

**SITE DATA**

**CIVIC ADDRESS:**  
1125-1149 Cyrville Road

**Legal Description:**

PART OF LOT 27, CONCESSION 2 (Ottawa Front), Geographic Township of Gloucester, City of Ottawa

**ZONING DATA**

<b>Dwell Unit</b>	356 dwelling units	
<b>Existing Zoning: MC</b>	Proposed Zoning: TD2	
	<b>Required</b>	<b>Provided</b>
<b>Lot Area</b>	No minimum	Total lot area: 7445 m <sup>2</sup>
<b>Setbacks</b>	Front (active frontage street): 3m	Front (active frontage street): 3m
	Side (East+VWest): Under 6 storeys: 0m Over 6 storeys: 12m	Side under 6 storeys: East: 3.6m West: 5.0m
	Rear: Under 6 storeys: 0m Over 6 storeys: 12m	Side over 6 storeys: East: 12m West: 7.0m (12m to city's property)
<b>Building Height</b>	Minimum: 6.7m (2 storeys)	Phase 1: 19m (6 storeys)
	Maximum: 60m	Phase 2: 60.25m (20 storeys)
<b>Amenity Area</b>	Total: 2,136 m <sup>2</sup> (6m <sup>2</sup> /dwelling unit)	<b>Private amenity space</b> -Private balconies: 1774m <sup>2</sup> (phase 2) 1390 m <sup>2</sup> (phase 1)
	Communal: 1,068 m <sup>2</sup>	<b>Common amenity space</b> -Indoor amenity: 190 m <sup>2</sup> -Outdoor rooftop amenity: 76m <sup>2</sup> (phase 1) 380m <sup>2</sup> (phase 2) -Outdoor ground amenity: 450m <sup>2</sup> total common amenity space: 1,096m <sup>2</sup>
<b>Parking</b>	201	365 (including 36 visitor parking)
<b>Bicycle</b>	183 (0.5/dwelling unit)	183 (15 at ground, 168 at parking level 1)
<b>Minimum Density</b>	186 (250 units/net ha)	365
<b>Required Communal Outdoor Space</b>	149 m <sup>2</sup> (2% of lot area at grade)	284 m <sup>2</sup> (202 m <sup>2</sup> in phase 1 / 82 m <sup>2</sup> in phase 2)

**Residential Statistics - GFA per City Definition**

BUILDING A			
Level	Number of Floors	GFA	
L1	1	20,650 sq ft	1,918 sq ft
L2 - L5	4	96,440 sq ft	8,959 sq ft
L6	1	22,077 sq ft	2,051 sq ft
<b>TOTAL</b>	<b>6</b>	<b>139,167 sq ft</b>	<b>12,929 sq m</b>

BUILDING B			
Level	Number of Floors	GFA	
L1	1	3,608 sq ft	335 sq m
L2	1	6,151 sq ft	571 sq m
L3-L20	18	103,284 sq ft	9595 sq m
<b>TOTAL</b>	<b>20</b>	<b>113,043 sq ft</b>	<b>10502 sq m</b>

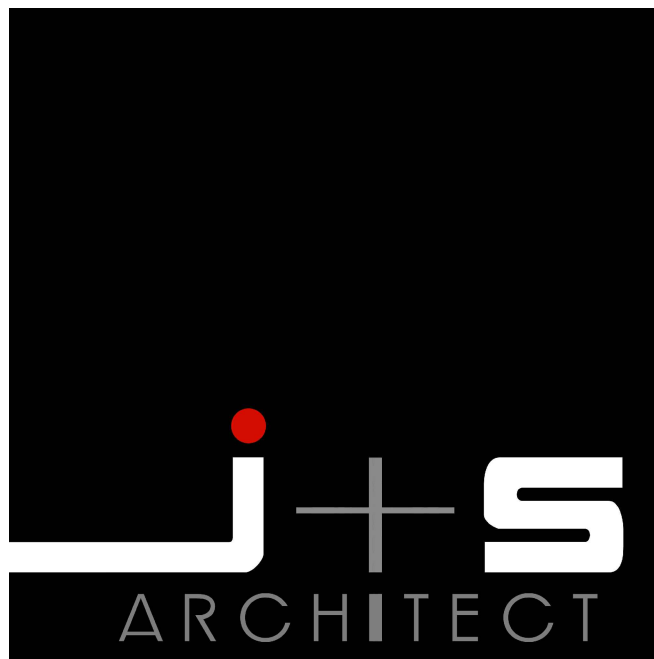
<b>TOTAL</b>	<b>252,210 sq ft</b>	<b>23430 sq m</b>
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**Residential Statistics - Unit Counts**

BUILDING A						
Level	Studio	1 Bed	2 Bed	3 Bed	Total	Number of Floors
L1	1	15	16	0	32	1
L2 - L5	1	13	22	1	37	4
L6	1	10	23	1	35	1
<b>Total</b>	<b>6</b>	<b>77</b>	<b>127</b>	<b>5</b>	<b>215</b>	

BUILDING B					
Level	1 Bed	2 Bed	3 Bed	Total	Number of Floors
L1	1	2	2	5	1
L2	4	3	0	7	1
L3-L20	4	4	0	8	18
<b>Total</b>	<b>77</b>	<b>77</b>	<b>2</b>	<b>156</b>	

<b>TOTAL</b>	<b>371</b>
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REVISION AS PER CITY COMMENTS	18/03/2023
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REVISION AS PER CITY COMMENTS	08/06/2022
REVISION AS PER CITY COMMENTS	30/05/2022

NO REVISION DATE(D/M/Y)

ISSUED FOR:	DATE(D/M/Y)
ISSUED FOR REZONING APPLICATION	18/04/2022

PROJECT:  
**MULTI-FAMILY RESIDENTIAL DEVELOPMENT**  
1125-1149 Cyrville Road,  
Ottawa, ON



CONSULTANT:

SCALE: 1:350 SEAL:  
DATE: 08/06/2022  
DRAWN BY:  
CHECKED BY:  
JOB NO.:  
2021-010  
SHEET TITLE:

**SITE PLAN**

DRAWING NO.: **A1.0** REVISION No:



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**GROUND FLOOR PLAN**

DRAWING NO: <b>A1.1</b>	REVISION No:
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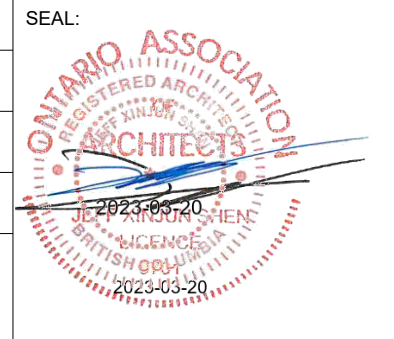
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- 1b CEMENTITIOUS PANEL - LIGHT GRAY
- 1c CEMENTITIOUS PANEL - DARK GRAY
- 1d CEMENTITIOUS PANEL - WOODLIKE
- 1e CEMENTITIOUS PANEL - YELLOW
- 2 CLEAR GLAZE

PROJECT:  
**MULTI-FAMILY RESIDENTIAL DEVELOPMENT**  
1125-1149 Cyrville Road,  
Ottawa, ON

CLIENT:  
**WESTRICH PACIFIC CORP.**

CONSULTANT:

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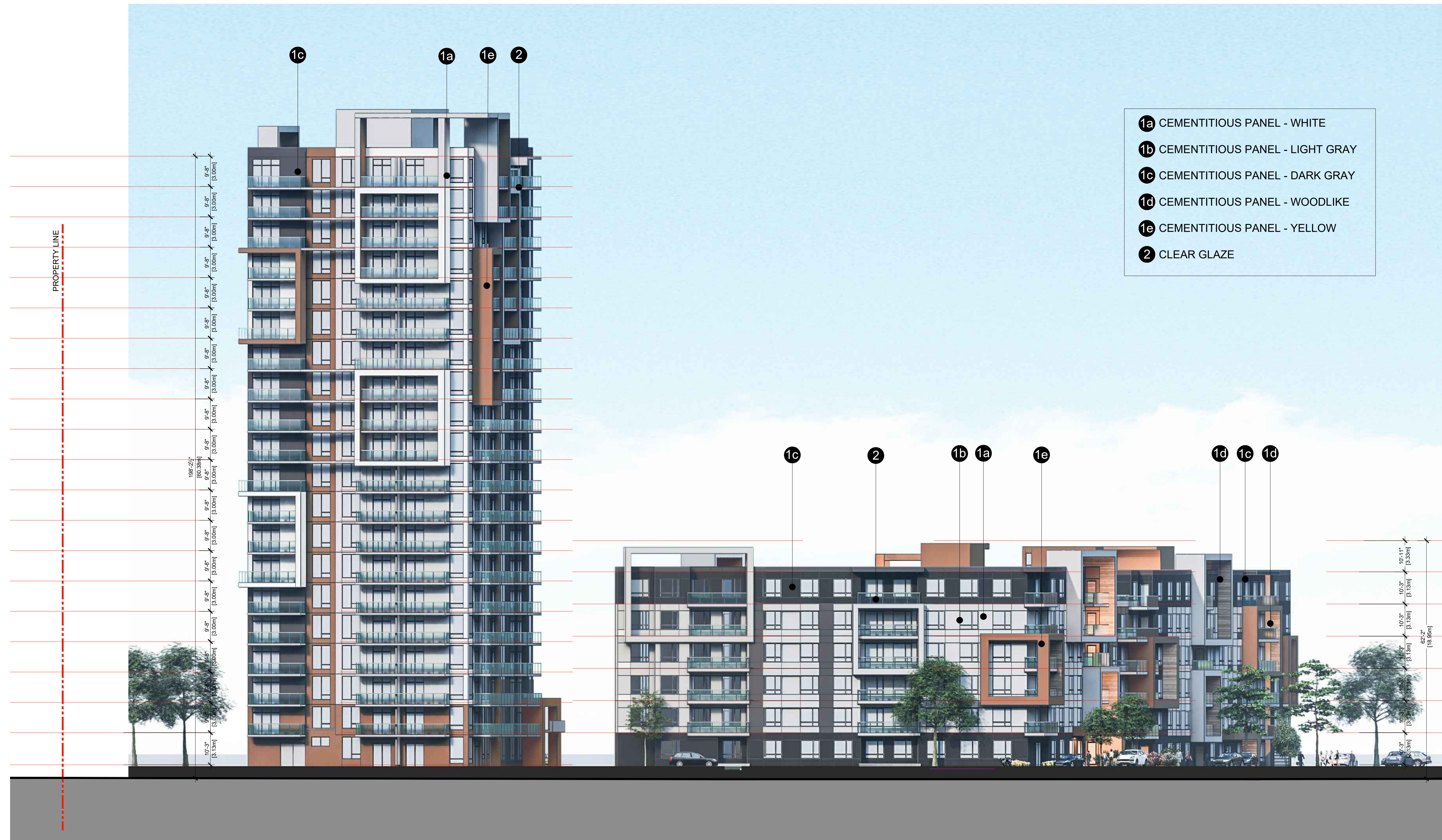


SHEET TITLE:  
**SOUTH ELEVATION**

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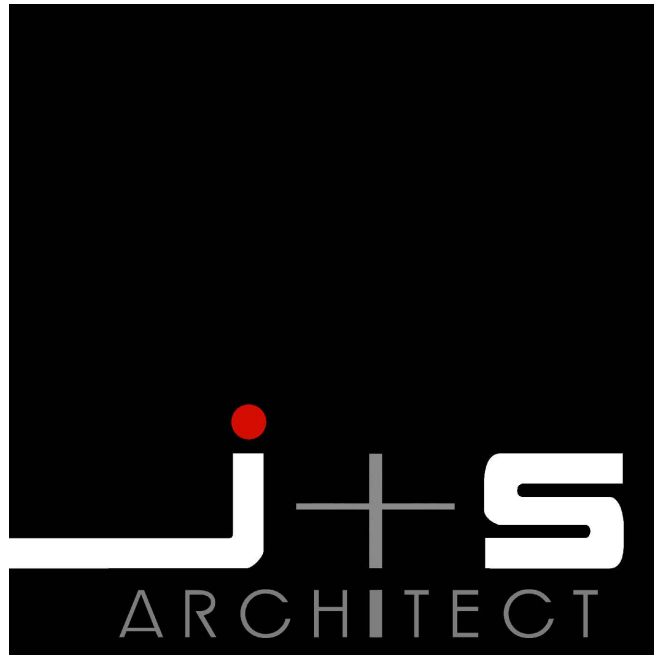


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WEST ELEVATION

- 1a CEMENTITIOUS PANEL - WHITE
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- 1d CEMENTITIOUS PANEL - WOODLIKE
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- 2 CLEAR GLAZE



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EAST ELEVATION

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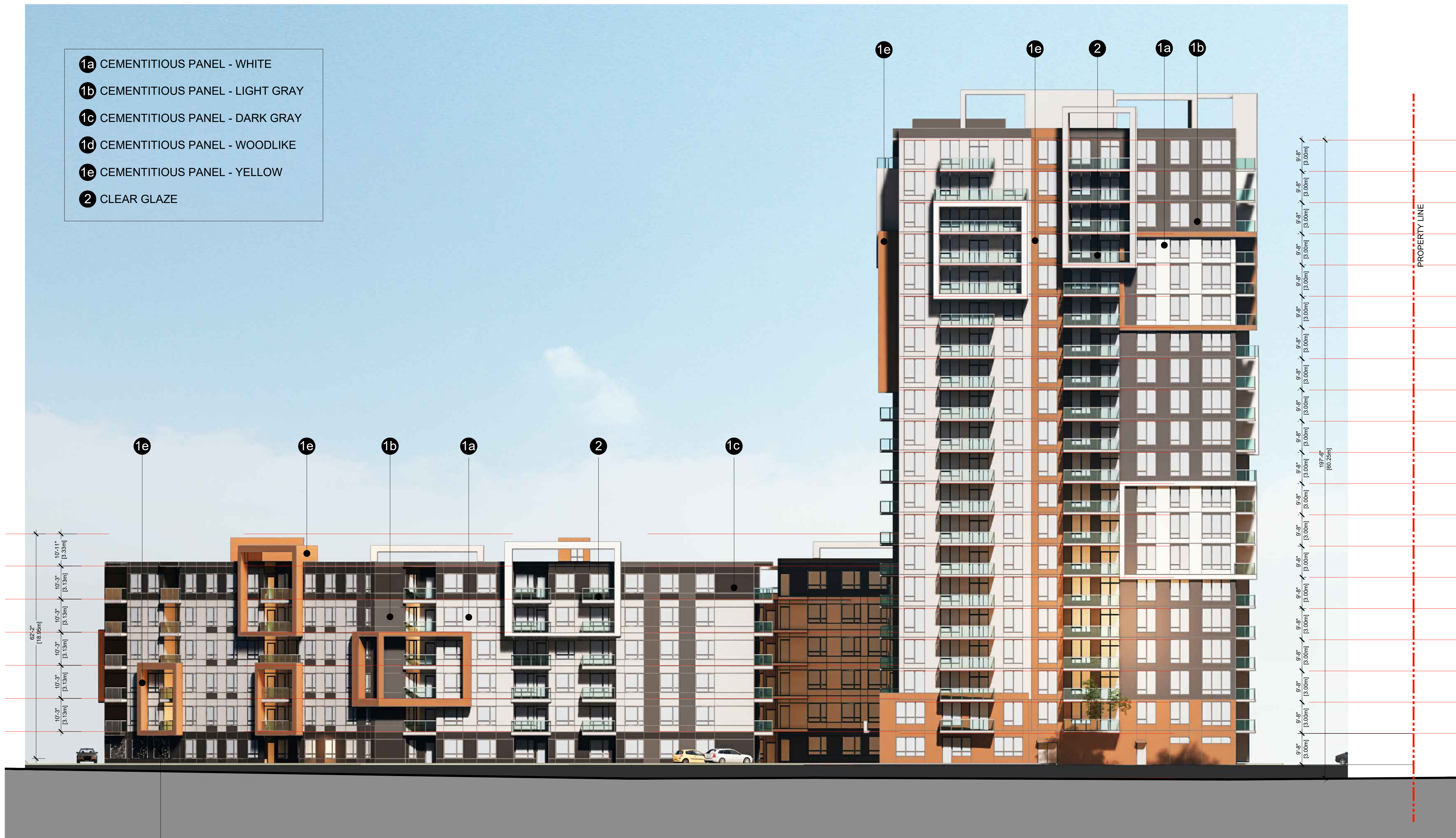


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**NORTH ELEVATION**

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<b>A3.3</b>	



LASER CUT PANELS ALONG PARKING RAMP BY EAST PROPERTY LINE





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3D VIEW  
 -LOOKING TO NORTHEAST

DRAWING NO.:	REVISION No:
<b>A5.0</b>	



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3D VIEW  
 -LOOKING TO NORTHWEST

DRAWING NO.:	REVISION No:
A5.1	





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**AERIAL VIEW  
 -LOOKING TO NORTHWEST**

DRAWING NO.:	REVISION No:
<b>A5.2</b>	



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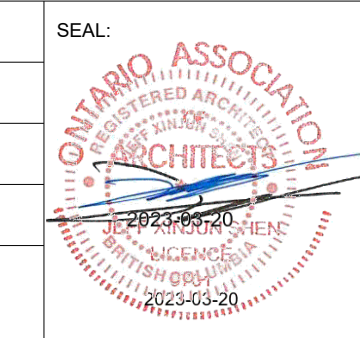
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SHEET TITLE:  
**AERIAL VIEW  
 -LOOKING TO NORTH**

DRAWING NO.:  
**A5.3**

REVISION No:



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**AERIAL VIEW  
 -LOOKING TO NORTHWEST**

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OUTDOOR DECK AND TRELLIS TO INTEGRATE  
THE RAMP TO OVERALL BUILDING MASS



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PROJECT:  
**MULTI-FAMILY RESIDENTIAL DEVELOPMENT**

1125-1149 Cyrville Road,  
Ottawa, ON



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**AERIAL VIEW  
-LOOKING TO SOUTHEAST**

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PROJECT:  
**MULTI-FAMILY RESIDENTIAL DEVELOPMENT**  
 1125-1149 Cyrville Road,  
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**GROUND FLOOR PLAN**

DRAWING NO: **A1.1** REVISION No: \_\_\_\_\_

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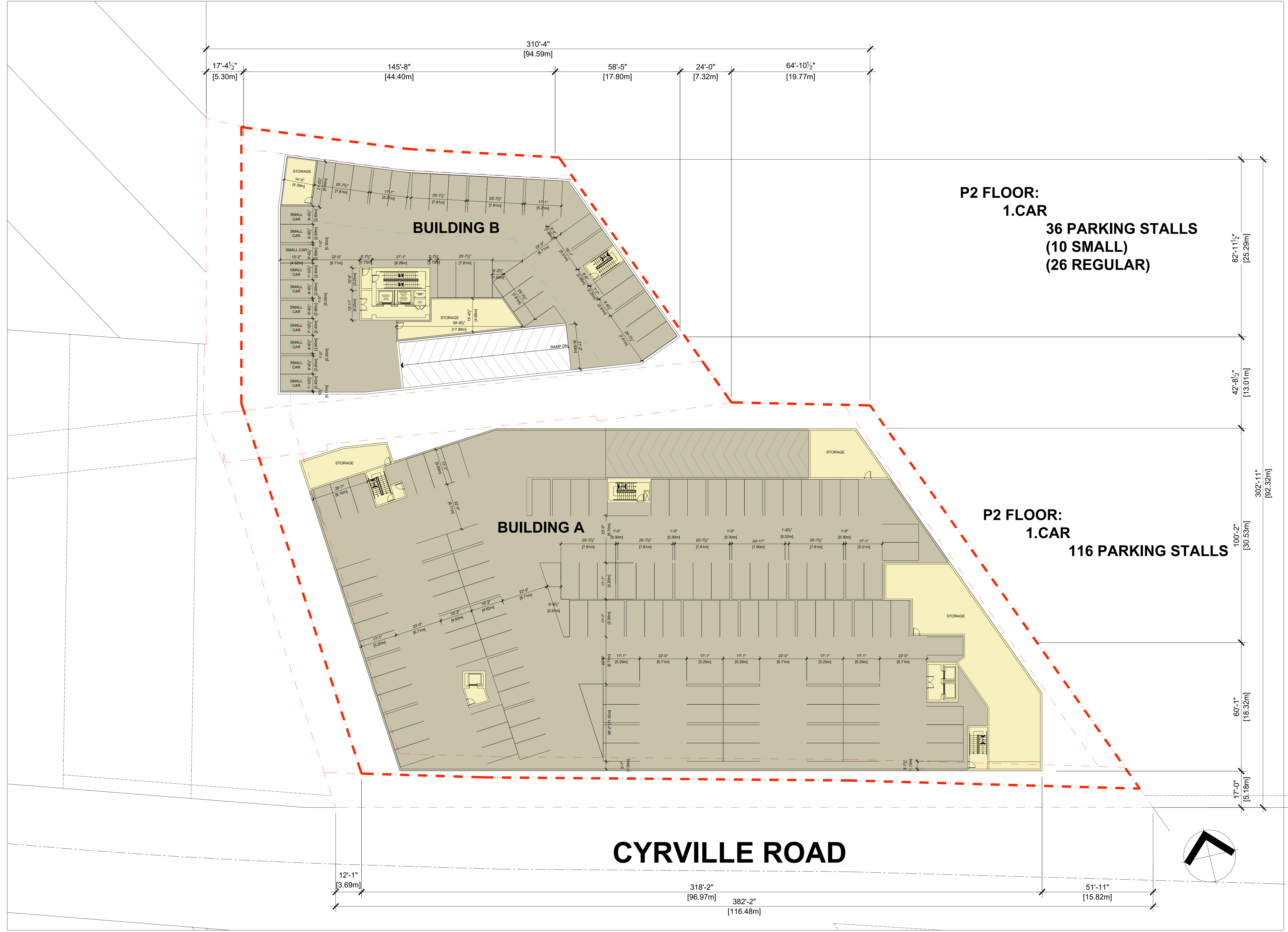
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**BUILDING A & B  
P2 FLOOR PLAN**

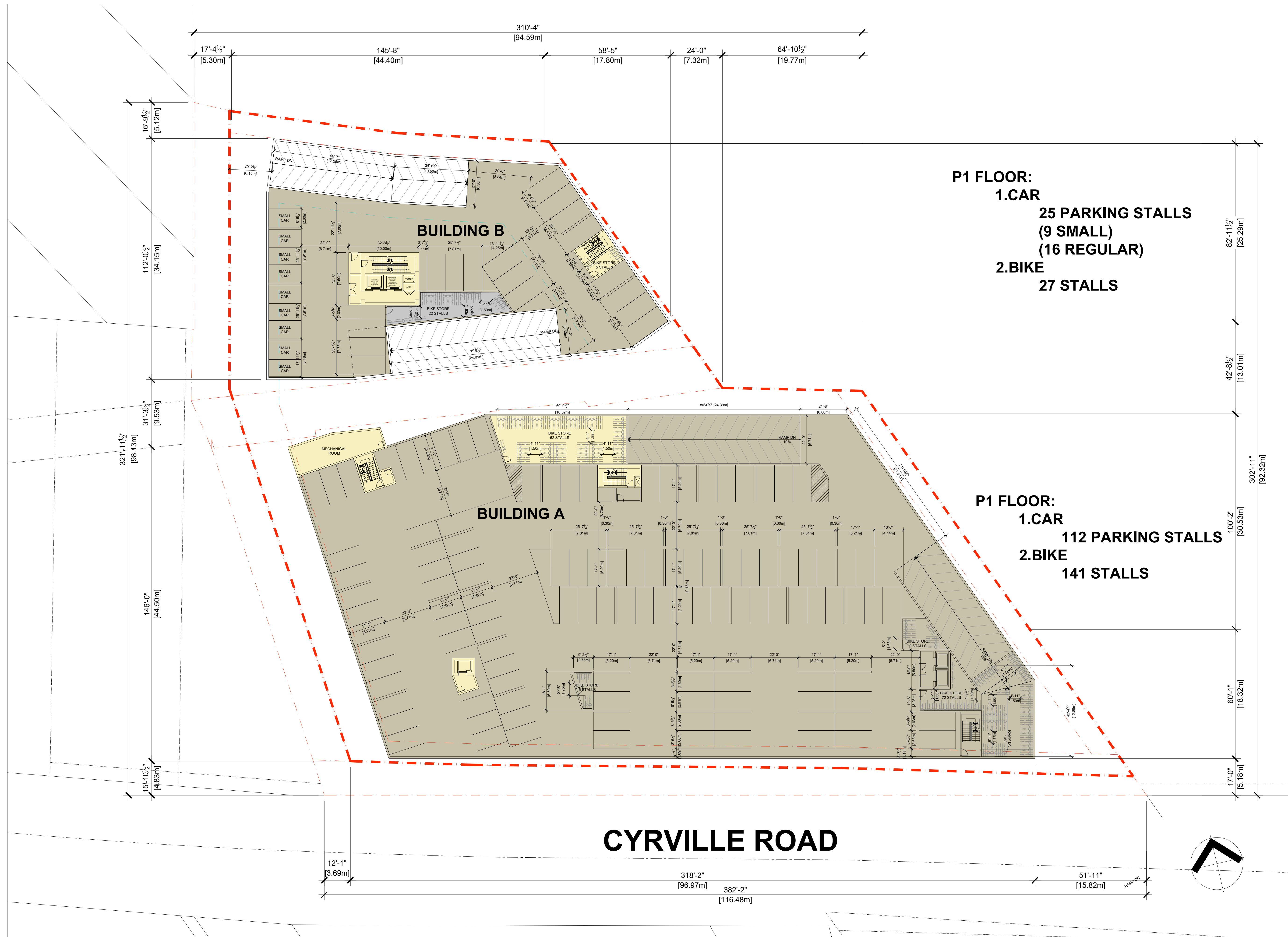
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**P2 FLOOR:  
1.CAR  
36 PARKING STALLS  
(10 SMALL)  
(26 REGULAR)**

**P2 FLOOR:  
1.CAR  
116 PARKING STALLS**

**CYRVILLE ROAD**



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**BUILDING A & B**  
**P1 FLOOR PLAN**

DRAWING NO.: **A2.0** REVISION No:



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**3D VIEW  
 -BUILDING B ENTRY**

DRAWING NO.:	REVISION No.:
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**AERIAL VIEW  
 -LOOKING TO SOUTHEAST**

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**AERIAL VIEW  
 -LOOKING TO NORTH**

DRAWING NO.:	REVISION No.:
<b>A5.3</b>	



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NO. REVISION	DATE(D/M/Y)
REVISION AS PER CITY COMMENT	18/03/2023
REVISION AS PER CITY COMMENT	18/10/2022
REVISION AS PER CITY COMMENT	08/06/2022
REVISION AS PER CITY COMMENT	30/05/2022

ISSUED FOR:	DATE(D/M/Y)
ISSUED FOR REZONING APPLICATION	18/04/2022

PROJECT:  
**MULTI-FAMILY RESIDENTIAL DEVELOPMENT**  
 1125-1149 Cyrville Road,  
 Ottawa, ON



CONSULTANT:

SCALE:	SEAL:
DATE: 08/06/2022	
DRAWN BY:	
CHECKED BY:	
JOB NO: 2021-010	
SHEET TITLE:	

**AERIAL VIEW  
 -LOOKING TO NORTHWEST**

DRAWING NO.:	REVISION No.:
<b>A5.2</b>	



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REVISION AS PER CITY COMMITNS	18/03/2023
REVISION AS PER CITY COMMITNS	18/10/2022
REVISION AS PER CITY COMMITNS	08/06/2022
REVISION AS PER CITY COMMITNS	30/05/2022

NO. REVISION DATE(D/M/Y)

ISSUED FOR: DATE(D/M/Y)

ISSUED FOR REZONING APPLICATION	18/04/2022
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PROJECT:  
**MULTI-FAMILY RESIDENTIAL DEVELOPMENT**  
 1125-1149 Cyrville Road,  
 Ottawa, ON

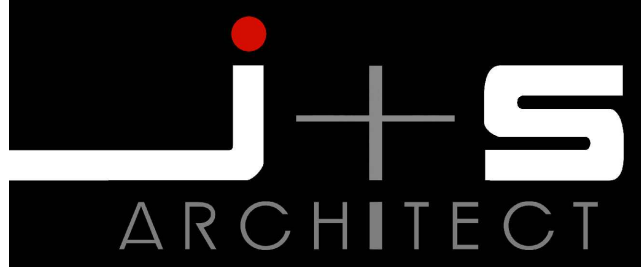


CONSULTANT:

SCALE:	SEAL:
DATE: 08/06/2022	
DRAWN BY:	
CHECKED BY:	
JOB NO: 2021-010	
SHEET TITLE:	

3D VIEW  
 -LOOKING TO NORTHWEST

DRAWING NO.:	REVISION No.:
A5.1	



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NO. REVISION	DATE(D/M/Y)
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REVISION AS PER CITY COMMENT	18/10/2022
REVISION AS PER CITY COMMENT	08/06/2022
REVISION AS PER CITY COMMENT	30/05/2022
<b>ISSUED FOR:</b>	
ISSUED FOR REZONING APPLICATION	18/04/2022

PROJECT:  
**MULTI-FAMILY RESIDENTIAL DEVELOPMENT**  
 1125-1149 Cyrville Road,  
 Ottawa, ON



CONSULTANT:

SCALE:	SEAL:
DATE: 08/06/2022	
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JOB NO: 2021-010	
SHEET TITLE:	

**3D VIEW  
 -LOOKING TO NORTHEAST**

DRAWING NO.: **A5.0** REVISION No: