCK LOADING/UNLOADING AND 3 POINTS TURNING SPACE FOR GARBARGE TRUCK
11	LANDSCAPED AREA.	24	CEILING MOUNTED LIGHTING
12	TRASH ENCLOSURE FOR CARTS.	25	FIRE DEPARTMENT CONNECTION
		26	FREE STANDING SIGNAGE

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Key Plan



BUILDING CODE ANALYSIS

- 5 STOREYS MIXED USE BUILDING WITH BASEMENT FACING 1 STREET
- PARTS 3 OF OBC 2017, USE: GROUP 'E', 'D', 'C' & F3
- CLASSIFICATION:
 - 3.2.2.43. Group C, up to 6 Storeys, Sprinklered
 - 3.2.2.51. Group D, up to 6 Storeys, Sprinklered
 - 3.2.2.57. Group E, up to 6 Storeys, Sprinklered
 - 3.2.2.74. Group F, Division 3, up to 6 Storeys
- NONCOMBUSTIBLE CONSTRUCTION.
- REQUIRED SPRINKLER AND STANDPIPE SYSTEM.
- OCCUPANCY:
 - BASEMENT - CAR PARK.
 - 1ST FLOOR - PHARMACY AND MEDICAL FACILITY.
 - UPPER FLOORS - RESIDENTIAL.
- BUILDING AREA: 4582 m².
- GROSS FLOOR AREA:
 - BASEMENT 467.9 m²
 - 1ST FLOOR 459.2 m²
 - TYPICAL FLOORS 1703.7 m²
 - 5TH FLOOR 403.6 m²
- TOTAL GROSS FLOOR AREA: 3034.4 m² / 327 792 sq.ft.
- FIRST FLOOR FIRE SEPARATION: 2HR FIRE-RESISTANCE REQUIRED CW VERTICAL STRUCTURAL COMPONENTS.
- SECOND FLOOR FIRE SEPARATION: 2HR FIRE-RESISTANCE RATING REQUIRED BETWEEN GROUP 'E' AND GROUP 'D' CW VERTICAL STRUCTURAL COMPONENTS.
- FIRE SEPARATION RATING FOR TYPICAL FLOORS: 1HR FRR REQUIRED CW VERTICAL STRUCTURAL COMPONENTS.
- 3HR FRR, 60 MIN REQUIRED BETWEEN PUBLIC CORRIDOR AND THE RESIDENTIAL UNITS.
- 1HR FIRE-RESISTANCE AND 60 MIN REQUIRED BETWEEN ELEVATOR AND THE RESIDENTIAL UNITS.
- FIRE RESISTANCE FOR ROOF: NOT REQUIRED FOR NONCOMBUSTIBLE CONST.
- PLUMBING EQUIPMENTS:
 - 1 WASHROOM PER RESIDENTIAL UNIT REQUIRED AND ONE PUBLIC HANDICAP
 - 2 WASHROOM PROPOSED FOR FIRST FLOOR RETAIL AND MEDICAL FACILITY THAT INCLUDE 1 FOR HANDICAPS
 - 2 STANDARD WASHROOM ARE PROPOSED FOR EMPLOYEES ONLY.
 - BARRIER FREE PATH OF TRAVEL PROVIDED FOR ALL FLOORS ACCORDING TO SECTION 3.8.

BASEMENT GROSS FLOOR AREA : 467.9 M2
COMMERCIAL GROSS FLOOR AREA : 456.5M2
(CLINIC NET AREA : 200 M2) (PHARMACY NET AREA : 169.2 M2)
RESIDENTIAL GROSS FLOOR AREA : 2 066.4 M2

GROSS FLOOR AREA OF RESIDENTIAL SUITES

SUITE 201, 301, 401	SUITE 203, 303, 403	SUITE 205, 305, 405	SUITE 501
76.3M2	77.6M2	69.0M2	187.1M2
SUITE 202, 302, 402	SUITE 204, 304, 404	SUITE 206, 306, 406	SUITE 502
76.3M2	84.15M2	80.7M2	173.5M2

AREA (C) OF SCHEDULE A1 ZONING BY-LAW NO. 2009-250

PARKING TYPE	RATE	UNIT	PARKING REQUIRED
DWELLING UNITS IN MIXED-USE BUILDING (TABLE 101-R16)	1 Stall/dwelling unit	20 units	20 Stalls
VISITOR PARKING (TABLE 102)	0.2 Stalls/dwelling unit	20 units	4 Stalls
MEDICAL FACILITY (table 101-N51)	4 Stalls / 100m2 of GFA	185 m2	7.4 Stalls
RETAIL USE (PHARMACY)	3.4 Stalls/ 100m2	160 m2	5.4 Stalls
10% REDUCTION AS PER SEC. 101.6 (C)	-10%	20 units	-2 Stalls
SHARED PARKING REDUCTION	25% of visitor parking	0.6	-1.36 Stalls
WESION AFTERNOON (TABLE 106)	1.25% of total stalls	0.76	33.44 Stalls
TOTAL OF REQUIRED PARKING STALLS			35 PARKING STALLS

ZONING MECHANISMS - AM ZONE

DESCRIPTION	REQUIREMENTS	PROVIDED
MINIMUM LOT AREA	NO MINIMUM	1 524.64m2
MINIMUM LOT WIDTH	NO MINIMUM	
FRONT YARD AND CORNER SIDE YARD	NO MINIMUM	1st FLOOR: 3m Others Floors : 1.3m
MINIMUM INTERIOR SIDE YARD	NO MINIMUM	1.97m
MINIMUM REAR YARD	NO MINIMUM	5.6m
MAXIMUM BUILDING HEIGHT	25M	18.6m
MAXIMUM FLOOR SPACE INDEX	2 or 3.5	
MINIMUM WIDTH OF LANDSCAPED AREA AROUND A PARKING LOT ADJUTING A STREET	3m	3m
MINIMUM WIDTH OF LANDSCAPED AREA AROUND A PARKING LOT NOT ADJUTING A STREET	1.5m	1.5m
AMENITY SPACE REQUIREMENTS FOR MIXED USE BUILDING, SEC. 137 (S. 1) IN 95 COMMUNAL AMENITY AREA	6m2 per dwelling unit = 120 m2	135m2 Include Communal 100m2
MINIMUM LANDSCAPED AREA REQUIREMENT	15% of	76.74 m2 = 28.3%

BYCICLE PARKING SPACE TABLE

PARKING TYPE	RATE	UNIT	PARKING REQUIRED
MEDICAL FACILITY	1 per 1000m2 of GFA	185 m2	1 Space
RETAIL STORE (PHARMACY)	1 per 250m of GFA	160 m2	1 Space
DWELLING UNITS IN A MIXED-USE BUILDING (TABLE 101-R16)	0.5 / dwelling unit	20 units	10 Space
TOTAL			12 Spaces



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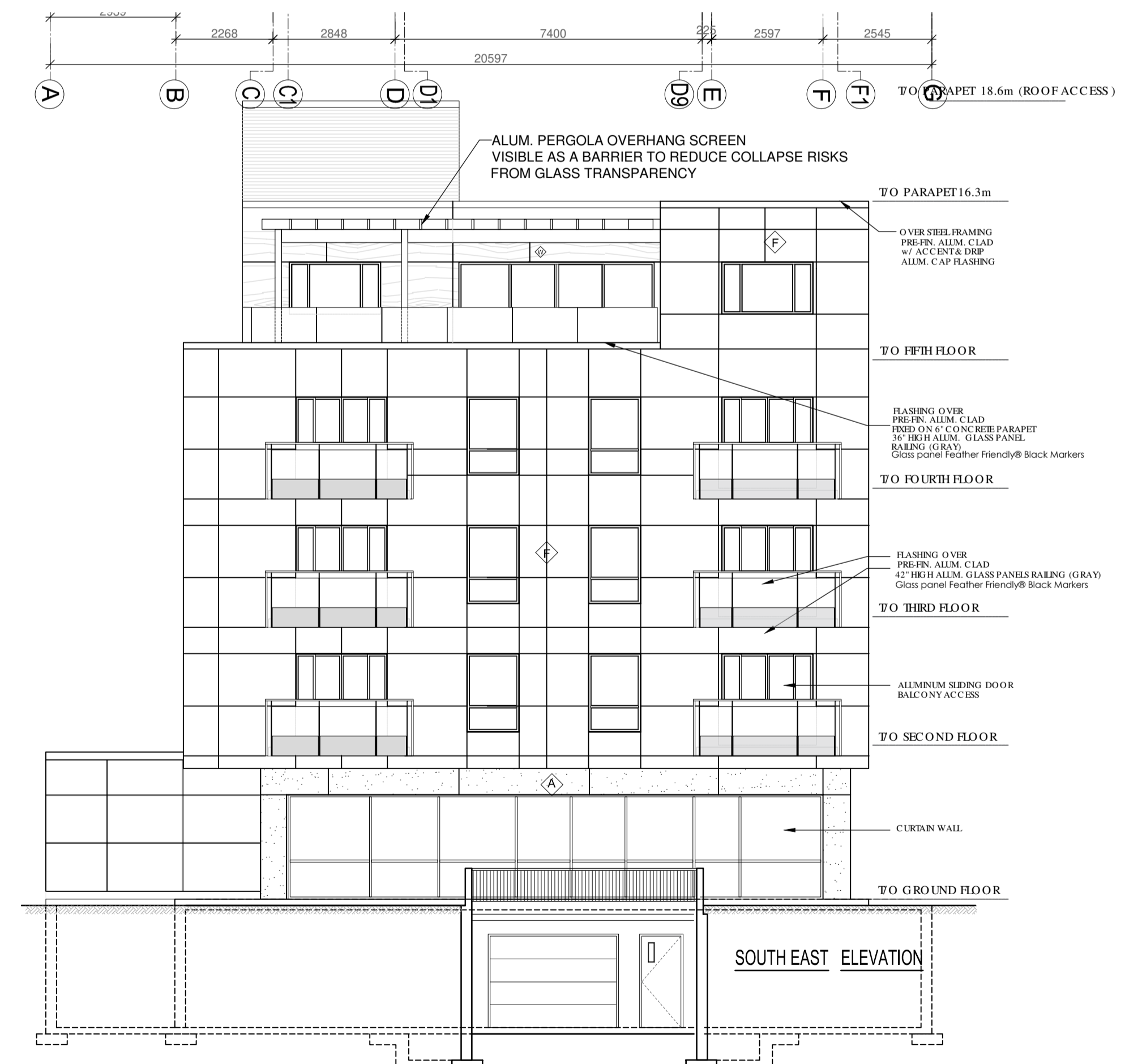
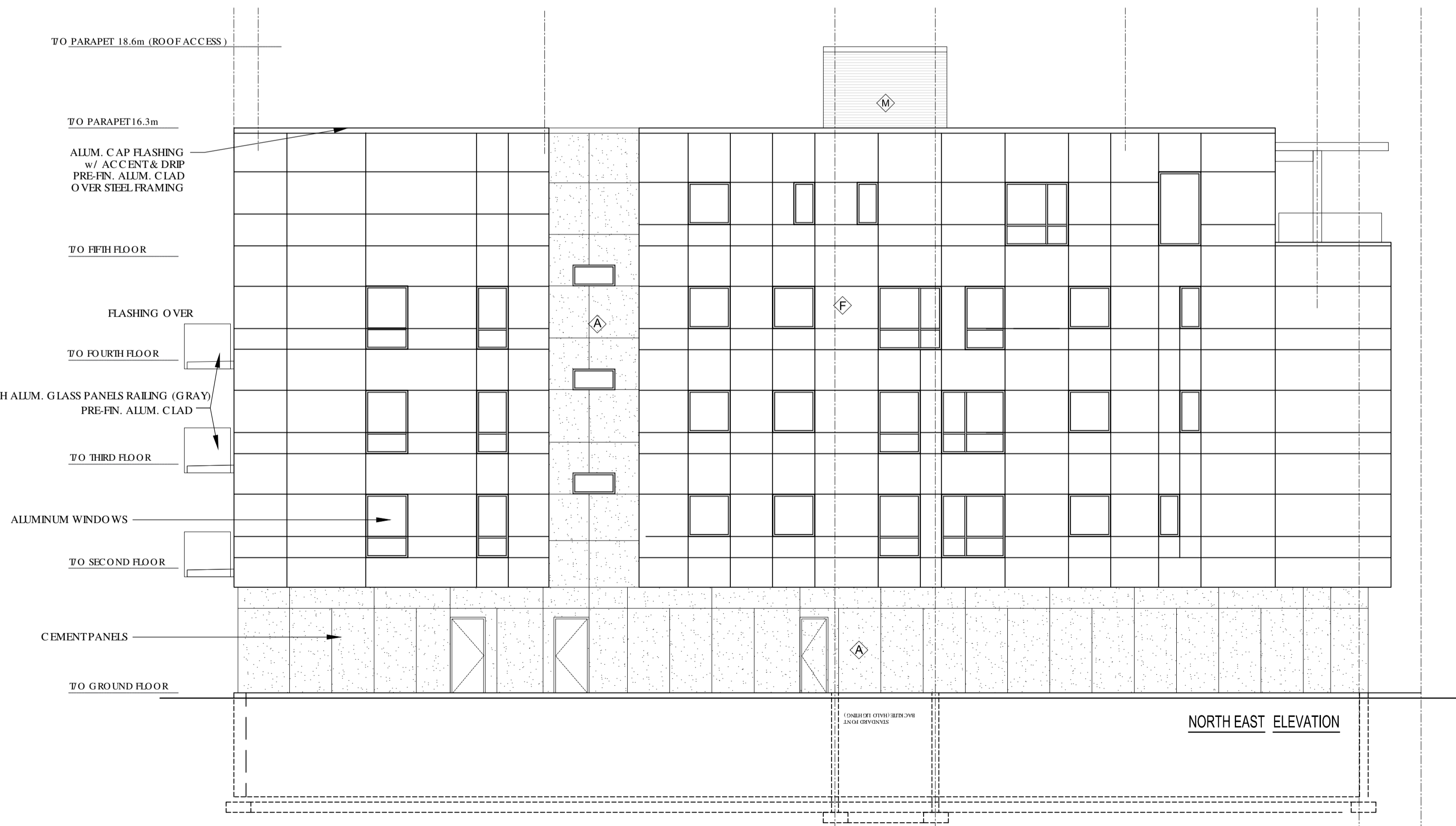
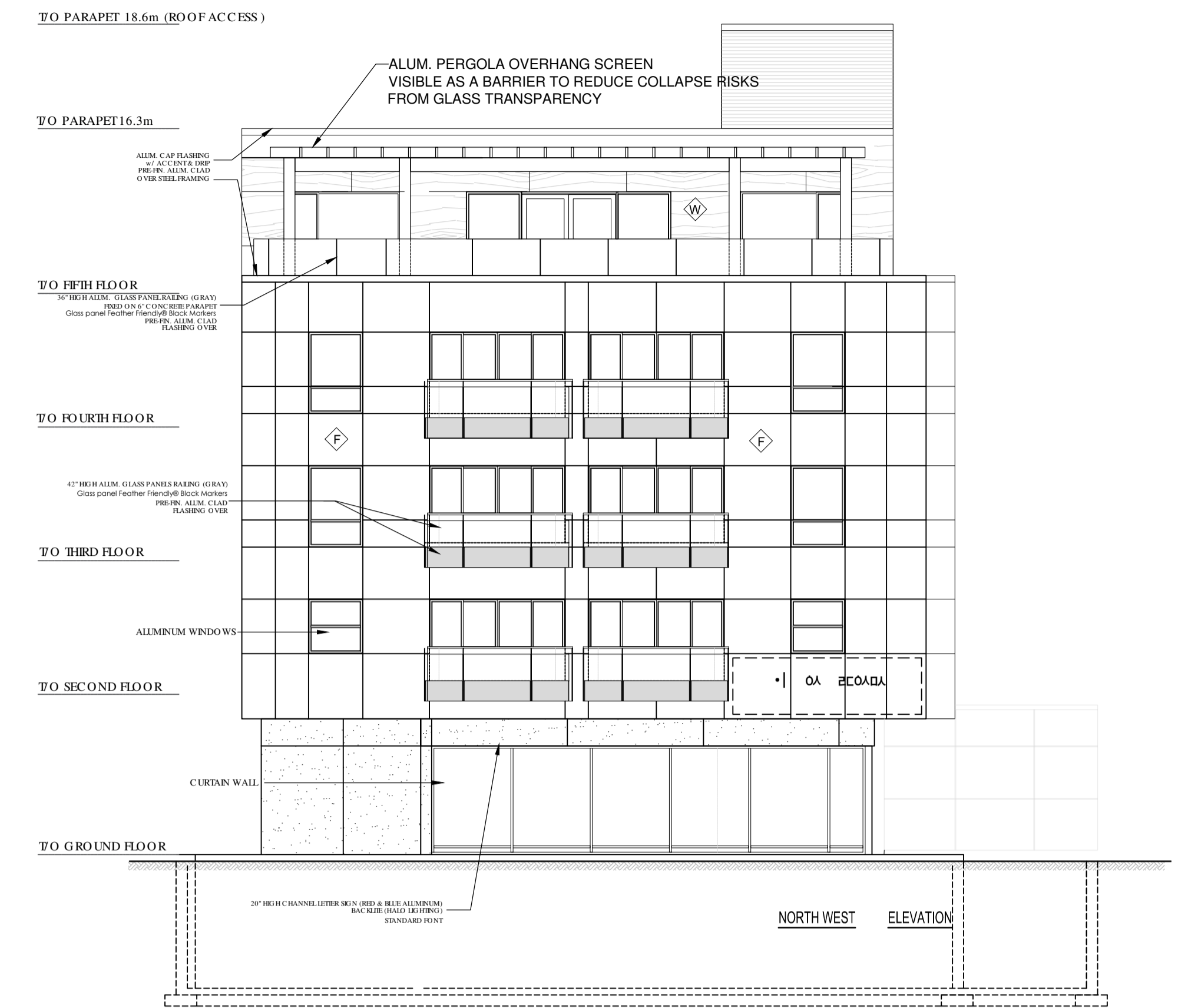
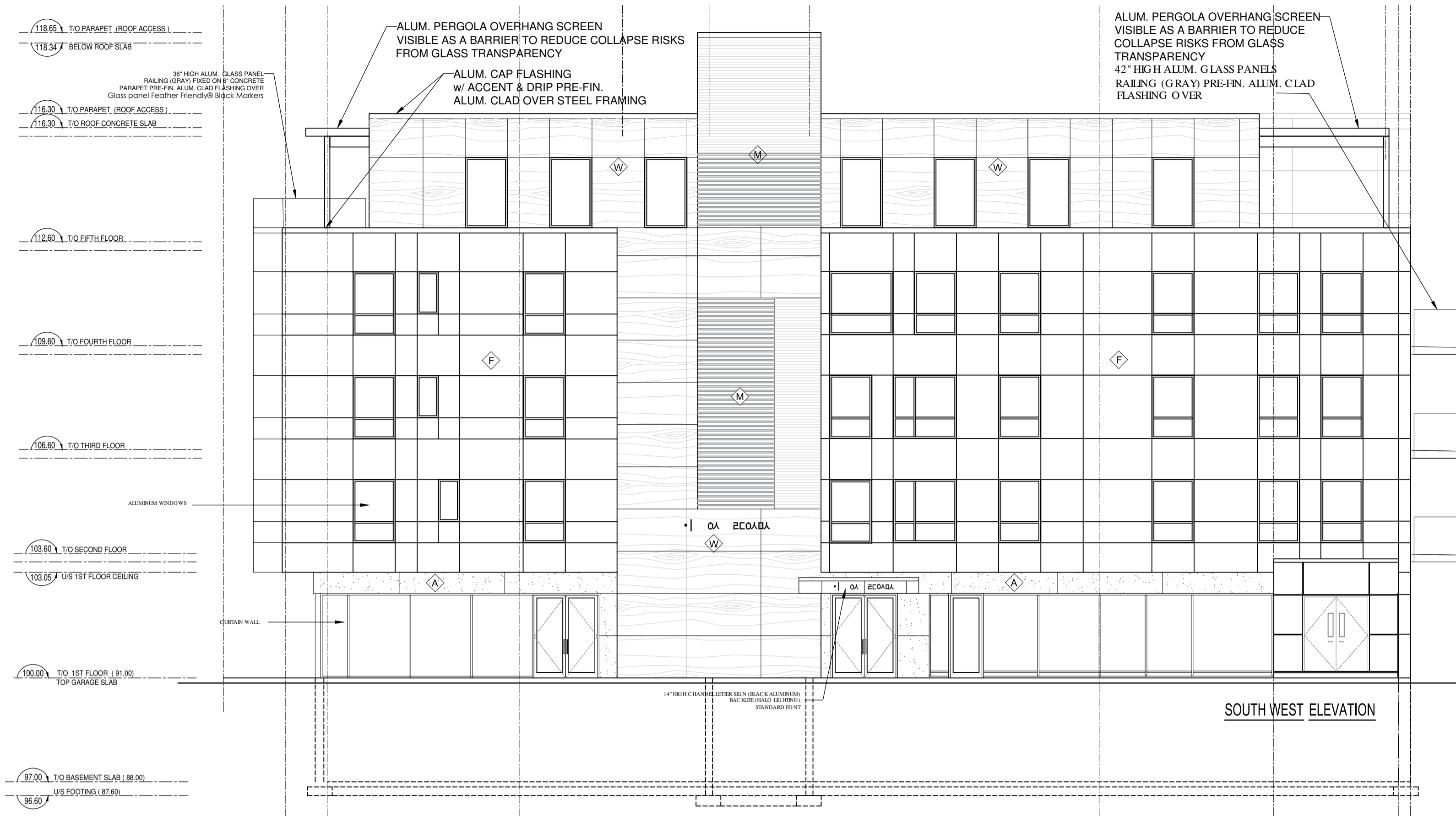
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3996 INNES RD, OTTAWA ON.

Title: **PROPOSED SITE PLAN**

Date: 2022/09/14
Revision: 3

Scale: Sheet: Scale: 1:200
Drawing No: **A-100**

Drawn /: A. Aldu.
Verify /: P. Tabet



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				2022.09.14	2022.09.14	COORDINATION WITH NEW CIVIL DRAWINGS	P.T.

MATERIALS LEGENDE

- F** FIBER CEMENT PANELS OFF-WHITE COLOR.
- W** PRODEX WOOD CLADDING PANELS RUSTIK FINISH.
- A** ALUMINUM PANELS CHARCOAL COLOR.
- M** CORRUGATED METAL SHEETS CHARCOAL COLOR.



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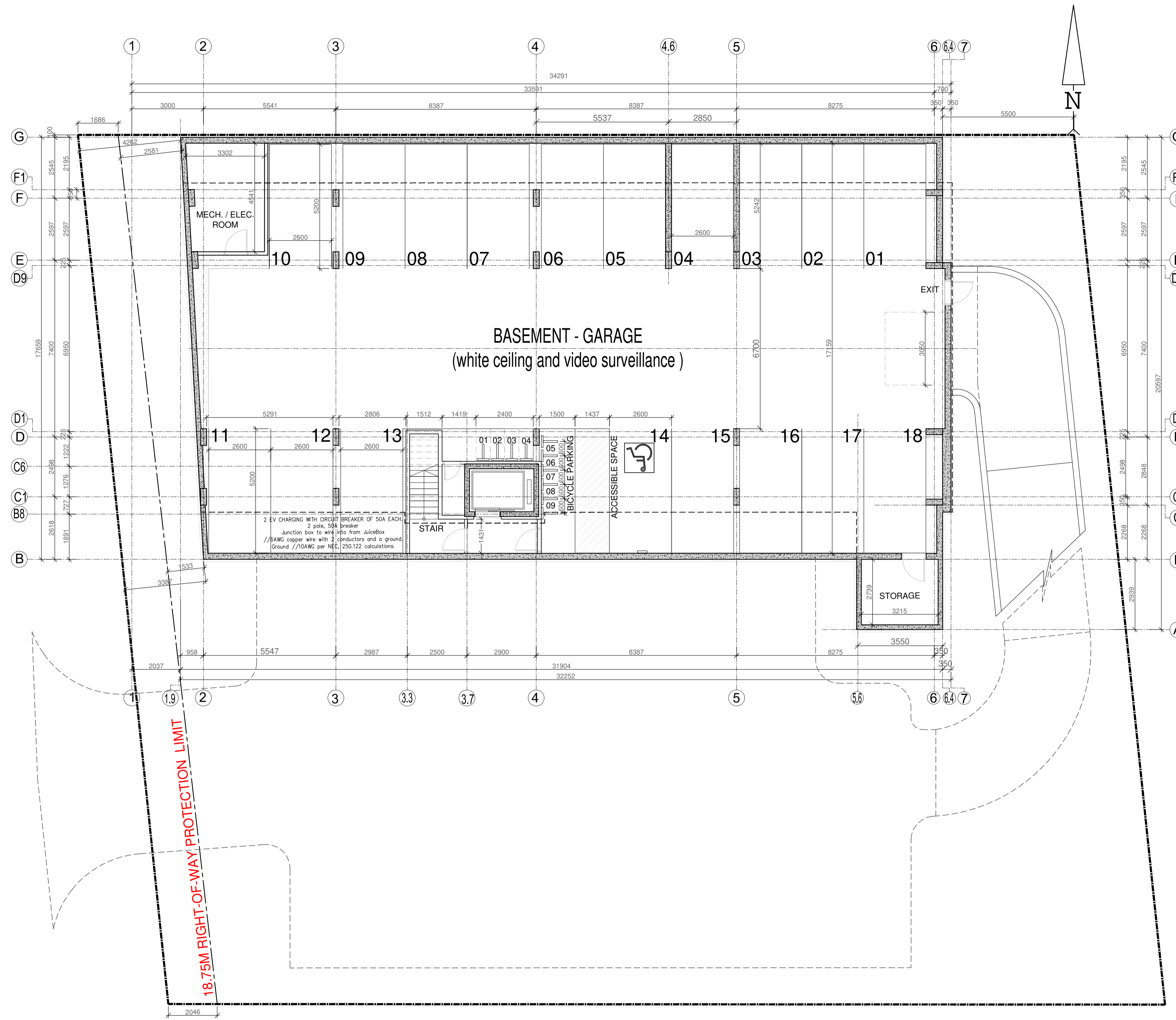
Project **ORLEANS RESIDENTIAL & MEDICAL FACILITY**
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Title **ELEVATIONS**

Date: 2022/09/14
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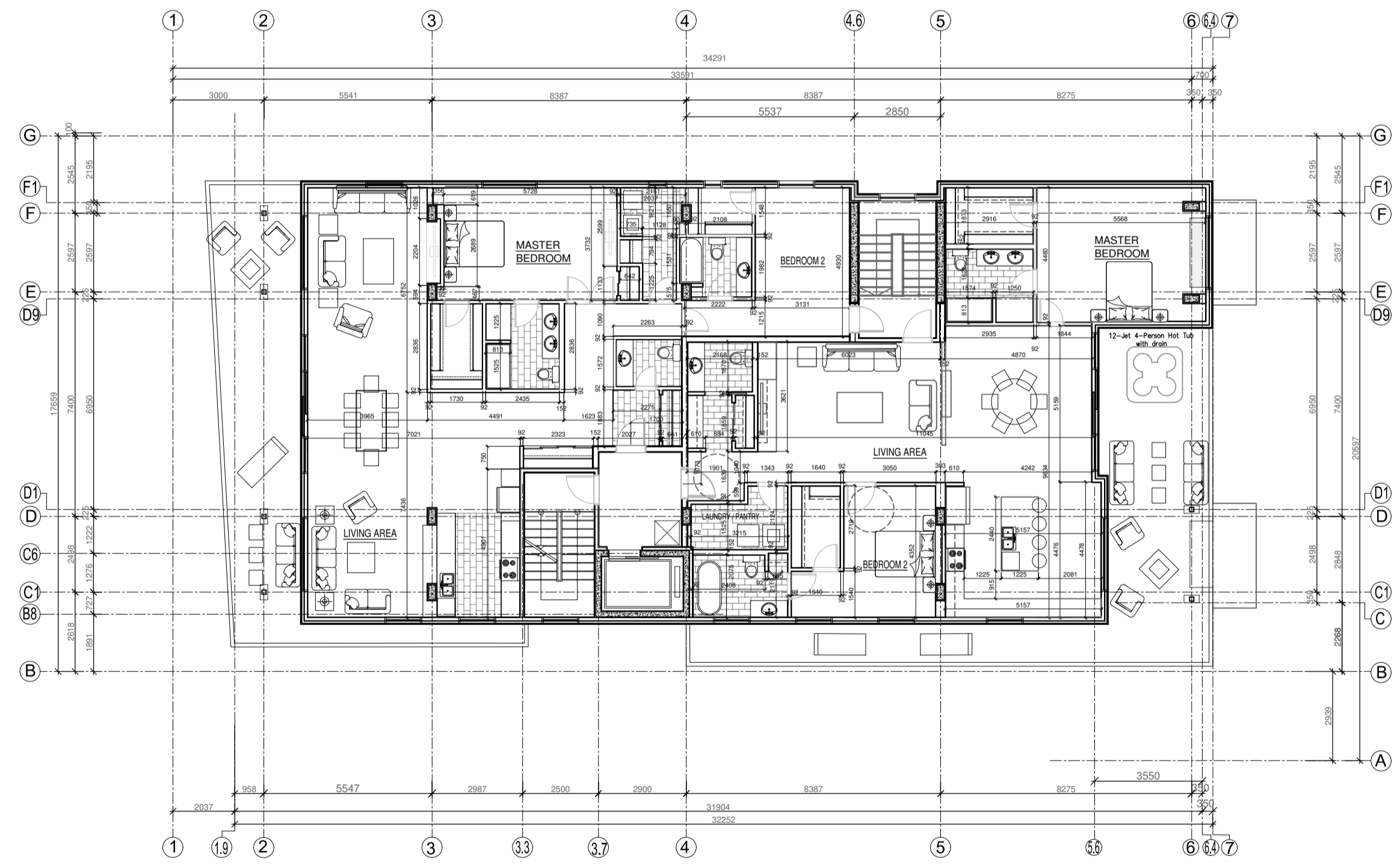
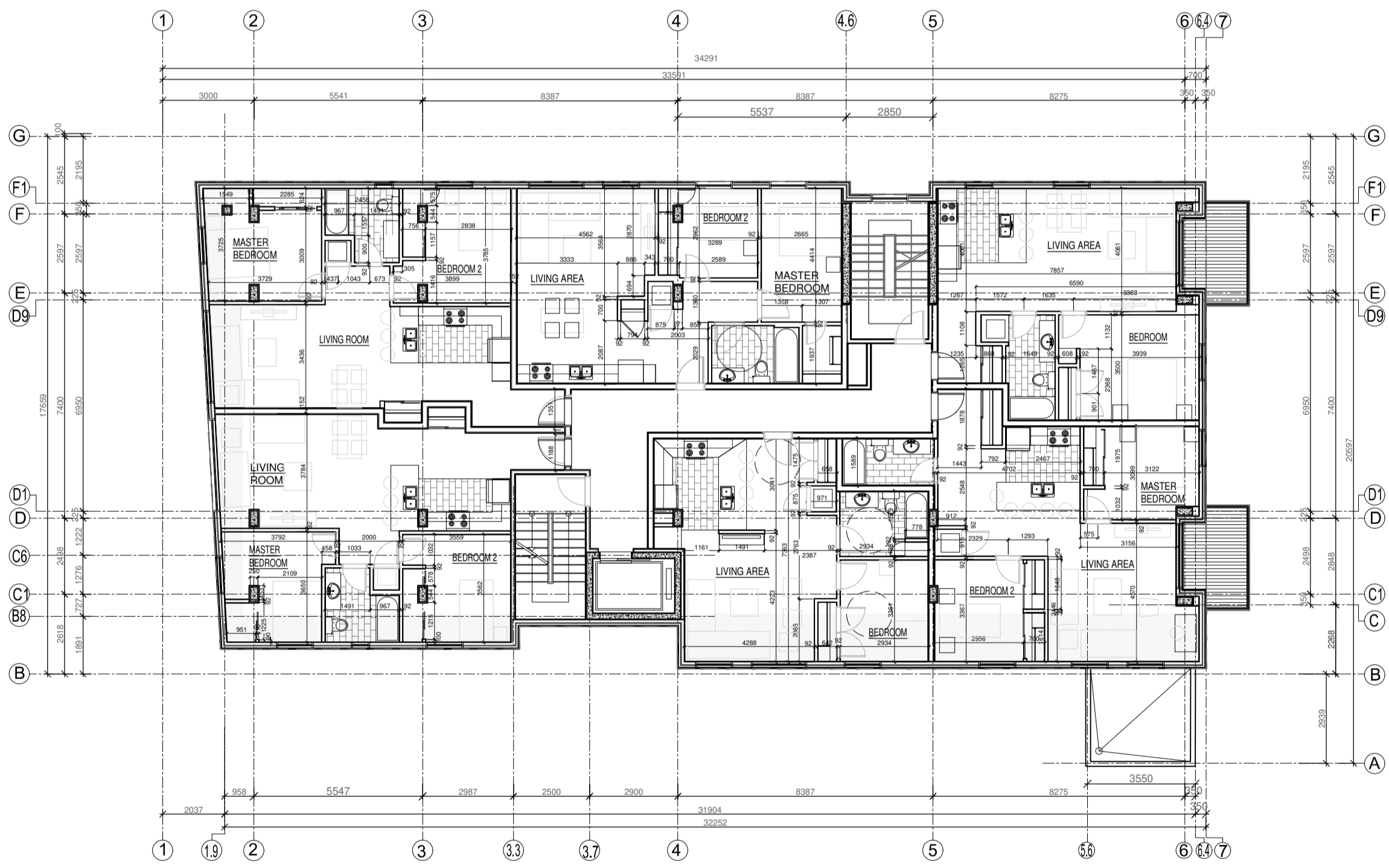
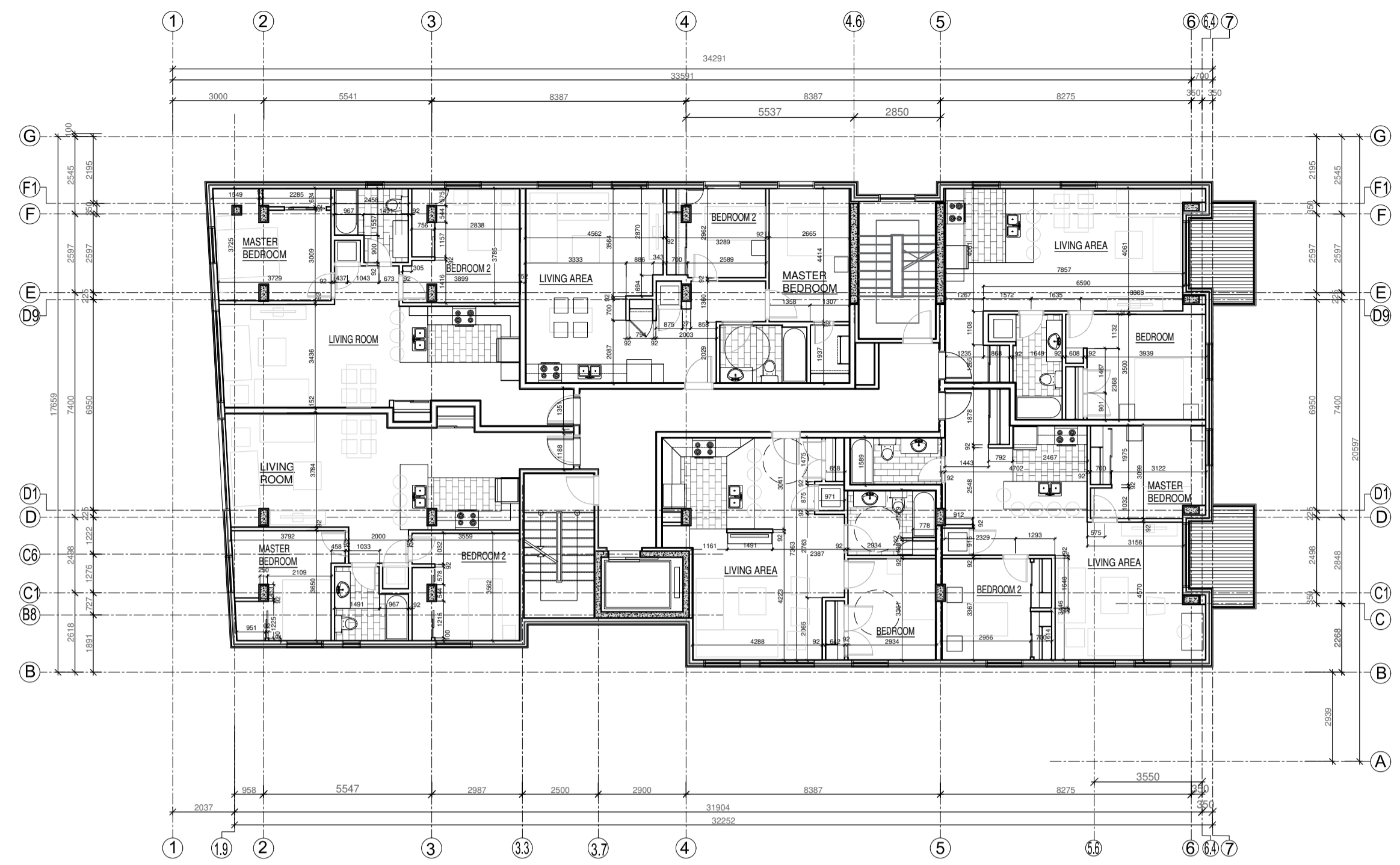
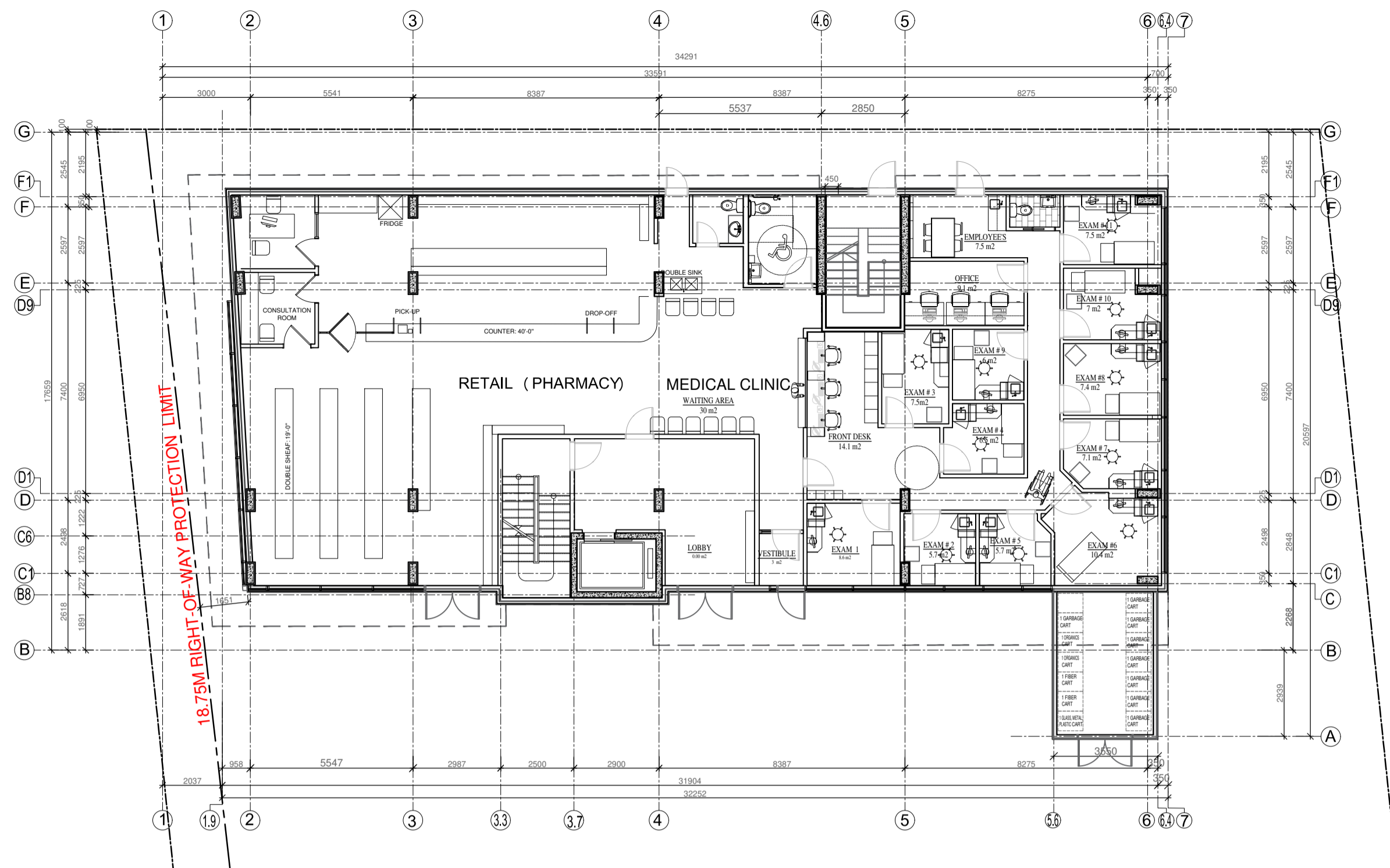
STAMPS	

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Title	UNDERGROUND PARKING BASEMENT PLAN	Scale:	1:100
Date:	2022/09/14	Drawn /:	A. Aldu.
Revision:	3	Verify /:	P.Tabet
		Sheet:	A-300



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STAMPS	

Project: ORLEANS RESIDENTIAL & MEDICAL FACILITY
3996 INNES RD, OTTAWA ON.

Title: UNDERGROUND PARKING BASEMENT PLAN

Date: 2022/09/14
Revision: 3

Drawn / : A. Aldu.
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Scale: 1:150
Sheet:
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