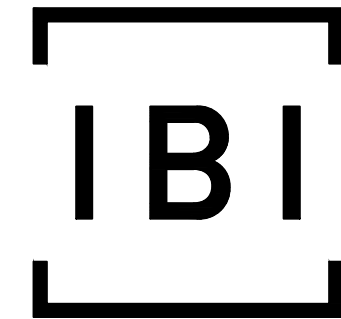
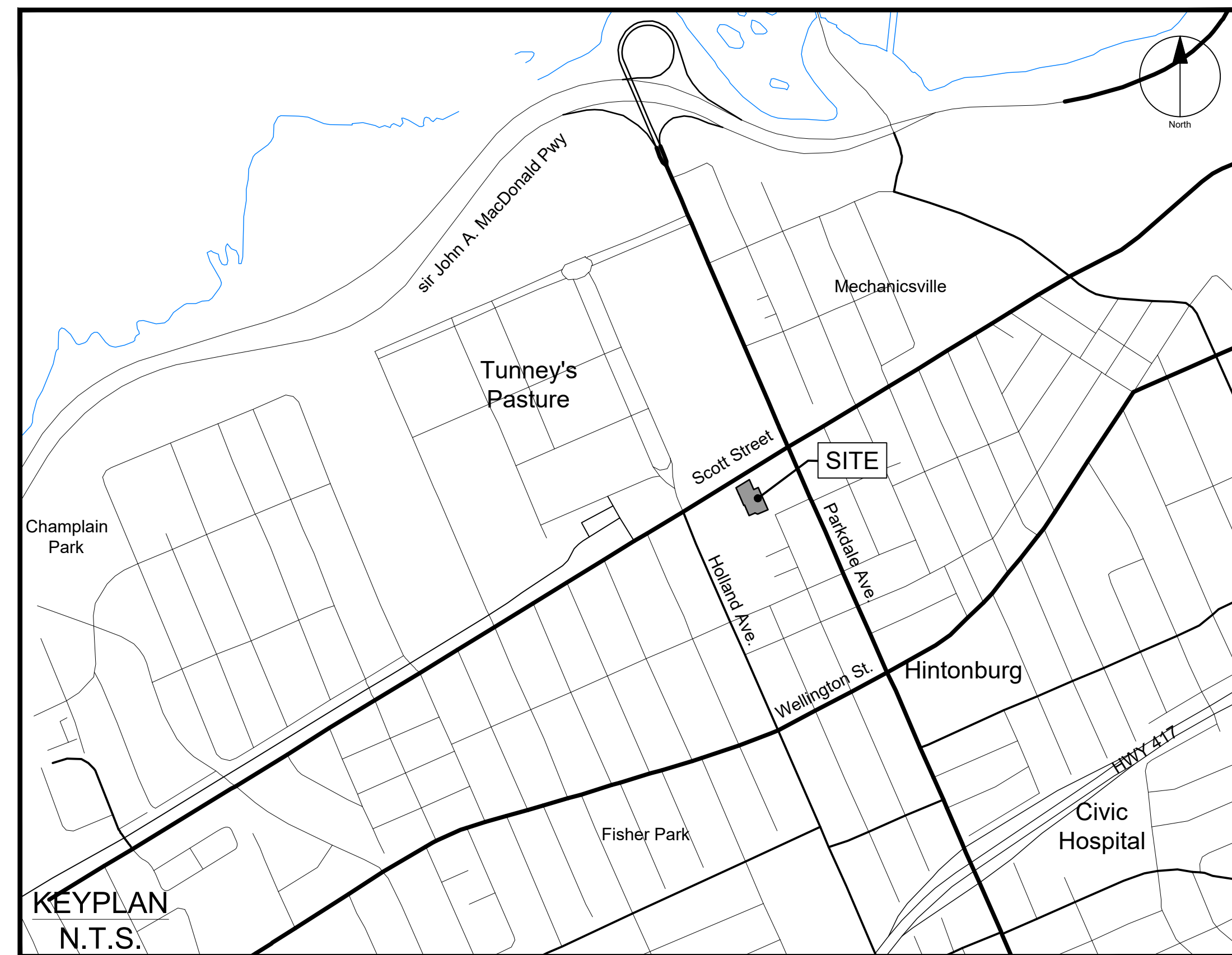


EVOKE

1546 Scott Street, Ottawa



IBI GROUP
400 – 333 Preston Street
Ottawa ON K1S 5N4 Canada
tel 613 225 1311 fax 613 225 9868
ibigroup.com



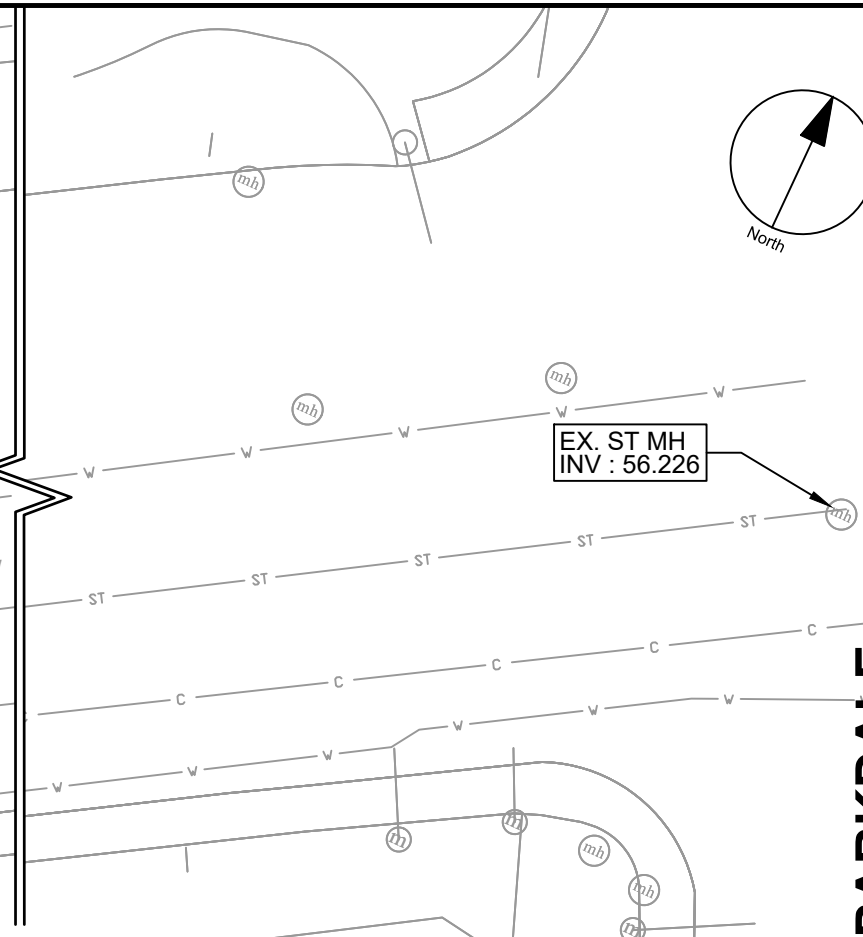
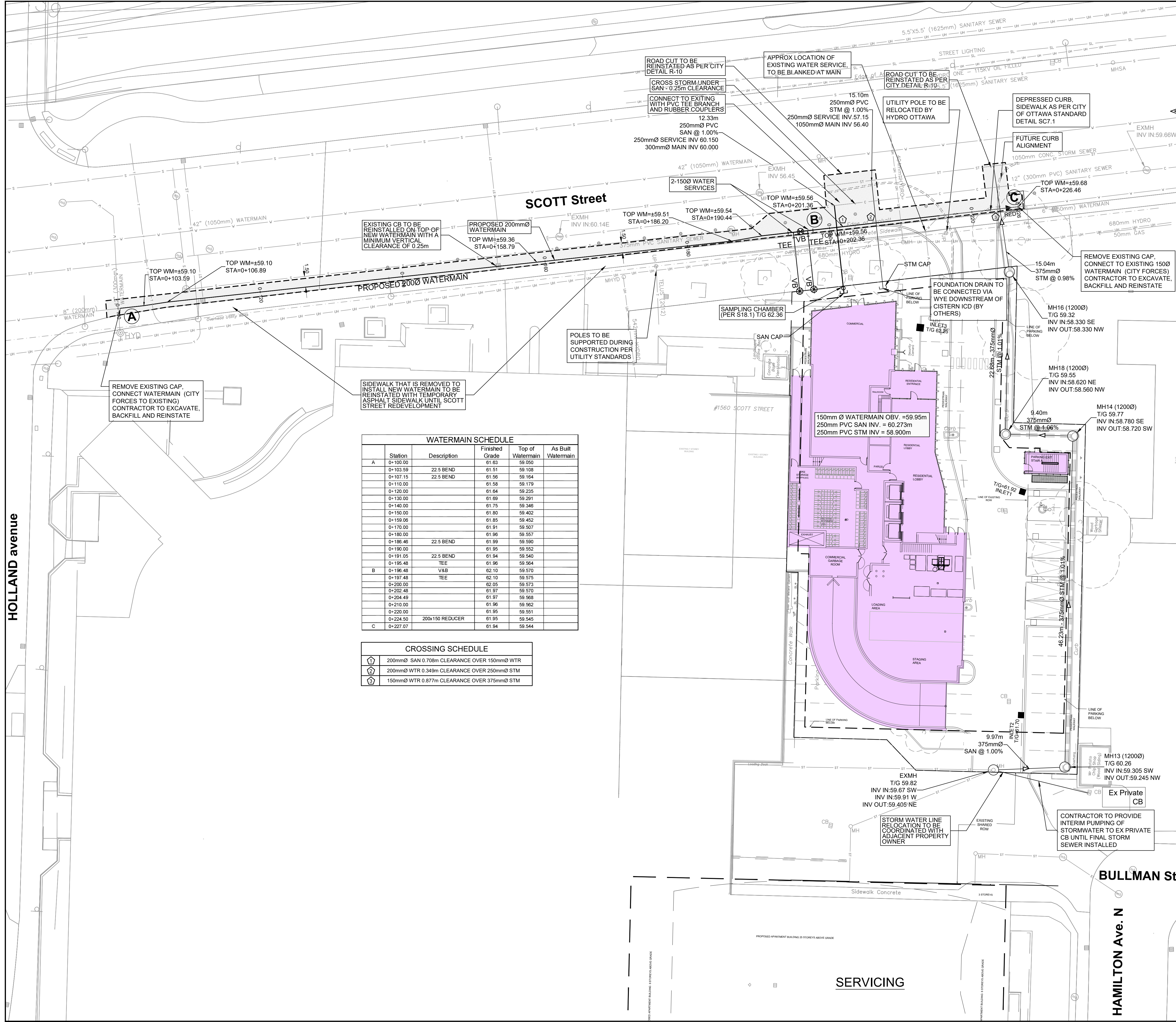
Sheet List Table	
Sheet Number	Sheet Title
-	Cover
C-001	GENERAL PLAN OF SERVICES
C-200	GRADING PLAN
C-500	STORM DRAINAGE AREA PLAN
C-900	EROSION AND SEDIMENT CONTROL PLAN

Reid's Heritage Properties



CONTRACT NO. 132902

REVISED PER MECHANICAL DESIGN 2023-03-24
CITY FILE No. D07-12-21-0216



LEGEND

- PROPERTY LINE
- F.F. = 80.50 FINISHED FLOOR ELEVATION
- DEPRESSED CURB
- WATER METER (SEE MECH. DRAWING FOR EXACT LOCATION)
- REMOTE WATER METER (SEE MECH. DRAWING FOR EXACT LOCATION)
- SIAMOSE CONNECTIONS (SEE MECH. DRAWING FOR EXACT LOCATION)
- GAS SERVICE
- RETAINING WALL C/W TOP OF WALL AND GRASS GRADE
- VALVE AND VALVE BOX
- VALVE AND VALVE CHAMBER
- 1500 WATERMAIN
- 2000 SAN
- 2500 STM
- EXISTING CURB
- EXISTING CATCHBASIN
- EXISTING WATER VALVE
- EXISTING LAMP STANDARD
- EXISTING UTILITY POLE
- EXISTING FIRE HYDRANT
- EXISTING MANHOLE
- EXISTING SIGN
- EXISTING BOLLARDS
- EXISTING DECIDUOUS TREE
- EXISTING SANITARY SEWER
- EXISTING STORM SEWER
- EXISTING WATERMAIN
- EXISTING GAS LINE
- EXISTING HYDRO EXISTING
- EXISTING OVERHEAD UTILITY WIRES
- EXISTING COMBINED SEWER
- EXISTING STREET LIGHTING
- PROPOSED BUILDING

- NOTES:**
- ALL WORKS TO BE COMPLETED AS PER CURRENT CITY OF OTTAWA STANDARDS AND ONTARIO PROVINCIAL STANDARDS AND SPECIFICATIONS.
 - SEWER LATERALS TO BE PVC DR 35.
 - WATER MAIN AND SERVICES TO BE PVC. DR 18 CL 150. MINIMUM COVER OF 2.4m FOR WATER SERVICE IS REQUIRED. USE THERMAL INSULATION AS PER CITY STANDARDS WHEN COVER IS LESS THAN 2.4m. WATER MAIN AND SERVICES TO HAVE RESTRAINTS AND THRUST BLOCKS AS PER CITY STD W23, W25.5 AND W25.6. NEW WATER MAIN TO HAVE TRACING WIRE PER STD W36.
 - ALL SEWER LATERAL AND SURFACE RESTORATION WORK IN ACCORDANCE WITH CURRENT CITY OF OTTAWA STANDARDS AND SPECIFICATIONS.
 - FULL PORT BACKWATER VALVE IS REQUIRED ON BOTH THE SANITARY AND STORM SERVICE CONNECTIONS.
 - WATER SERVICE CHLORINATION AND TESTING TO BE COMPLETED BY CITY FORCES.
 - BUILDING INFORMATION TAKEN FROM TREGBOV COGAN ARCHITECTS DRAWINGS.
 - AN EROSION AND SEDIMENTATION CONTROL PLAN WILL BE IMPLEMENTED ON THIS SITE. AS A MINIMUM THAT PLAN WILL INCLUDE A LIGHT DUTY SILT FENCE BARRIER TO OPSD STANDARD 219.110 SURROUNDING THE SITE WHERE PRACTICAL AND SILT SACKS FITTED UNDER EXISTING STREET CATCH BASINS.
 - ALL SHOWN UTILITIES ARE APPROXIMATE AND ARE TO BE FIELD VERIFIED BY CONTRACTOR. ANY DISCREPANCIES ARE TO BE REPORTED TO IBI GROUP PRIOR TO CONTRACTOR MOBILIZING TO SITE.
 - CONTRACTOR RESPONSIBLE TO SUPPORT EXISTING UTILITIES THAT MAY BE AFFECTED DURING CONSTRUCTION.
 - EXISTING CURBS AND SIDEWALKS ARE TO BE REMOVED AND REPLACED AS NOTED ON THE DRAWINGS.
 - THE CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES TO PROVIDE FOR PROTECTION OF THE AREA DRAINAGE SYSTEM AND THE RECEIVING WATER COURSE. DURING CONSTRUCTION ACTIVITIES. THIS INCLUDES LIMITING THE AMOUNT OF EXPOSED SOIL, USING FILTER CLOTH UNDER THE GRATES OF CATCHBASINS AND MANHOLES AND INSTALLING SILT FENCES AND EFFECTIVE SEDIMENT TRAPS. THE CONTRACTOR ACKNOWLEDGES THAT FAILURE TO IMPLEMENT APPROPRIATE EROSION AND SEDIMENT CONTROL MEASURES MAY BE SUBJECT TO PENALTIES IMPOSED BY ANY APPLICABLE REGULATORY AGENCIES.
 - FOR GEOTECHNICAL INFORMATION SEE REPORT 47-CEI-R1BY YURI MENDEZ ENGINEERING.
 - CLAY SEAL TO BE INSTALLED IN SERVICE TRENCHES BETWEEN CONNECTION POINT AND CAP.
 - PRESSURE REDUCING VALVE REQUIRED ON WATER SERVICES INSIDE BUILDING (BY OTHERS)

WATERMAIN SCHEDULE

Station	Description	Finished Grade	Top of Watermain	As Built Watermain
A				
0+100.00		61.63	59.950	
0+103.59	22.5 BEND	61.51	59.106	
0+107.15	22.5 BEND	61.56	59.164	
0+110.00		61.58	59.179	
0+120.00		61.64	59.235	
0+130.00		61.69	59.291	
0+140.00		61.75	59.346	
0+150.00		61.80	59.402	
0+159.96		61.85	59.452	
0+170.00		61.81	59.507	
0+180.00		61.96	59.557	
0+185.46	22.5 BEND	61.99	59.590	
0+190.00		61.95	59.552	
0+191.05	22.5 BEND	61.94	59.540	
0+195.46	TEE	61.96	59.564	
0+196.46	V&B	62.10	59.570	
0+197.46	TEE	62.10	59.575	
0+200.00		62.05	59.573	
0+202.48		61.97	59.570	
0+204.40		61.97	59.568	
0+210.00		61.96	59.562	
0+220.00		61.95	59.551	
0+224.50	200x150 REDUCER	61.95	59.545	
0+227.07		61.94	59.544	
C				

CROSSING SCHEDULE

1	200mmØ SAN 0.708m CLEARANCE OVER 150mmØ WTR
2	200mmØ WTR 0.349m CLEARANCE OVER 250mmØ STM
3	150mmØ WTR 0.877m CLEARANCE OVER 375mmØ STM

CLIENT
 Reid's Heritage Properties
 1515 Gordon Street, Suite 203, Guelph, ON, N1L 1C9

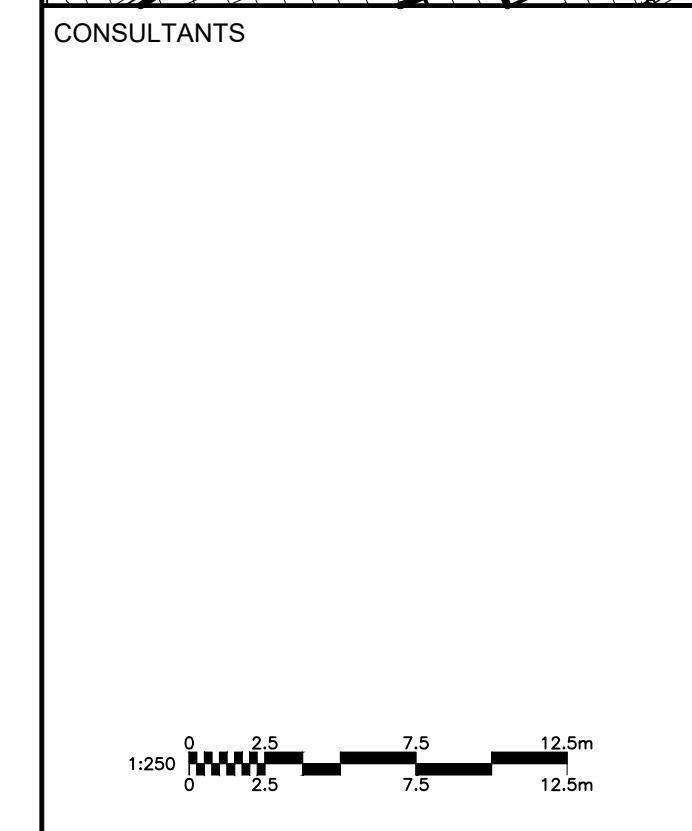
COPYRIGHT
 This drawing has been prepared solely for the intended use. Any reproduction or distribution for any purpose other than authorized by IBI Group is forbidden. Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job, and IBI Group shall be notified of any variations from the dimensions and conditions shown on the drawing. Shop drawings shall be submitted to IBI Group for general concurrence before proceeding with fabrication.
 IBI Group Professional Services (Canada) Inc.
 is a member of the IBI Group of companies.

ISSUES

No.	DESCRIPTION	DATE
1	ISSUED FOR SPA	2021-11-24
2	REVISED PER CITY COMMENTS	2022-07-06
3	REVISED PER NEW SITE PLAN	2022-08-05
4	REVISED PER CITY COMMENTS	2023-01-25
5	REVISED PER NEW SITE PLAN	2023-02-09
6	REVISED PER MECHANICAL DESIGN	2023-03-24
7	REVISED PER CITY COMMENTS	2023-04-17

SEE 010 FOR NOTES, LEGEND, CB TABLE, STREET SECTIONS AND DETAILS

CONSULTANTS



SEAL

Professional Engineer Seal: J.D. K. Yarnopoulos, 2023/04/17, PROVINCE OF ONTARIO

Professional Engineer Seal: S.E. LABADIE, 100214983, 2023/04/17, PROVINCE OF ONTARIO

IBI GROUP
 Suite 400 - 333 Preston Street
 Ottawa ON K1S 5N4 Canada
 Tel: 613 225 1311 / 613 241 3300 Fax: 613 225 9868
 ibigroup.com

PROJECT
 EVOKE
 1546 Scott Street, Ottawa

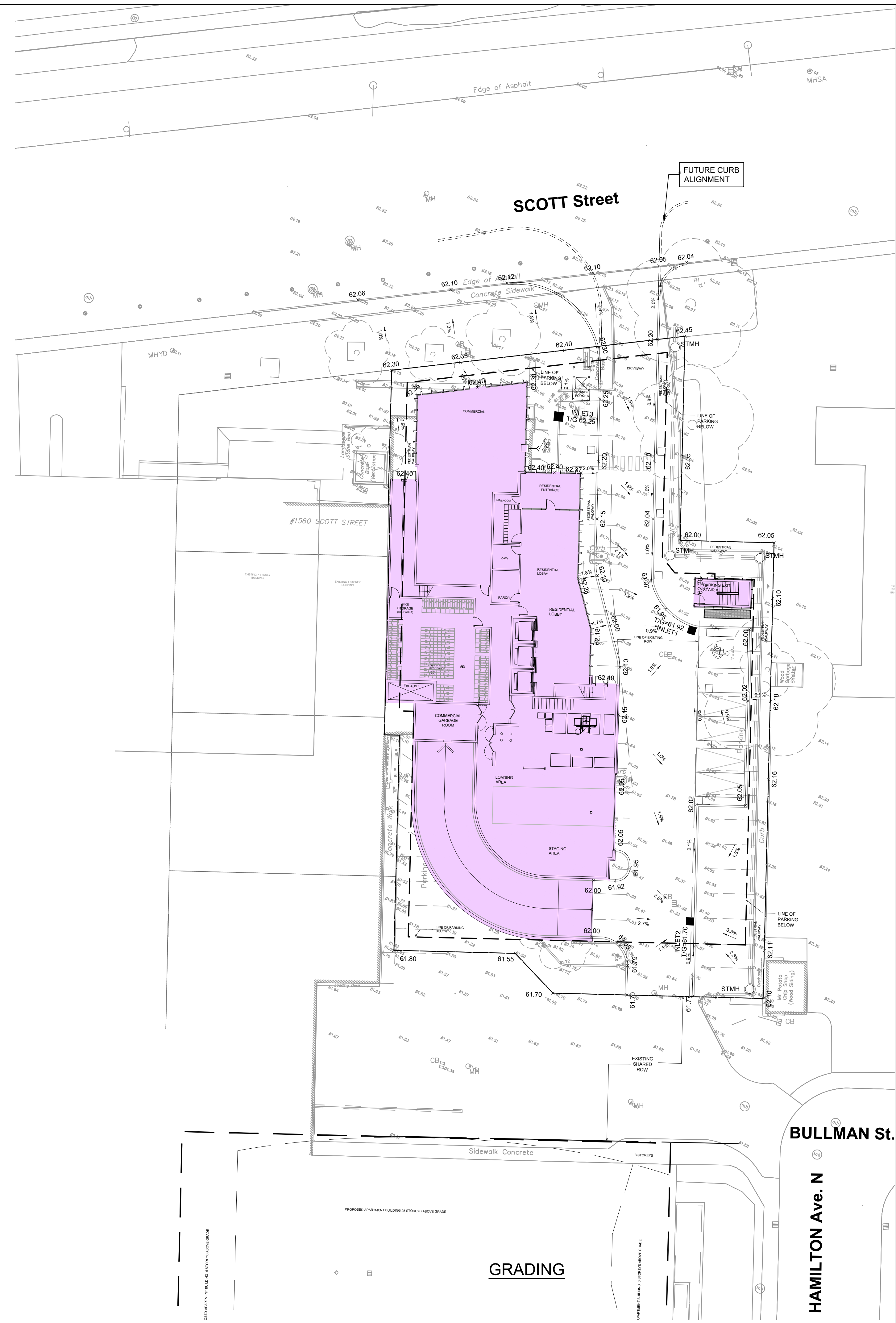
PROJECT NO: 132902
DRAWN BY: D.D.
PROJECT MGR: D.G.Y.

CHECKED BY: J.B.
APPROVED BY: J.B.

SHEET TITLE
 GENERAL PLAN OF SERVICES

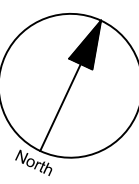
SHEET NUMBER C-001 **ISSUE** 7

CITY FILE No. D07-12-21-0216
 File Location: W:\132902_1546_Scott7_0_Production\02_Design\04_Civil\Sheets\C-001_GENERAL_PLAN_OF_SERVICES.dwg
 Last Saved: April 13, 2023, 3:32:21 PM by Denis Dore
 Printed: Monday, April 17, 2023, 3:32:21 PM by Denis Dore



LEGEND

- PROPERTY LINE
- F.F. = 80.50 FINISHED FLOOR ELEVATION
- DEPRESSED CURB
- (M) WATER METER (SEE MECH. DRAWG. FOR EXACT LOCATION)
- (RM) REMOTE WATER METER (SEE MECH. DRAWG. FOR EXACT LOCATION)
- (S) SIAMSE CONNECTIONS (SEE MECH. DRAWG. FOR EXACT LOCATION)
- (R) RETAINING WALL C&V TOP OF WALL AND GRASS GRADE
- EXISTING CURB
- CB EXISTING CATCHBASIN
- WV EXISTING WATER VALVE
- LS EXISTING LAMP STANDARD
- UP EXISTING UTILITY POLE
- FH EXISTING FIRE HYDRANT
- MH EXISTING MANHOLE
- EXISTING SIGN
- BL EXISTING BOLLARDS
- EXISTING DECIDUOUS TREE
- EXISTING TOPO POINTS
- PROPOSED BUILDING



CLIENT
Reid's Heritage Properties
 Heritage Properties
 1515 Gordon Street, Suite 203, Guelph, ON, N1L 1C9

COPYRIGHT
 This drawing has been prepared solely for the intended use. This any reproduction or distribution for any purpose other than authorized by IBI Group is forbidden. When dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job, and IBI Group shall be informed of any variations from the dimensions and conditions shown on the drawing. Shop drawings shall be submitted to IBI Group for general concurrence before proceeding with fabrication.
 IBI Group Professional Services (Canada) Inc.
 is a member of the IBI Group of companies.

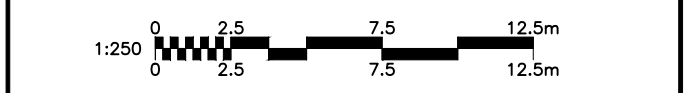
ISSUES

No.	DESCRIPTION	DATE
1	ISSUED FOR SPA	2021-11-24
2	REVISED PER CITY COMMENTS	2022-07-06
3	REVISED PER NEW SITE PLAN	2022-08-05
4	REVISED PER CITY COMMENTS	2023-01-25
5	REVISED PER NEW SITE PLAN	2023-02-09
6	REVISED PER MECHANICAL DESIGN	2023-03-24
7	REVISED PER CITY COMMENTS	2023-04-17

SEE 010 FOR NOTES, LEGEND, CB TABLE, STREET SECTIONS AND DETAILS



CONSULTANTS



SEAL

IBI GROUP
 Suite 400 - 333 Preston Street
 Ottawa ON K1S 5N4 Canada
 Tel: 613 225 1311 / 613 241 3300 Fax: 613 225 9868
 ibigroup.com

PROJECT
EVOKE
 1546 Scott Street, Ottawa

PROJECT NO:
 132902

DRAWN BY: D.D.	CHECKED BY: J.B.
PROJECT MGR: D.G.Y.	APPROVED BY: J.B.

SHEET TITLE
GRADING PLAN

SHEET NUMBER C-200	ISSUE 7
-------------------------------------	--------------------------

CITY FILE No. D07-12-21-0216
 File Location: W:\132902_1546_Scott7_0_Production\02_Design\04_Civil\Sheets\C-200 GRADING PLAN.dwg Last Saved: April 17, 2023, by ddore Plotted: Monthly, April 17, 2023, 3:32:51 PM by Denis Dore
 SCALE CHECK

