



SITE DATA

CIVIC ADDRESS:
1125-1149 Cyrville Road

Legal Description:

PART OF LOT 27, CONCESSION 2 (Ottawa Front), Geographic Township of Gloucester, City of Ottawa

ZONING DATA

Dwell Unit	366 dwelling units	
Existing Zoning: MC	Proposed Zoning: TD2	
	Required	Provided
Lot Area	No minimum	Total lot area: 7445 m ²
Setbacks	Front (active frontage street): 3m Side (East+West): Under 6 storeys: 0m Over 6 storeys: 12m Rear: Under 6 storeys: 0m Over 6 storeys: 12m	Front (active frontage street): 3m Side under 6 storeys: East: 3.6m West: 5.0m Side over 6 storeys: East: 12m West: 7.0m (12m to city's property) Rear: 4.45m (phase 1) 11.2m (phase 2 under 6 storeys) 12m (phase 2 over 6 storeys)
Building Height	Minimum: 6.7m (2 storeys) Maximum: 60m	Phase 1: 19m (6 storeys) Phase 2: 60.25m (20 storeys)
Amenity Area	Total: 2,196 m ² (6m ² /dwelling unit) Communal: 1,068 m ²	Private amenity space -Private balconies: 1774m ² (phase 2) 1390 m ² (phase 1) Common amenity space -Indoor amenity: 190 m ² -Outdoor rooftop amenity: 76m ² (phase 1) 380m ² (phase 2) -Outdoor ground amenity: 450m ² total common amenity space: 1,096m ²
Parking	0	365 (including 36 visitor parking)
Bicycle	183 (0.5/dwelling unit)	183 (15 at ground, 168 at parking level 1)
Minimum Density	186 (250 units/net ha)	366 (494 units/net ha)
Required Communal Outdoor Space	149 m ² (2% of lot area at grade)	284 m ² (202 m ² in phase 1 / 82 m ² in phase 2)

Residential Statistics - GFA per City Definition

BUILDING A	Level	Number of Floors	GFA	
	L1	1	21,106 sq ft	1,961 sq ft
	L2 - L5	4	98,100 sq ft	9,113 sq ft
	L6	1	22,482 sq ft	2,090 sq ft
TOTAL		6	141,688 sq ft	13164 sq m

BUILDING B.	Level	Number of Floors	GFA	
	L1	1	2,855 sq ft	265 sq m
	L2	1	5,926 sq ft	551 sq m
	L3-L20	18	103,284 sq ft	9595 sq m
TOTAL		20	112,065 sq ft	10411 sq m

TOTAL: 253,763 sq ft 23575 sq m

Residential Statistics - Unit Counts

BUILDING A	Level	Studio	1 Bed	2 Bed	3 Bed	Total	Number of Floors
	L1	1	14	18	0	33	1
	L2 - L5	1	12	22	1	36	4
	L6	1	9	21	1	32	1
Total		71	127	127	5	209	1

BUILDING B	Level	1 Bed	2 Bed	3 Bed	Total	Number of Floors
	L1	3	2	0	5	1
	L2	4	4	0	8	1
	L3 - L20	4	4	0	8	18
Total		79	78	0	157	

TOTAL: 366



T 604 210 9698 INFO@JSARCHITECT.CA
206-4603 KINGSWAY, BURNABY, BC V5H 4M4
WWW.JSARCHITECT.CA

Copyright reserved. This plan and design are and at all times remain the exclusive property of J+S Architect Inc and may not be used or reproduced without their consent.

REVISION AS PER CITY COMMENTS	18/03/2023
REVISION AS PER CITY COMMENTS	18/10/2022
REVISION AS PER CITY COMMENTS	08/06/2022
REVISION AS PER CITY COMMENTS	30/05/2022

NO. REVISION DATE(D/M/Y)

ISSUED FOR: DATE(D/M/Y)
ISSUED FOR REZONING APPLICATION 18/04/2022

Rezoning Application 04/08/2022

PROJECT:
MULTI-FAMILY RESIDENTIAL DEVELOPMENT
1125-1149 Cyrville Road,
Ottawa, ON



CONSULTANT:

SCALE: 1:350
DATE: 08/06/2022
DRAWN BY:
CHECKED BY:
JOB NO.:
2021-010
SHEET TITLE:



SITE PLAN

DRAWING NO.: **A1.0** REVISION No:



BUILDING A:

- STUDIO = 1
- 1 BEDROOM = 13
- 2 BEDROOM = 18

TOTAL: 32/FLOOR

BUILDING A FLOOR PLATE AREA: 27163 SQ.FT.(2524 M²)

BUILDING B:

- 1 BEDROOM = 1
- 2 BEDROOM = 2
- TOWNHOUSE = 2 [UPTO LEVEL-2]

TOTAL: 5/FLOOR

BUILDING B FLOOR PLATE AREA: 6,100SQ.FT.(566.70M²)



T 604 210 9698 INFO@JSARCHITECT.CA
 206-4603 KINGSWAY, BURNABY, BC V5H 4M4
 WWW.JSARCHITECT.CA

Copyright reserved. This plan and design are and at all times remain the exclusive property of J+S Architect Inc and may not be used or reproduced without their consent.

REVISIONS:	DATE(D/M/Y)
REVISION AS PER CITY COMMENTS	18/03/2023
REVISION AS PER CITY COMMENTS	18/10/2022
REVISION AS PER CITY COMMENTS	08/06/2022
REVISION AS PER CITY COMMENTS	30/05/2022
ISSUED FOR:	DATE(D/M/Y)
ISSUED FOR REZONING APPLICATION	18/04/2022
Resoning Application	04/08/2022

PROJECT:
MULTI-FAMILY RESIDENTIAL DEVELOPMENT
 1125-1149 Cyrville Road,
 Ottawa, ON



CONSULTANT:

SCALE: 1:200	SEAL:
DATE: 08/06/2022	
DRAWN BY:	
CHECKED BY:	
JOB NO: 2021-010	
SHEET TITLE:	

GROUND FLOOR PLAN

DRAWING NO: **A1.1** REVISION No:



**P2 FLOOR:
36 PARKING STALLS
(10 SMALL)
(26 REGULAR)**

**P2 FLOOR:
116 PARKING STALLS**



T 604 210 9698 INFO@JSARCHITECT.CA
206-4603 KINGSWAY, BURNABY, BC V5H 4M4
WWW.JSARCHITECT.CA

Copyright reserved. This plan and design are and at all times remain the exclusive property of J+S Architect Inc and may not be used or reproduced without their consent.

REVISION AS PER CITY COMMENT	DATE(D/M/Y)
REVISION AS PER CITY COMMENT	18/03/2023
REVISION AS PER CITY COMMENT	18/10/2022
REVISION AS PER CITY COMMENT	08/06/2022
REVISION AS PER CITY COMMENT	30/05/2022
NO. REVISIONS:	DATE(D/M/Y)
ISSUED FOR:	DATE(D/M/Y)
ISSUED FOR REZONING APPLICATION	18/04/2022
Rezoning Application	04/08/2022

PROJECT:
MULTI-FAMILY RESIDENTIAL DEVELOPMENT
1125-1149 Cyrville Road,
Ottawa, ON

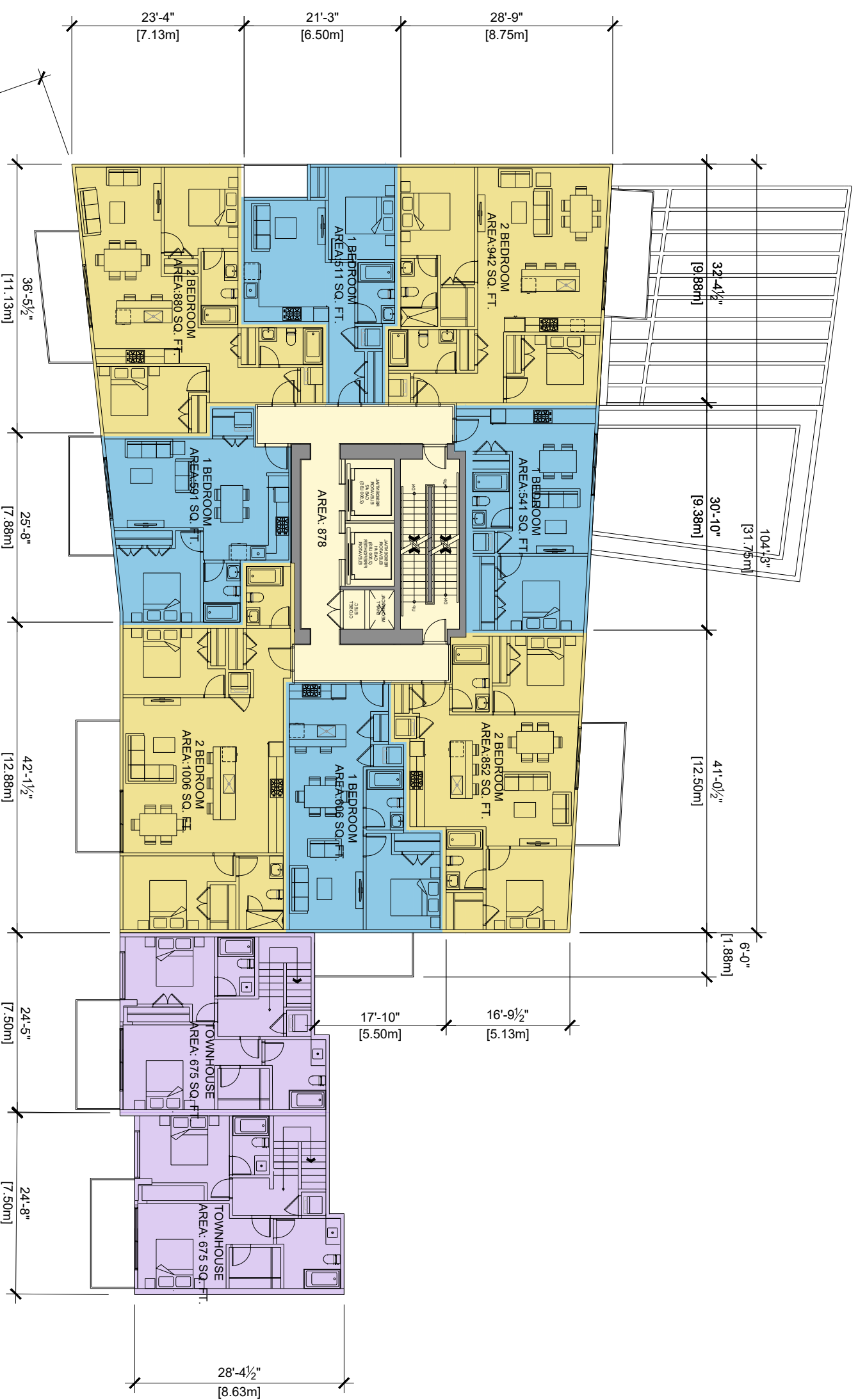


CONSULTANT:

SCALE: 1:250	SEAL:
DATE: 08/06/2022	
DRAWN BY:	
CHECKED BY:	
JOB NO: 2021-010	
SHEET TITLE:	

**BUILDING A & B
P2 FLOOR PLAN**

DRAWING NO: **A2.1** REVISION No:



BUILDING A:

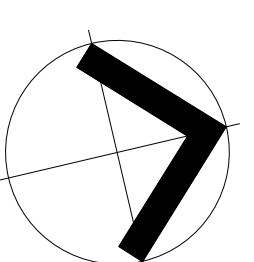
- STUDIO = 1
- 1 BEDROOM = 12
- 2 BEDROOM = 22
- 3 BEDROOM = 1

TOTAL: 36/FLOOR

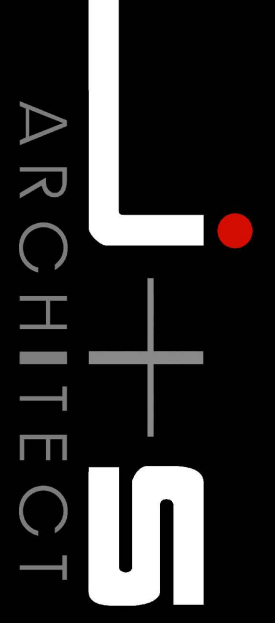
BUILDING B:

- 1 BEDROOM = 4
- 2 BEDROOM = 4

TOTAL: 8/FLOOR



T 604 210 9698 INFO@JSARCHITECT.CA
 206-4603 KINGSWAY BURBANK, BC V5H 4M4
 WWW.JSARCHITECT.CA



Copyright reserved. This plan and design are and at all times remain the exclusive property of JS Architect Inc. and may not be used or reproduced without their consent.

REVISION AS PER CITY COMMENTS	DATE
REVISION AS PER CITY COMMENTS	16/03/2023
REVISION AS PER CITY COMMENTS	16/10/2022
REVISION AS PER CITY COMMENTS	06/09/2022
REVISION AS PER CITY COMMENTS	30/05/2022
NO. REVISION	DATE(D/M/Y)

ISSUED FOR:	DATE(D/M/Y)
ISSUED FOR REZONING APPLICATION	16/04/2022

Receiving Application	DATE
	04/09/2022

PROJECT:
 MULTI-FAMILY RESIDENTIAL
 DEVELOPMENT
 1125-1149 Cynville Road,
 Ottawa, ON



CONSULTANT:

SCALE: 1:200

DATE: 04/09/2022

DRAWN BY:

CHECKED BY:

JOB NO.: 2021-010

SHEET TITLE:

SEAL:

ONTARIO ASSOCIATION OF ARCHITECTS

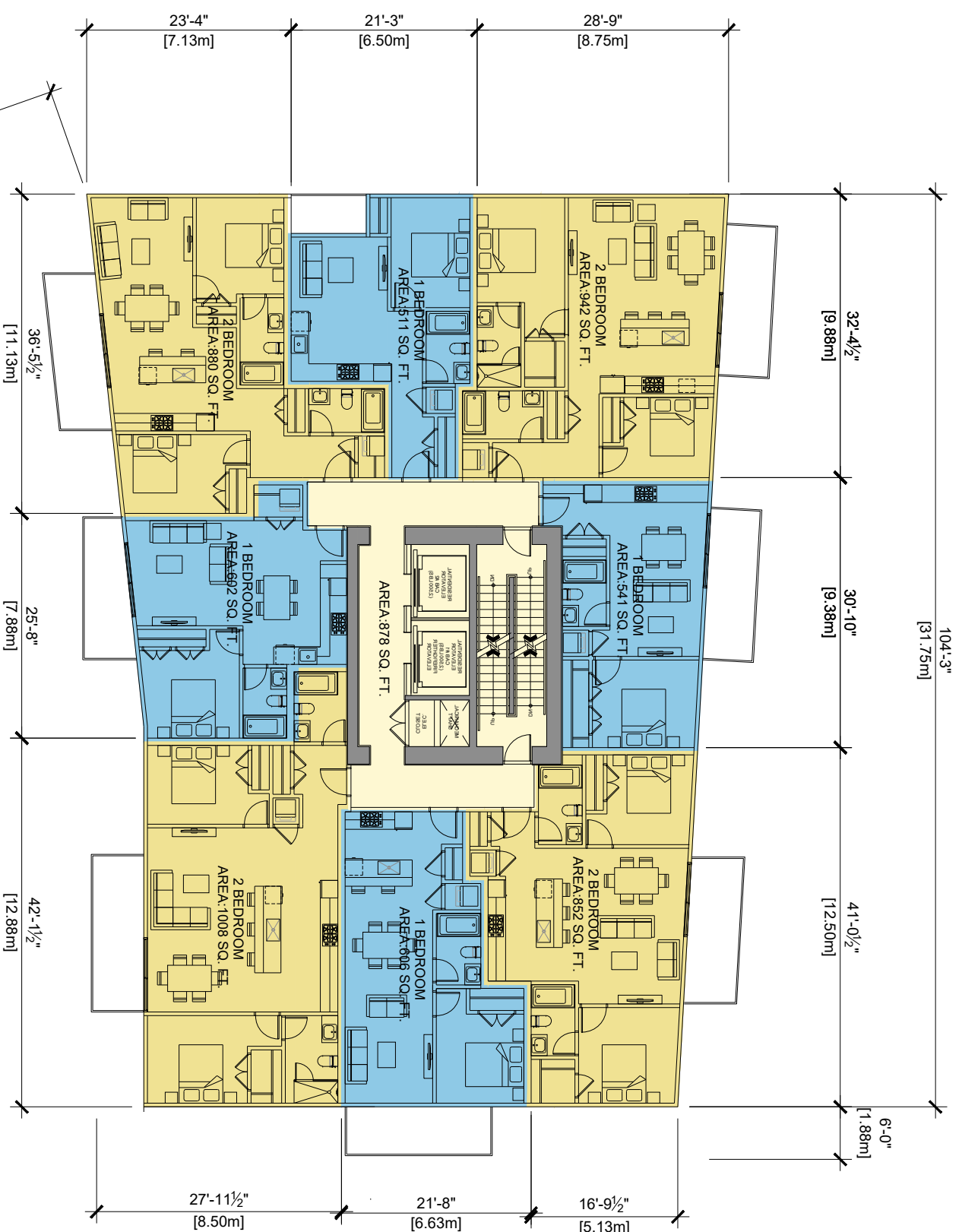
JEFF KIRKLAND SHERK ARCHITECTS

9011 2023-07-14

**BUILDING A & B
 L2 FLOOR PLAN**

A2.2

DRAWING NO.: A2.2 REVISION NO. PLAN NO.: 18599



BUILDING A:

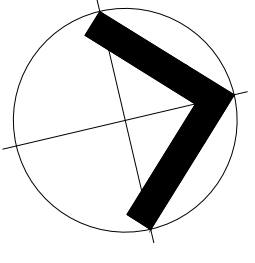
- STUDIO = 1
- 1 BEDROOM = 12
- 2 BEDROOM = 22
- 3 BEDROOM = 1

TOTAL: 36/FLOOR

BUILDING B:

- 1 BEDROOM = 4
- 2 BEDROOM = 4

TOTAL: 8/FLOOR



T 604 210 9698 INFO@JSARCHITECT.CA
 206-4603 KINGSWAY BURBANK, BC V5H 4M4
 WWW.JSARCHITECT.CA

Copyright reserved. This plan and design are and at all times remain the exclusive property of J+S Architect Inc. and may not be used or reproduced without their consent.

REVISION AS PER CITY COMMENTS	DATE
REVISION AS PER CITY COMMENTS	16/03/2023
REVISION AS PER CITY COMMENTS	16/10/2022
REVISION AS PER CITY COMMENTS	06/09/2022
REVISION AS PER CITY COMMENTS	30/05/2022
NO. REVISION	DATE(DMMY)

ISSUED FOR:	DATE(DMMY)
ISSUED FOR REZONING APPLICATION	16/09/2022
Receiving Application	04/09/2022

PROJECT:
 MULTI-FAMILY RESIDENTIAL DEVELOPMENT
 1125-1149 Cynville Road,
 Ottawa, ON

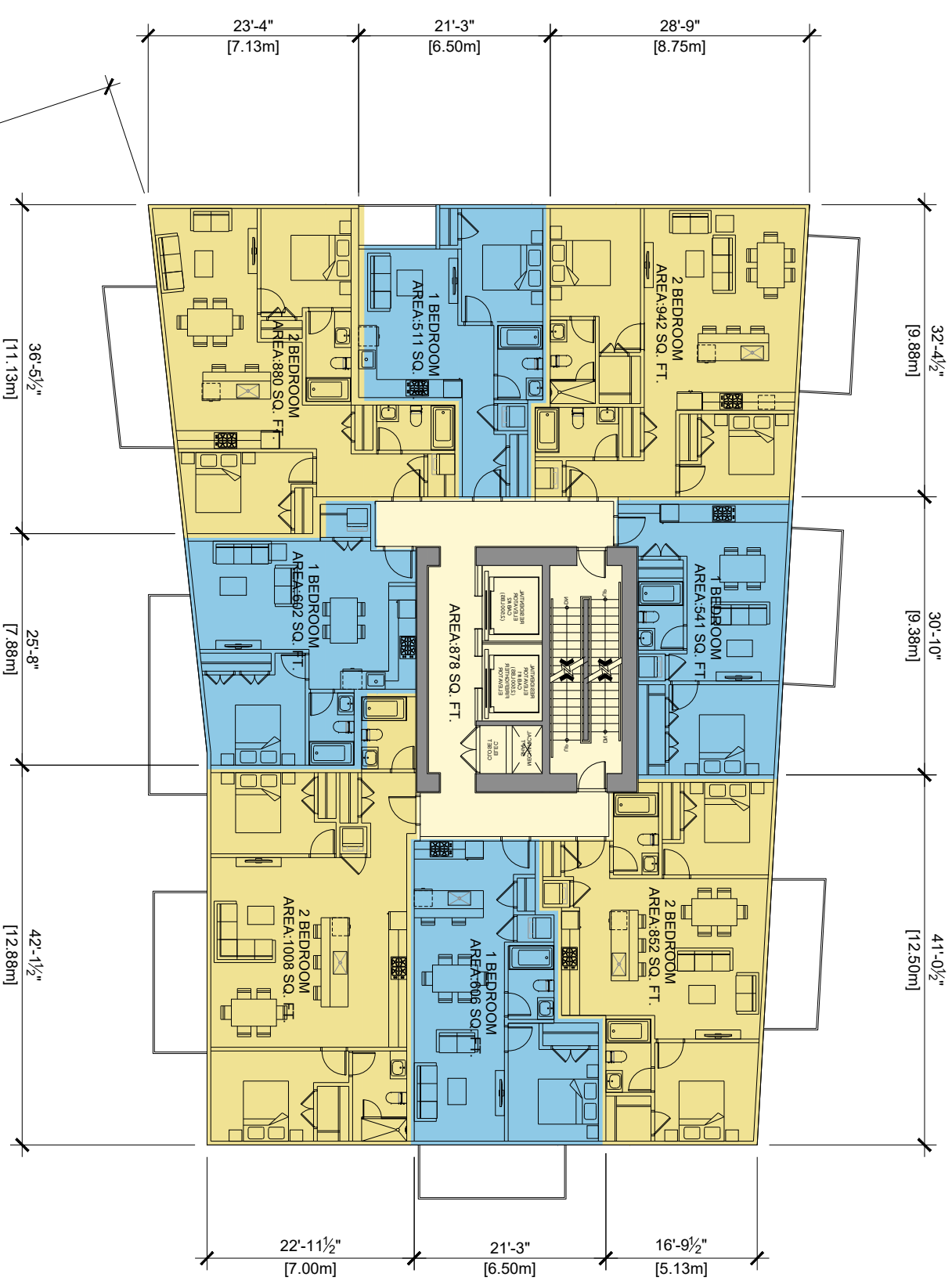


CONSULTANT:	SEAL:
J+S ARCHITECT	
SCALE: 1:200	DATE: 08/09/2022
DRAWN BY:	CHECKED BY:
JEFF KIRKMAN	JEFF KIRKMAN
J+S ARCHITECTS	
J+S ARCHITECTS	
2021-010	
SHEET TITLE:	

BUILDING A & B
L3-5 FLOOR PLAN

DRAWING NO.: **A2.3**

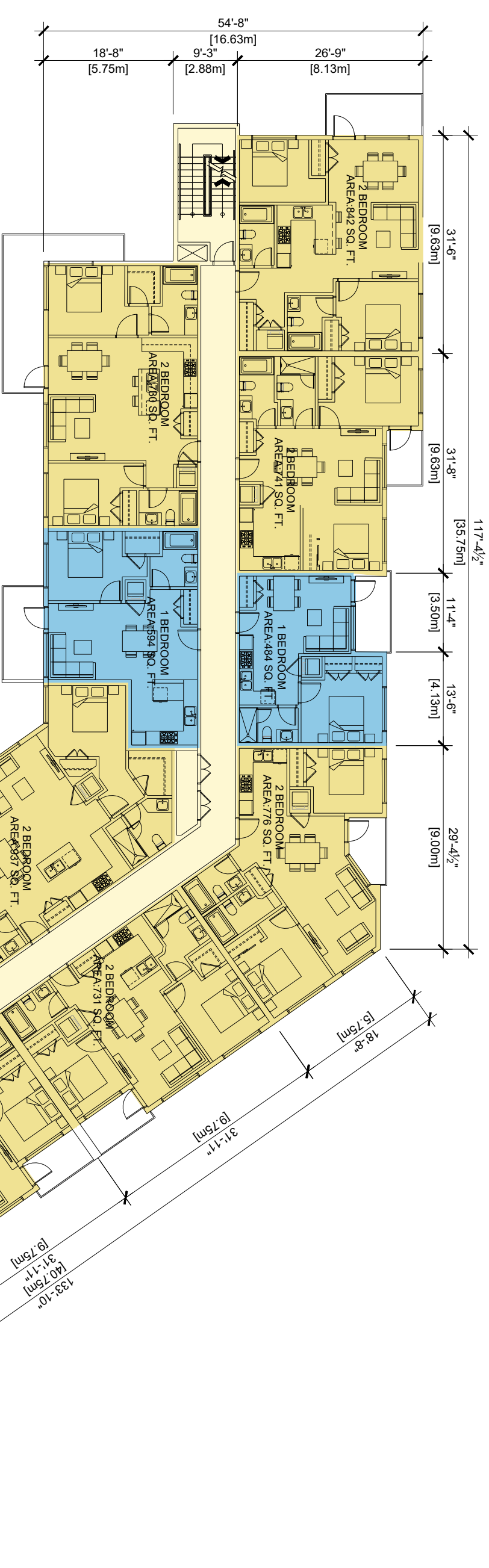
PLAN NO.: 18599



BUILDING A:

- STUDIO = 1
- 1 BEDROOM = 10
- 2 BEDROOM = 21
- 3 BEDROOM = 1

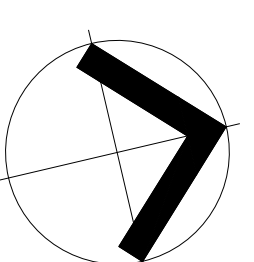
TOTAL: 33/FLOOR



BUILDING B:

- 1 BEDROOM = 4
- 2 BEDROOM = 4

TOTAL: 8/FLOOR



J+S ARCHITECT

T 604 210 9698 INFO@JSARCHITECT.CA
 206-4803 KINGSWAY BURMANBY, BC V5H 4M4
 WWW.JSARCHITECT.CA

Copyright reserved. This plan and design are and at all times remain the exclusive property of J+S Architect Inc and may not be used or reproduced without their consent.

REVISION AS PER CITY COMMENTS	DATE(DMMY)
REVISION AS PER CITY COMMENTS	16/03/2023
REVISION AS PER CITY COMMENTS	16/10/2022
REVISION AS PER CITY COMMENTS	06/09/2022
REVISION AS PER CITY COMMENTS	30/03/2022
NO. REVISION	DATE(DMMY)
ISSUED FOR:	DATE(DMMY)
ISSUED FOR REZONING APPLICATION	16/09/2022
Receiving Application	04/09/2022

PROJECT:
MULTI-FAMILY RESIDENTIAL DEVELOPMENT
 1125-1149 Cynville Road,
 Ottawa, ON

WESTRICH PACIFIC CORP.

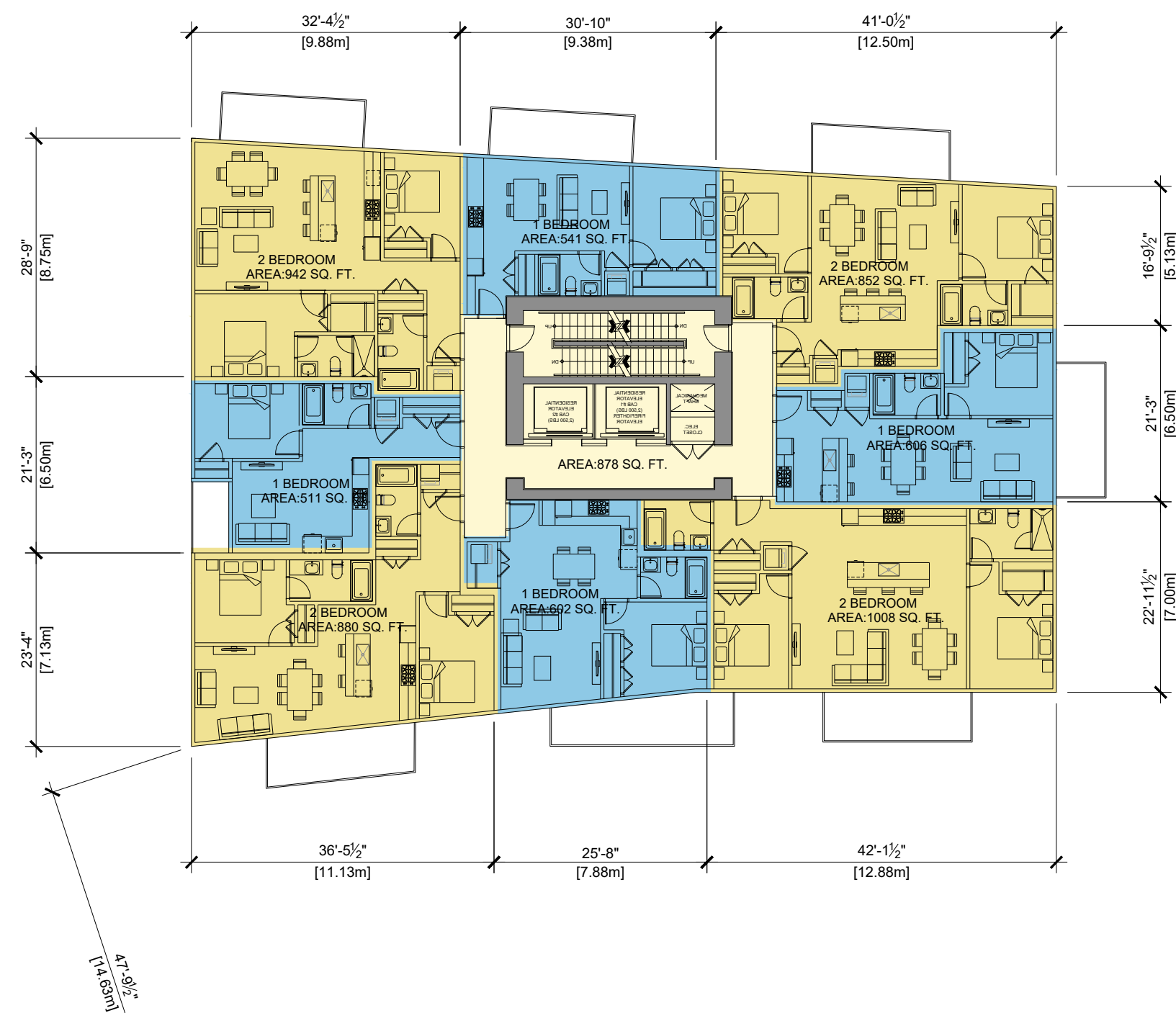
CONSULTANT:

SCALE: 1:200
 DATE: 08/09/2022
 DRAWN BY:
 CHECKED BY:
 JOB NO.: 2021-010
 SHEET TITLE:



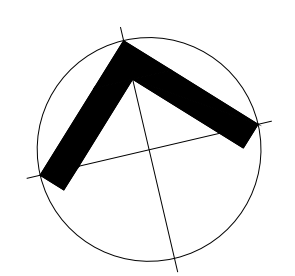
**BUILDING A & B
 L6 FLOOR PLAN**

DRAWING NO.: **A2.4**
 REVISION NO.:



BUILDING B:
 1 BEDROOM = 4
 2 BEDROOM = 4
TOTAL: 8/FLOOR

47'-0 1/2"
 (14.33m)



T 604 210 9698 INFO@JSARCHITECT.CA
 206-4603 KINGSWAY, BURNABY, BC V5H 4M4
 WWW.JSARCHITECT.CA

Copyright reserved. This plan and design are and at all times remain the exclusive property of J+S Architect Inc and may not be used or reproduced without their consent.

REVISION AS PER CITY COMMENT	18/03/2023
REVISION AS PER CITY COMMENT	18/10/2022
REVISION AS PER CITY COMMENT	08/06/2022
REVISION AS PER CITY COMMENT	30/05/2022

NO. REVISION DATE(D/M/Y)

ISSUED FOR:	DATE(D/M/Y)
ISSUED FOR REZONING APPLICATION	18/04/2022

Rezoning Application	04/08/2022
----------------------	------------

PROJECT:
MULTI-FAMILY RESIDENTIAL DEVELOPMENT
 1125-1149 Cyrville Road,
 Ottawa, ON



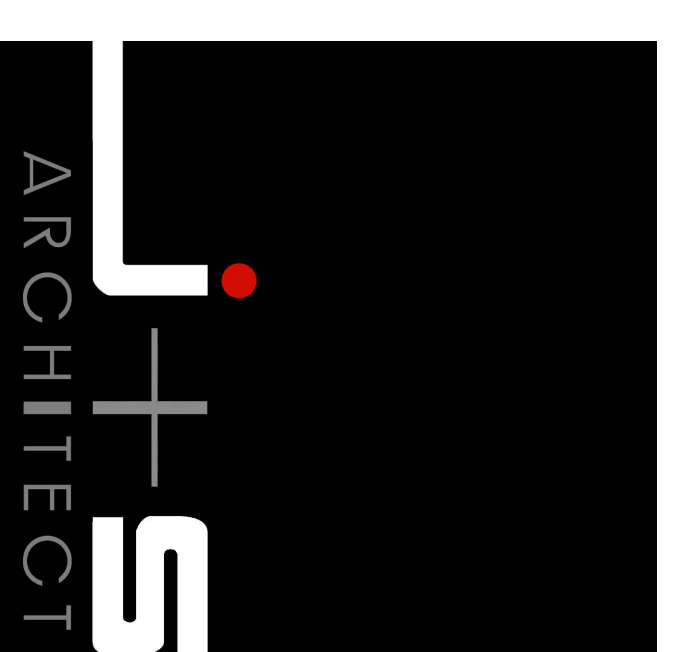
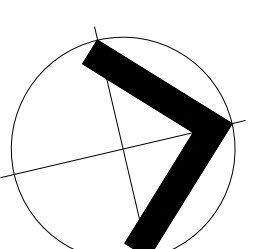
CONSULTANT:

SCALE: 1:200	SEAL:
DATE: 08/06/2022	
DRAWN BY:	
CHECKED BY:	
JOB NO: 2021-010	

SHEET TITLE:
**BUILDING B
 L7-20 FLOOR PLAN**

DRAWING NO.: **A2.5** REVISION No:

BUILDING A & B:
 ○ RD = ROOF DRAIN



T 604 210 9698 INFO@JSARCHITECT.CA
 206-4603 KINGSMWAY BURBANK, BC V5H 4M4
 WWW.JSARCHITECT.CA

Copyright reserved. This plan and design are and all times remain the exclusive property of J+S Architect Inc and may not be used or reproduced without their consent.

REVISION AS PER CITY COMMENTS	DATE(MMM)
REVISION AS PER CITY COMMENTS	16/07/2023
REVISION AS PER CITY COMMENTS	16/10/2022
REVISION AS PER CITY COMMENTS	06/09/2022
REVISION AS PER CITY COMMENTS	30/05/2022
NO. REVISION	DATE(MMM)

ISSUED FOR:	DATE(MMM)
ISSUED FOR REZONING APPLICATION	16/07/2022

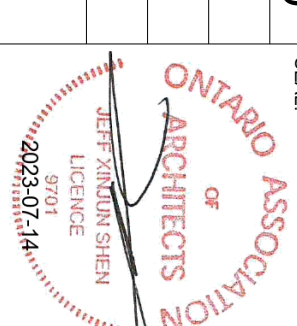
Re zoning Application	04/09/2022
-----------------------	------------

PROJECT:
MULTI-FAMILY RESIDENTIAL DEVELOPMENT
 CLIENT:
WESTRICH PACIFIC CORP.
 1125-1149 Cynville Road,
 Ottawa, ON



CONSULTANT:

SCALE:	1:200	SEAL:
DATE:	08/09/2022	
DRAWN BY:		
CHECKED BY:		
JOB NO.:	2021-010	
SHEET TITLE:	BUILDING A & B ROOF PLAN	



DRAWING NO.: **A2.6**
 REVISION NO.:

Copyright reserved. This plan and design are and at all times remain the exclusive property of J+S Architect Inc and may not be used or reproduced without their consent.

NO.	REVISION	DATE(D/M/Y)
	REVISION AS PER CITY COMMITNS	18/03/2023
	REVISION AS PER CITY COMMITNS	18/10/2022
	REVISION AS PER CITY COMMITNS	08/06/2022
	REVISION AS PER CITY COMMITNS	30/05/2022

ISSUED FOR:	DATE(D/M/Y)
ISSUED FOR REZONING APPLICATION	18/04/2022



- 1a CEMENTITIOUS PANEL - WHITE
- 1b CEMENTITIOUS PANEL - LIGHT GRAY
- 1c CEMENTITIOUS PANEL - DARK GRAY
- 1d CEMENTITIOUS PANEL - WOODLIKE
- 1e CEMENTITIOUS PANEL - YELLOW
- 2 CLEAR GLAZE

PROJECT:
MULTI-FAMILY RESIDENTIAL DEVELOPMENT
1125-1149 Cyrville Road,
Ottawa, ON

CLIENT:
WESTRICH PACIFIC CORP.

CONSULTANT:

SCALE: 1:200
DATE: 08/06/2022
DRAWN BY:
CHECKED BY:
JOB NO.:
2021-010

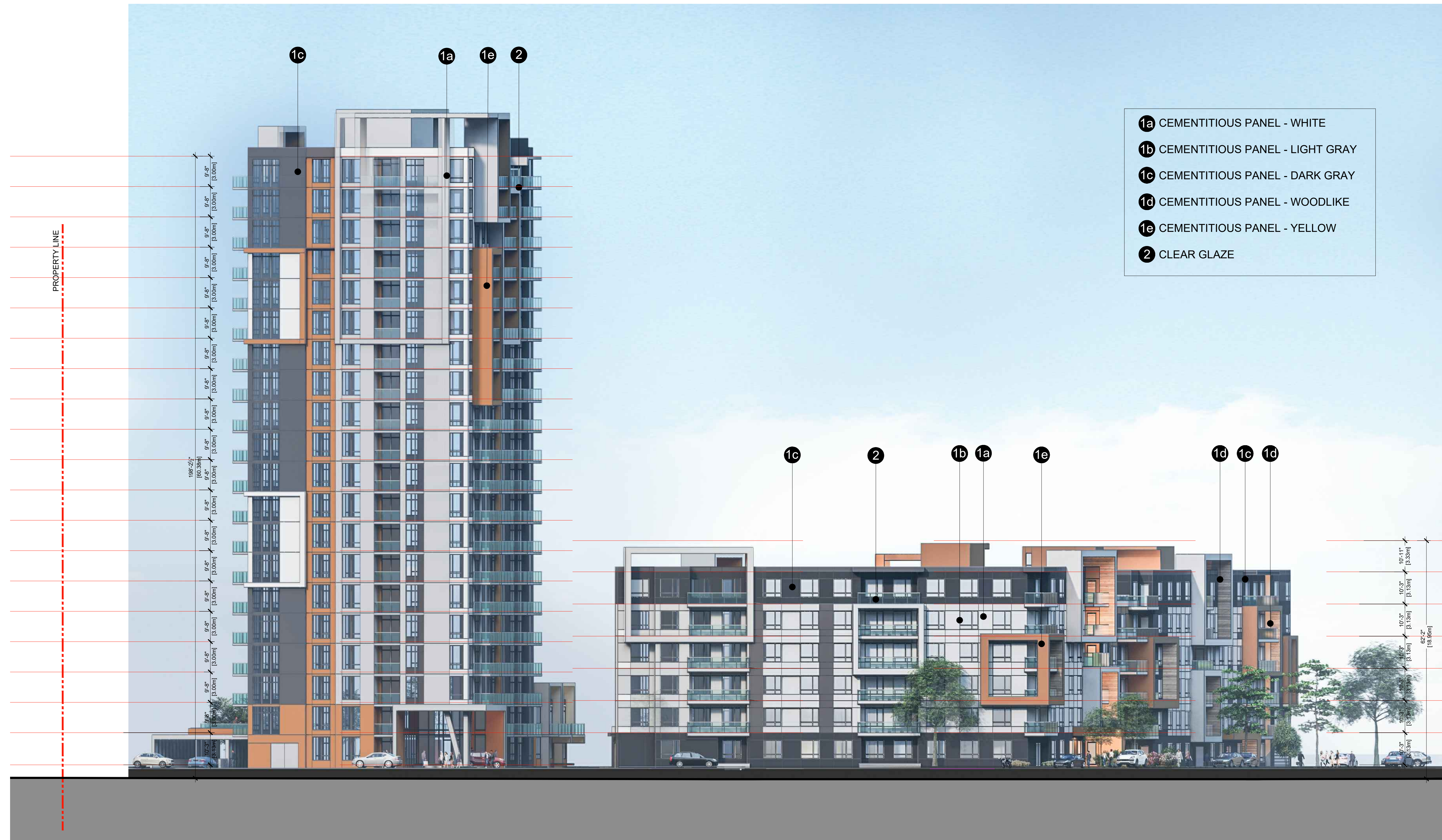
SEAL:
ONTARIO ASSOCIATION OF ARCHITECTS
JEFF YINGOUN SHEN
LICENSE NO. 9701
2023-07-14

SHEET TITLE:
SOUTH ELEVATION

Copyright reserved. This plan and design are and at all times remain the exclusive property of J+S Architect Inc and may not be used or reproduced without their consent.

NO.	REVISIONS	DATE(D/M/Y)
1	REVISION AS PER CITY COMMITNS	18/03/2023
2	REVISION AS PER CITY COMMITNS	18/10/2022
3	REVISION AS PER CITY COMMITNS	08/06/2022
4	REVISION AS PER CITY COMMITNS	30/05/2022

ISSUED FOR:	DATE(D/M/Y)
ISSUED FOR REZONING APPLICATION	18/04/2022



- 1a CEMENTITIOUS PANEL - WHITE
- 1b CEMENTITIOUS PANEL - LIGHT GRAY
- 1c CEMENTITIOUS PANEL - DARK GRAY
- 1d CEMENTITIOUS PANEL - WOODLIKE
- 1e CEMENTITIOUS PANEL - YELLOW
- 2 CLEAR GLAZE

PROJECT:
MULTI-FAMILY RESIDENTIAL DEVELOPMENT
1125-1149 Cyrville Road,
Ottawa, ON

CLIENT:
WESTRICH PACIFIC CORP.

CONSULTANT:

SCALE: 1:200
DATE: 08/06/2022
DRAWN BY:
CHECKED BY:
JOB NO.: 2021-010
SHEET TITLE:
SEAL: **ONTARIO ASSOCIATION OF ARCHITECTS**
JEFF YINGJUN SHEN
LICENSE NO. 9701
2023-07-14

WEST ELEVATION



- 1a CEMENTITIOUS PANEL - WHITE
- 1b CEMENTITIOUS PANEL - LIGHT GRAY
- 1c CEMENTITIOUS PANEL - DARK GRAY
- 1d CEMENTITIOUS PANEL - WOODLIKE
- 1e CEMENTITIOUS PANEL - YELLOW
- 2 CLEAR GLAZE



T 604 210 9698 INFO@JSARCHITECT.CA
 206-4603 KINGSWAY, BURNABY, BC V5H 4M4
 WWW.JSARCHITECT.CA

Copyright reserved: This plan and design are and at all times remain the exclusive property of J+S Architect Inc and may not be used or reproduced without their consent.

REVISION AS PER CITY COMMENT	DATE
REVISION AS PER CITY COMMENT	18/03/2023
REVISION AS PER CITY COMMENT	18/10/2022
REVISION AS PER CITY COMMENT	08/06/2022
REVISION AS PER CITY COMMENT	30/05/2022

NO. REVISION DATE(D/M/Y)

ISSUED FOR: DATE(D/M/Y)
 ISSUED FOR REZONING APPLICATION 18/04/2022

PROJECT:
MULTI-FAMILY RESIDENTIAL DEVELOPMENT
 1125-1149 Cyrville Road,
 Ottawa, ON



CONSULTANT:

SCALE: 1:150
 DATE: 08/06/2022
 DRAWN BY:
 CHECKED BY:
 JOB NO.:
 2021-010
 SHEET TITLE:



EAST ELEVATION

DRAWING NO.: **A3.2** REVISION No:

REVISION AS PER CITY COMMENTS	DATE
REVISION AS PER CITY COMMENTS	18/03/2023
REVISION AS PER CITY COMMENTS	18/10/2022
REVISION AS PER CITY COMMENTS	08/06/2022
REVISION AS PER CITY COMMENTS	30/05/2022

NO. REVISION: _____ DATE(D/M/Y): _____

ISSUED FOR: _____ DATE(D/M/Y): _____
ISSUED FOR REZONING APPLICATION 18/04/2022

PROJECT:
MULTI-FAMILY RESIDENTIAL DEVELOPMENT
1125-1149 Cyrville Road,
Ottawa, ON



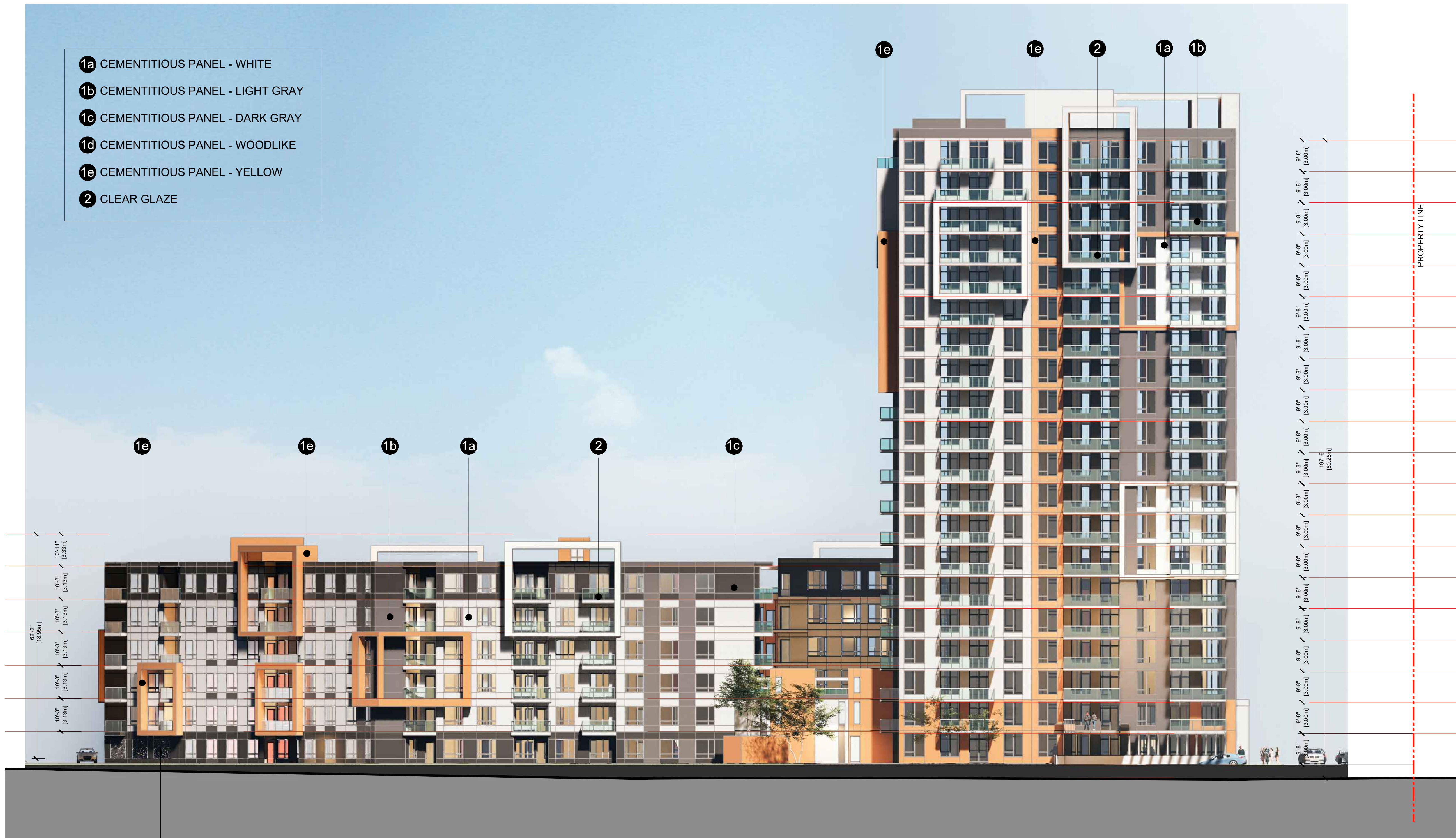
CONSULTANT:

SCALE: 1:200	SEAL:
DATE: 08/06/2022	
DRAWN BY:	
CHECKED BY:	
JOB NO: 2021-010	

SHEET TITLE:

NORTH ELEVATION

DRAWING NO.: A3.3	REVISION No: _____
-----------------------------	--------------------



- 1a CEMENTITIOUS PANEL - WHITE
- 1b CEMENTITIOUS PANEL - LIGHT GRAY
- 1c CEMENTITIOUS PANEL - DARK GRAY
- 1d CEMENTITIOUS PANEL - WOODLIKE
- 1e CEMENTITIOUS PANEL - YELLOW
- 2 CLEAR GLAZE

LASER CUT PANELS ALONG THE PARKING RAMP





T 604 210 9698 INFO@JSARCHITECT.CA
 206-4603 KINGSWAY, BURNABY, BC V5H 4M4
 WWW.JSARCHITECT.CA

Copyright reserved. This plan and design are and at all times remain the exclusive property of J+S Architect Inc and may not be used or reproduced without their consent.

NO.	REVISION	DATE(D/M/Y)
	REVISION AS PER CITY COMMENT	18/03/2023
	REVISION AS PER CITY COMMENT	18/10/2022
	REVISION AS PER CITY COMMENT	08/06/2022
	REVISION AS PER CITY COMMENT	30/05/2022

ISSUED FOR:	DATE(D/M/Y)
ISSUED FOR REZONING APPLICATION	18/04/2022

PROJECT:
MULTI-FAMILY RESIDENTIAL DEVELOPMENT
 1125-1149 Cyrville Road,
 Ottawa, ON



CONSULTANT:

SCALE:	SEAL:
DATE: 08/06/2022	
DRAWN BY:	
CHECKED BY:	
JOB NO: 2021-010	

SHEET TITLE:
**3D VIEW
 -LOOKING TO NORTHEAST**

DRAWING NO.: **A5.0** REVISION No:
 PLAN NO: 18599



T 604 210 9698 INFO@JSARCHITECT.CA
 206-4603 KINGSWAY, BURNABY, BC V5H 4M4
 WWW.JSARCHITECT.CA

Copyright reserved. This plan and design are and at all times remain the exclusive property of J+S Architect Inc and may not be used or reproduced without their consent.

NO.	REVISION	DATE(D/M/Y)
	REVISION AS PER CITY COMMITNS	18/03/2023
	REVISION AS PER CITY COMMITNS	18/10/2022
	REVISION AS PER CITY COMMITNS	08/06/2022
	REVISION AS PER CITY COMMITNS	30/05/2022

ISSUED FOR:	DATE(D/M/Y)
ISSUED FOR REZONING APPLICATION	18/04/2022

PROJECT:
MULTI-FAMILY RESIDENTIAL DEVELOPMENT
 1125-1149 Cyrville Road,
 Ottawa, ON



CONSULTANT:

SCALE:	SEAL:
DATE: 08/06/2022	
DRAWN BY:	
CHECKED BY:	
JOB NO: 2021-010	

SHEET TITLE:

**3D VIEW
 -LOOKING TO NORTHWEST**

DRAWING NO.: **A5.1** REVISION No:



T 604 210 9698 INFO@JSARCHITECT.CA
 206-4603 KINGSWAY, BURNABY, BC V5H 4M4
 WWW.JSARCHITECT.CA

Copyright reserved: This plan and design are and at all times remain the exclusive property of J+S Architect Inc and may not be used or reproduced without their consent.

NO. REVISION	DATE(D/M/Y)
REVISION AS PER CITY COMMENT	18/03/2023
REVISION AS PER CITY COMMENT	18/10/2022
REVISION AS PER CITY COMMENT	08/06/2022
REVISION AS PER CITY COMMENT	30/05/2022

ISSUED FOR:	DATE(D/M/Y)
ISSUED FOR REZONING APPLICATION	18/04/2022

PROJECT:
MULTI-FAMILY RESIDENTIAL DEVELOPMENT
 1125-1149 Cyrville Road,
 Ottawa, ON



CONSULTANT:

SCALE:	SEAL:
DATE: 08/06/2022	
DRAWN BY:	
CHECKED BY:	
JOB NO: 2021-010	

SHEET TITLE:
**AERIAL VIEW
 -LOOKING TO NORTHWEST**

DRAWING NO.: **A5.2** REVISION No:



T 604 210 9698 INFO@JSARCHITECT.CA
 206-4603 KINGSWAY, BURNABY, BC V5H 4M4
 WWW.JSARCHITECT.CA

Copyright reserved. This plan and design are and at all times remain the exclusive property of J+S Architect Inc and may not be used or reproduced without their consent.

REVISION AS PER CITY COMMITNS	18/03/2023
REVISION AS PER CITY COMMITNS	18/10/2022
REVISION AS PER CITY COMMITNS	08/06/2022
REVISION AS PER CITY COMMITNS	30/05/2022
NO. REVISIONS:	DATE(D/M/Y)

ISSUED FOR:	DATE(D/M/Y)
ISSUED FOR REZONING APPLICATION	18/04/2022

PROJECT:
MULTI-FAMILY RESIDENTIAL DEVELOPMENT
 1125-1149 Cyrville Road,
 Ottawa, ON



CONSULTANT:

SCALE:	SEAL:
DATE: 08/06/2022	
DRAWN BY:	
CHECKED BY:	
JOB NO: 2021-010	

SHEET TITLE:
**AERIAL VIEW
 -LOOKING TO NORTH**

DRAWING NO.: **A5.3** REVISION No:



T 604 210 9698 INFO@JSARCHITECT.CA
 206-4603 KINGSWAY, BURNABY, BC V5H 4M4
 WWW.JSARCHITECT.CA

Copyright reserved. This plan and design are and at all times remain the exclusive property of J+S Architect Inc and may not be used or reproduced without their consent.

REVISION AS PER CITY COMMENT	18/03/2023
REVISION AS PER CITY COMMENT	18/10/2022
REVISION AS PER CITY COMMENT	08/06/2022
REVISION AS PER CITY COMMENT	30/05/2022
NO. REVISION	DATE(D/M/Y)

ISSUED FOR: DATE(D/M/Y)

ISSUED FOR REZONING APPLICATION	18/04/2022

PROJECT:
MULTI-FAMILY RESIDENTIAL DEVELOPMENT
 1125-1149 Cyrville Road,
 Ottawa, ON



CONSULTANT:

SCALE:	SEAL:
DATE: 08/06/2022	
DRAWN BY:	
CHECKED BY:	
JOB NO: 2021-010	

SHEET TITLE:

**AERIAL VIEW
 -LOOKING TO WEST**

DRAWING NO.:	REVISION No.:
A5.4	



OUTDOOR DECK AND TRELLIS TO INTEGRATE THE RAMP TO OVERALL BUILDING MASS



T 604 210 9698 INFO@JSARCHITECT.CA
 206-4603 KINGSWAY, BURNABY, BC V5H 4M4
 WWW.JSARCHITECT.CA

Copyright reserved. This plan and design are and at all times remain the exclusive property of J+S Architect Inc and may not be used or reproduced without their consent.

REVISION AS PER CITY COMMENT	18/03/2023
REVISION AS PER CITY COMMENT	18/10/2022
REVISION AS PER CITY COMMENT	08/06/2022
REVISION AS PER CITY COMMENT	30/05/2022

NO. REVISION DATE(D/M/Y)

ISSUED FOR: DATE(D/M/Y)

ISSUED FOR REZONING APPLICATION	18/04/2022
---------------------------------	------------

PROJECT:
MULTI-FAMILY RESIDENTIAL DEVELOPMENT

1125-1149 Cyrville Road,
 Ottawa, ON



CONSULTANT:

SCALE:	SEAL:
DATE: 08/06/2022	
DRAWN BY:	
CHECKED BY:	
JOB NO: 2021-010	

SHEET TITLE:

**AERIAL VIEW
 -LOOKING TO SOUTHEAST**

DRAWING NO.: **A5.5** REVISION No:



T 604 210 9698 INFO@JSARCHITECT.CA
 206-4603 KINGSWAY, BURNABY, BC V5H 4M4
 WWW.JSARCHITECT.CA

Copyright reserved. This plan and design are and at all times remain the exclusive property of J+S Architect Inc and may not be used or reproduced without their consent.

REVISION AS PER CITY COMMENT	18/03/2023
REVISION AS PER CITY COMMENT	18/10/2022
REVISION AS PER CITY COMMENT	08/06/2022
REVISION AS PER CITY COMMENT	30/05/2022
NO. REVISION	DATE(D/M/Y)

ISSUED FOR: DATE(D/M/Y)
 ISSUED FOR REZONING APPLICATION 18/04/2022

PROJECT:
MULTI-FAMILY RESIDENTIAL DEVELOPMENT
 1125-1149 Cyrville Road,
 Ottawa, ON



CONSULTANT:

SCALE:	SEAL:
DATE: 08/06/2022	
DRAWN BY:	
CHECKED BY:	
JOB NO: 2021-010	

SHEET TITLE:
**3D VIEW
 -BUILDING B ENTRY**

DRAWING NO.: **A5.6** REVISION No:
 PLAN NO: 18599