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DRAWING LIST

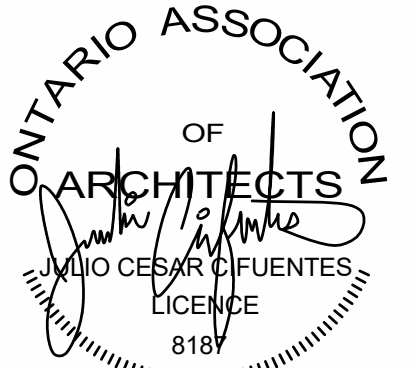
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NO.	ISSUED FOR PERMIT	DATE
01	ISSUED FOR PERMIT	2022-08-30
02	ISSUED FOR PERMIT REVISION 01	2022-12-08

COVER SHEET

TRANSITIONAL (TN)

Orleans

2370 TENTH LINE RD
CITY OF OTTAWA

CITY PLAN NO. XXXXXX CITY FILE NO. D07-12-21-0224

SHEET SIZE 24"x36"
SCALE:
ISSUE DATE Nov 25, 2022



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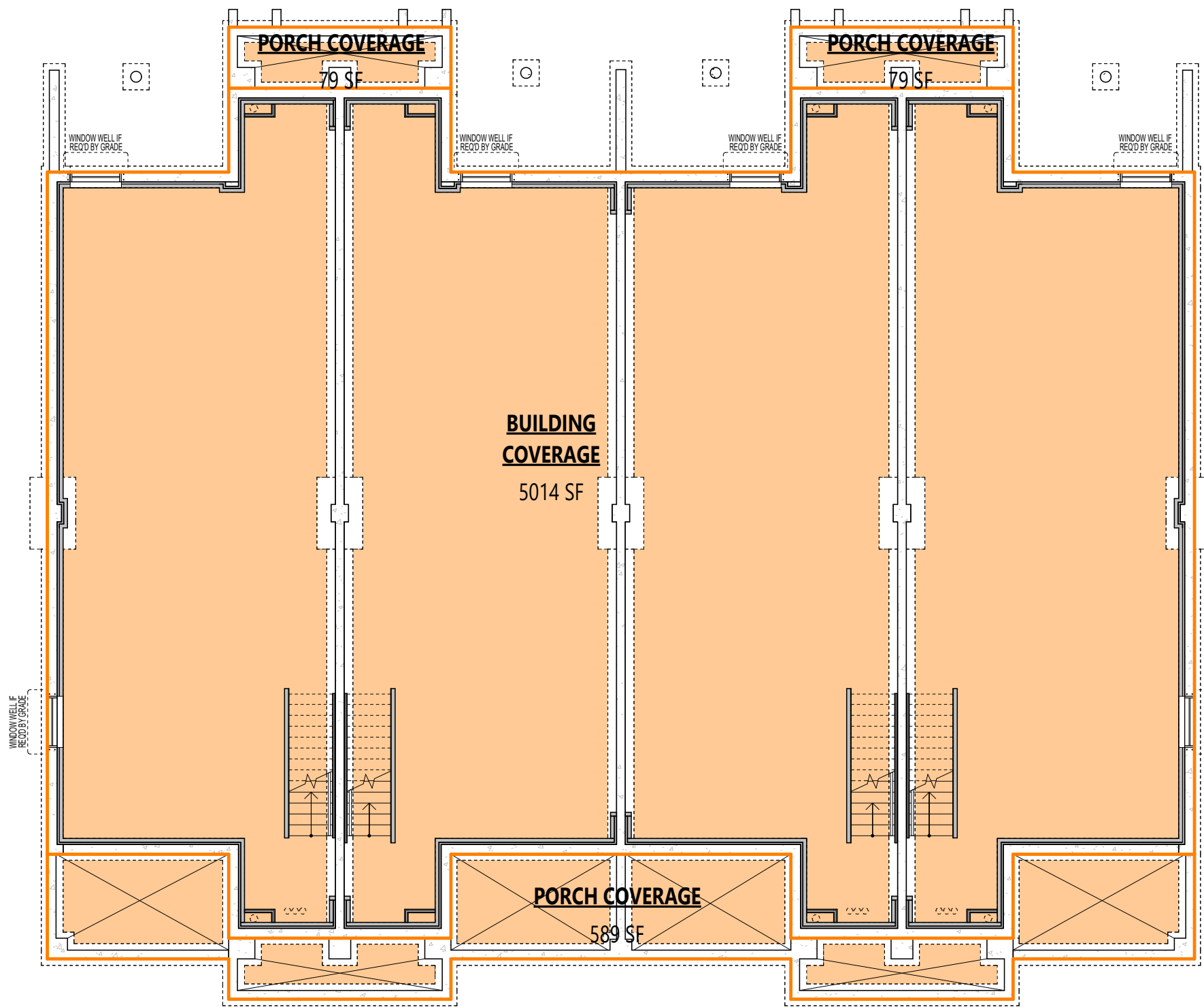
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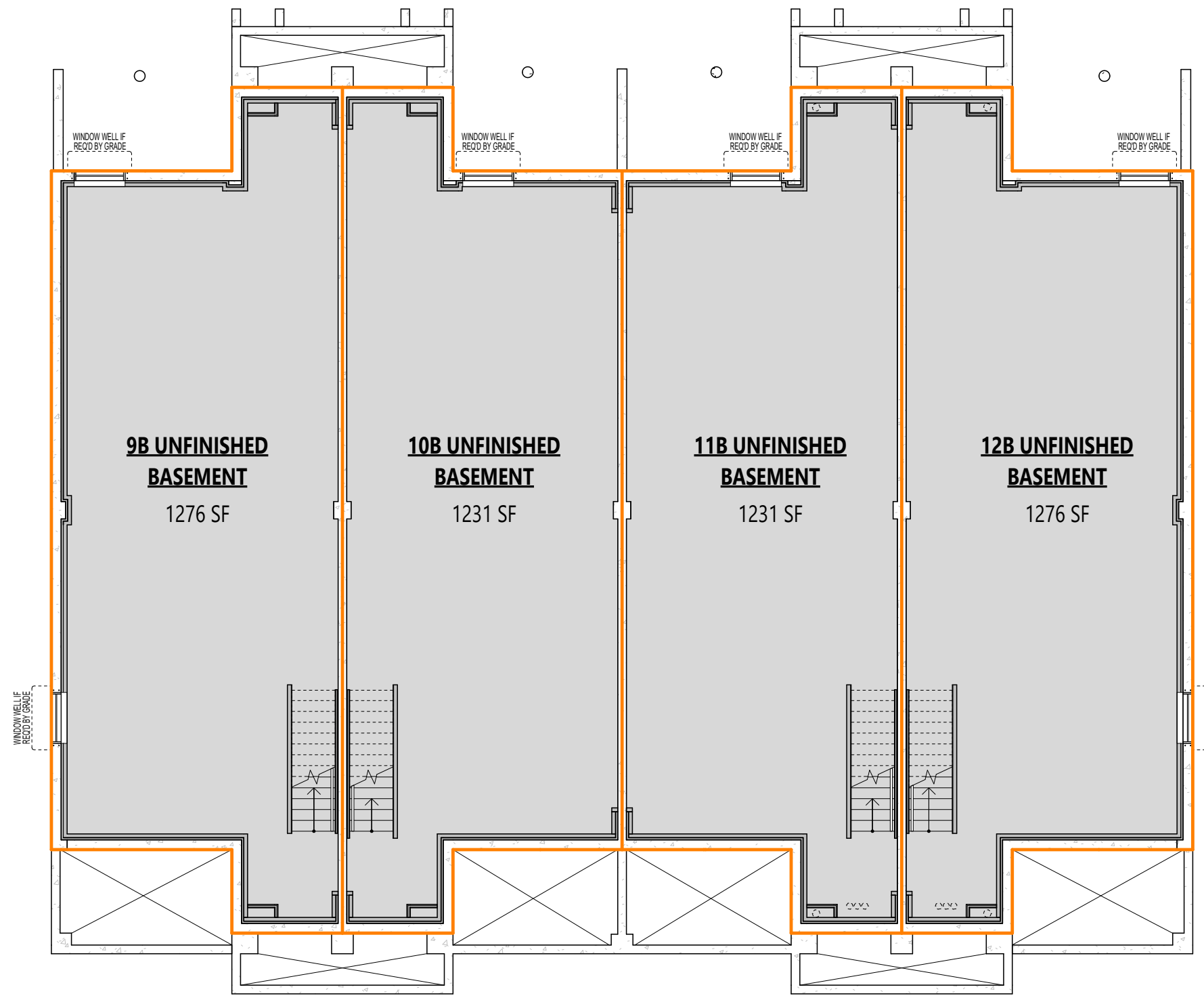
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COVERAGE

COVERAGE CALCULATIONS

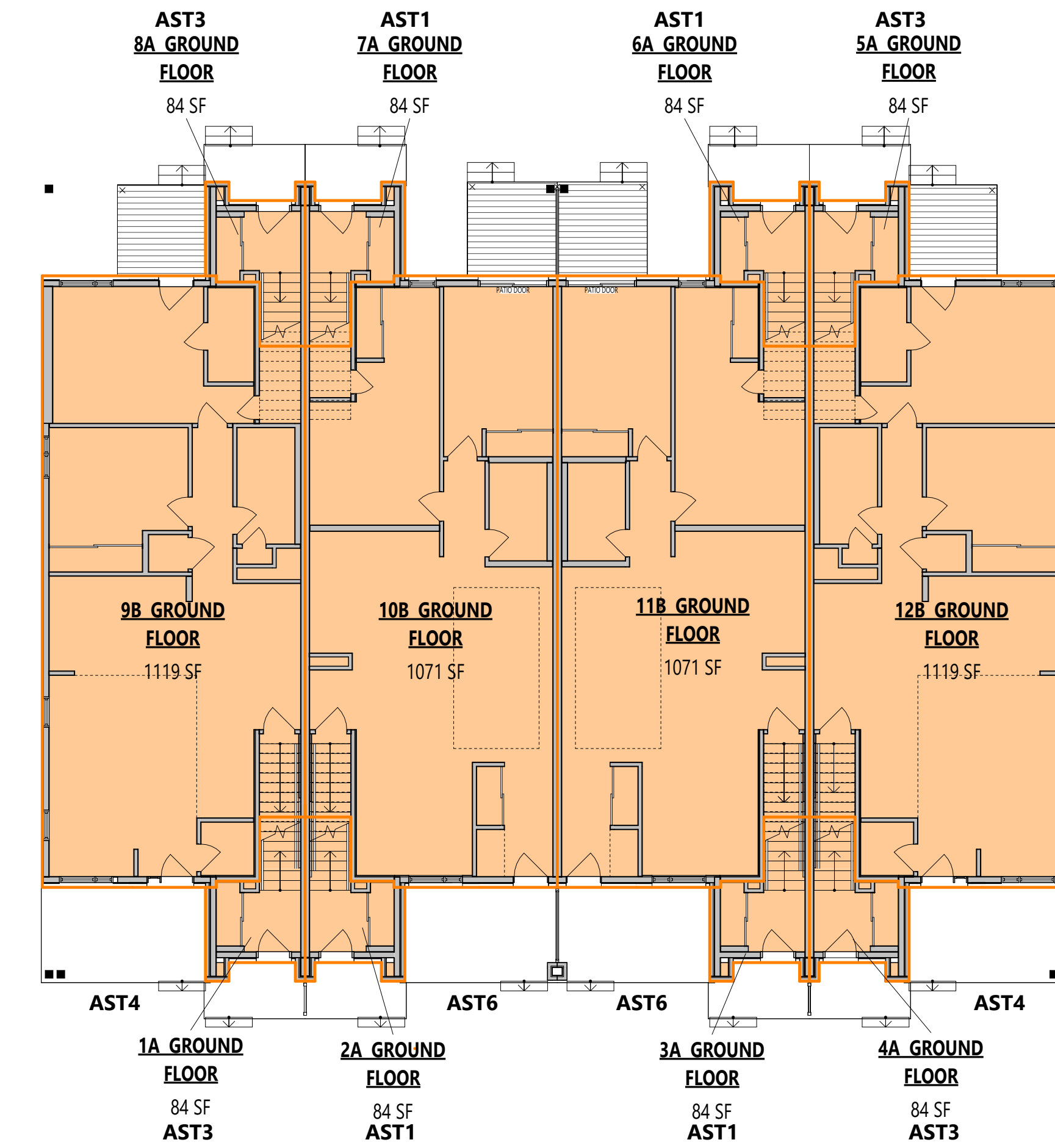
BUILDING COVERAGE	5014 SF	465.81 m ²
PORCH COVERAGE	747 SF	69.43 m ²
TOTAL	5761 SF	535.24 m²



BASEMENT

BASEMENT CALCULATIONS

9B UNFINISHED BASEMENT	1276 SF	118.57 m ²
10B UNFINISHED BASEMENT	1231 SF	114.33 m ²
11B UNFINISHED BASEMENT	1231 SF	114.33 m ²
12B UNFINISHED BASEMENT	1276 SF	118.57 m ²
TOTAL	5014 SF	465.81 m²



GROUND FLOOR

GROUND FLOOR CALCULATIONS

1A GROUND FLOOR	84 SF	7.83 m ²
2A GROUND FLOOR	84 SF	7.83 m ²
3A GROUND FLOOR	84 SF	7.83 m ²
4A GROUND FLOOR	84 SF	7.83 m ²
5A GROUND FLOOR	84 SF	7.83 m ²
6A GROUND FLOOR	84 SF	7.83 m ²
7A GROUND FLOOR	84 SF	7.83 m ²
8A GROUND FLOOR	84 SF	7.83 m ²
9B GROUND FLOOR	1119 SF	103.95 m ²
10B GROUND FLOOR	1071 SF	99.50 m ²
11B GROUND FLOOR	1071 SF	99.50 m ²
12B GROUND FLOOR	1119 SF	103.95 m ²
TOTAL	5054 SF	469.55 m²

GFA CALCULATION - STD

01 Ground Floor	5054 SF	469.55 m ²
02 Second Floor	5131 SF	476.70 m ²
03 Third Floor	4564 SF	424.05 m ²
TOTAL	14749 SF	1370.31 m²

AREA CALCULATIONS UNIT AST 1

GROUND FLOOR AREA	84 SF	[7.80 m ²]
SECOND FLOOR AREA	624 SF	[57.97 m ²]
THIRD FLOOR AREA	554 SF	[51.47 m ²]
TOTAL GFA	1262 SF	[117.24 m²]

AREA CALCULATIONS UNIT AST 6

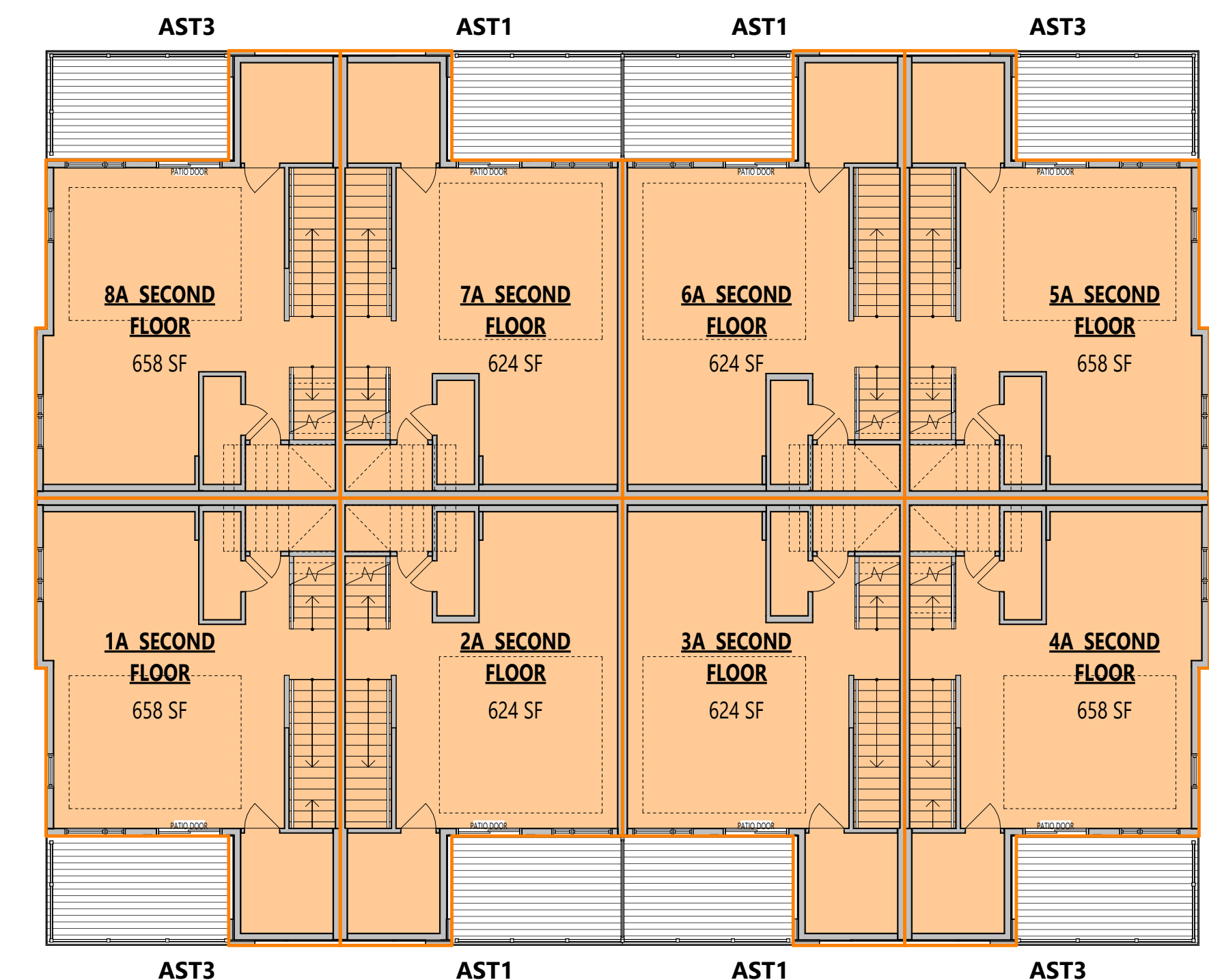
GROUND FLOOR AREA	1071 SF	[99.50 m ²]
SECOND FLOOR AREA	0 SF	[0.00 m ²]
THIRD FLOOR AREA	0 SF	[0.00 m ²]
TOTAL GFA	1071 SF	[99.50 m²]

AREA CALCULATIONS UNIT AST 3

GROUND FLOOR AREA	84 SF	[7.80 m ²]
SECOND FLOOR AREA	658 SF	[61.13 m ²]
THIRD FLOOR AREA	587 SF	[54.53 m ²]
TOTAL GFA	1329 SF	[123.47 m²]

AREA CALCULATIONS UNIT AST 4

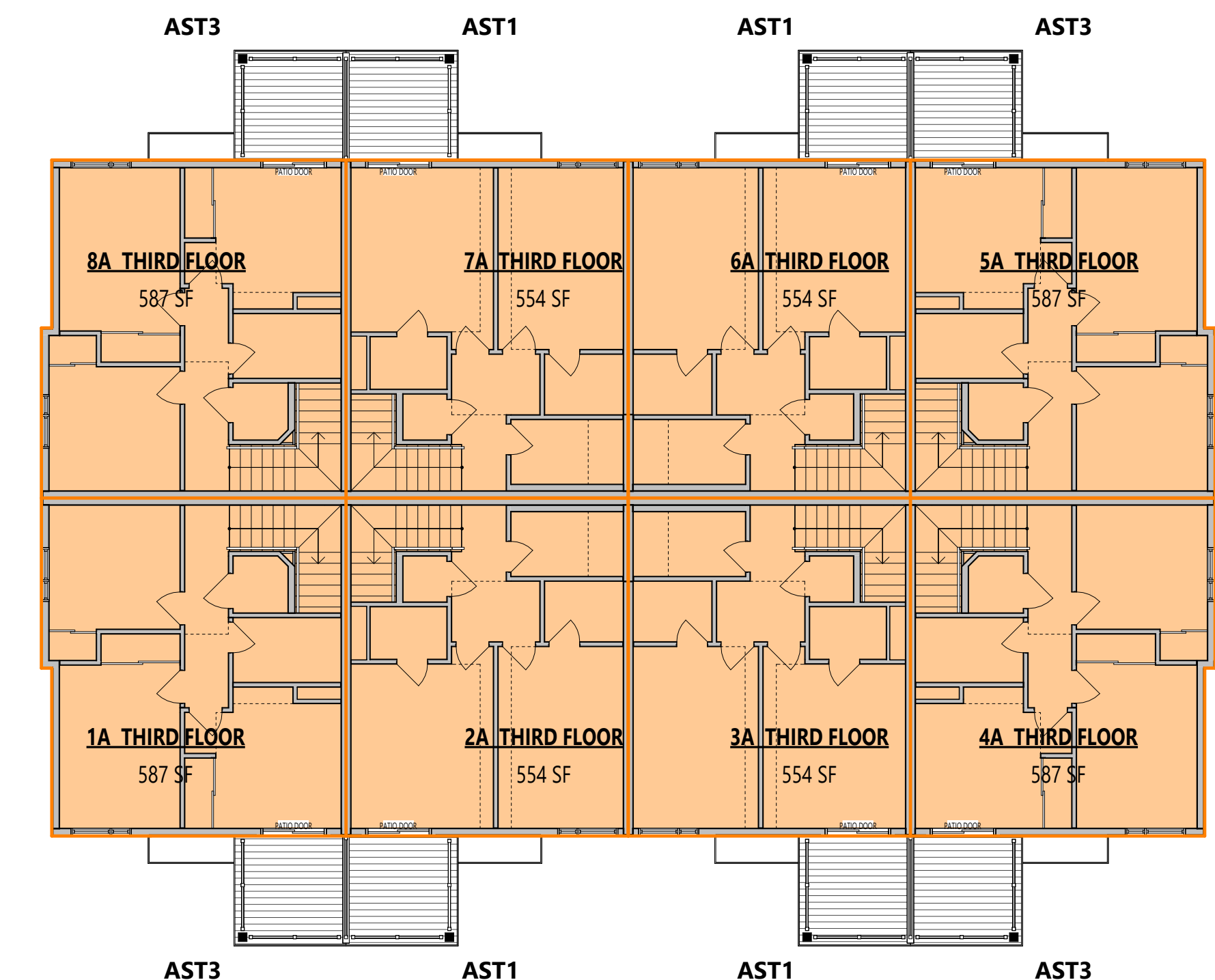
GROUND FLOOR AREA	1119 SF	[103.96 m ²]
SECOND FLOOR AREA	0 SF	[0.00 m ²]
THIRD FLOOR AREA	0 SF	[0.00 m ²]
TOTAL GFA	1119 SF	[103.96 m²]



SECOND FLOOR

SECOND FLOOR CALCULATIONS

1A SECOND FLOOR	658 SF	61.16 m ²
2A SECOND FLOOR	624 SF	58.01 m ²
3A SECOND FLOOR	624 SF	58.01 m ²
4A SECOND FLOOR	658 SF	61.16 m ²
5A SECOND FLOOR	658 SF	61.16 m ²
6A SECOND FLOOR	624 SF	58.01 m ²
7A SECOND FLOOR	624 SF	58.01 m ²
8A SECOND FLOOR	658 SF	61.17 m ²
TOTAL	5131 SF	476.70 m²



THIRD FLOOR

THIRD FLOOR CALCULATIONS

1A THIRD FLOOR	587 SF	54.58 m ²
2A THIRD FLOOR	554 SF	51.43 m ²
3A THIRD FLOOR	554 SF	51.43 m ²
4A THIRD FLOOR	587 SF	54.58 m ²
5A THIRD FLOOR	587 SF	54.58 m ²
6A THIRD FLOOR	554 SF	51.43 m ²
7A THIRD FLOOR	554 SF	51.43 m ²
8A THIRD FLOOR	587 SF	54.58 m ²
TOTAL	4564 SF	424.05 m²

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REV	DESCRIPTION	DATE
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01	ISSUED FOR PERMIT	2022-08-30
02	ISSUED FOR PERMIT REVISION 01	2022-12-08

AREA CALCULATIONS

TRANSITIONAL (TN)

Orleans

2370 TENTH LINE RD
CITY OF OTTAWA

CITY PLAN NO. XXXXXX CITY FILE NO. 007-12-21-0224

SHEET SIZE 24"x36"
SCALE 1" = 10'-0"
ISSUE DATE Nov 25, 2022



STUDIO

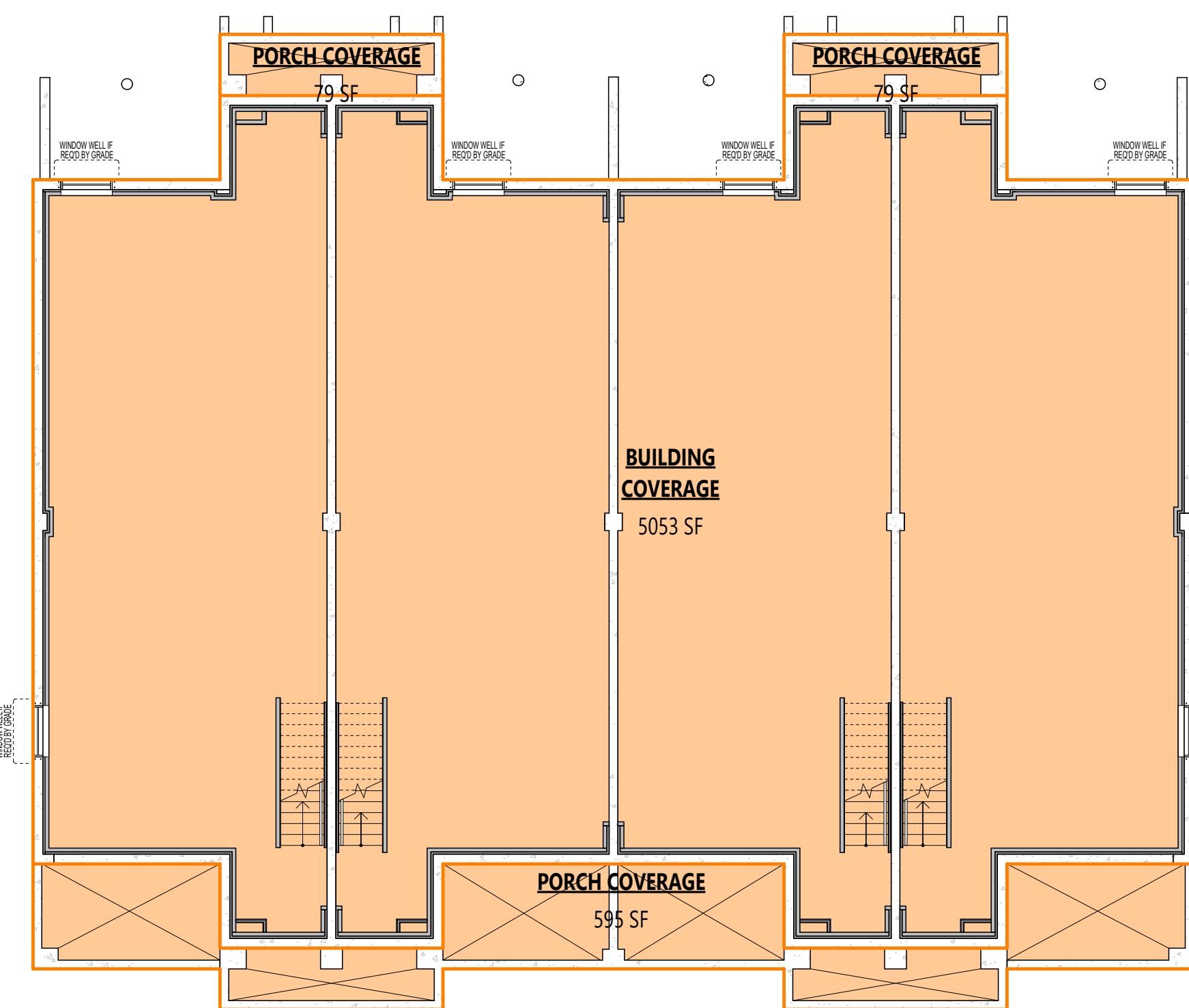
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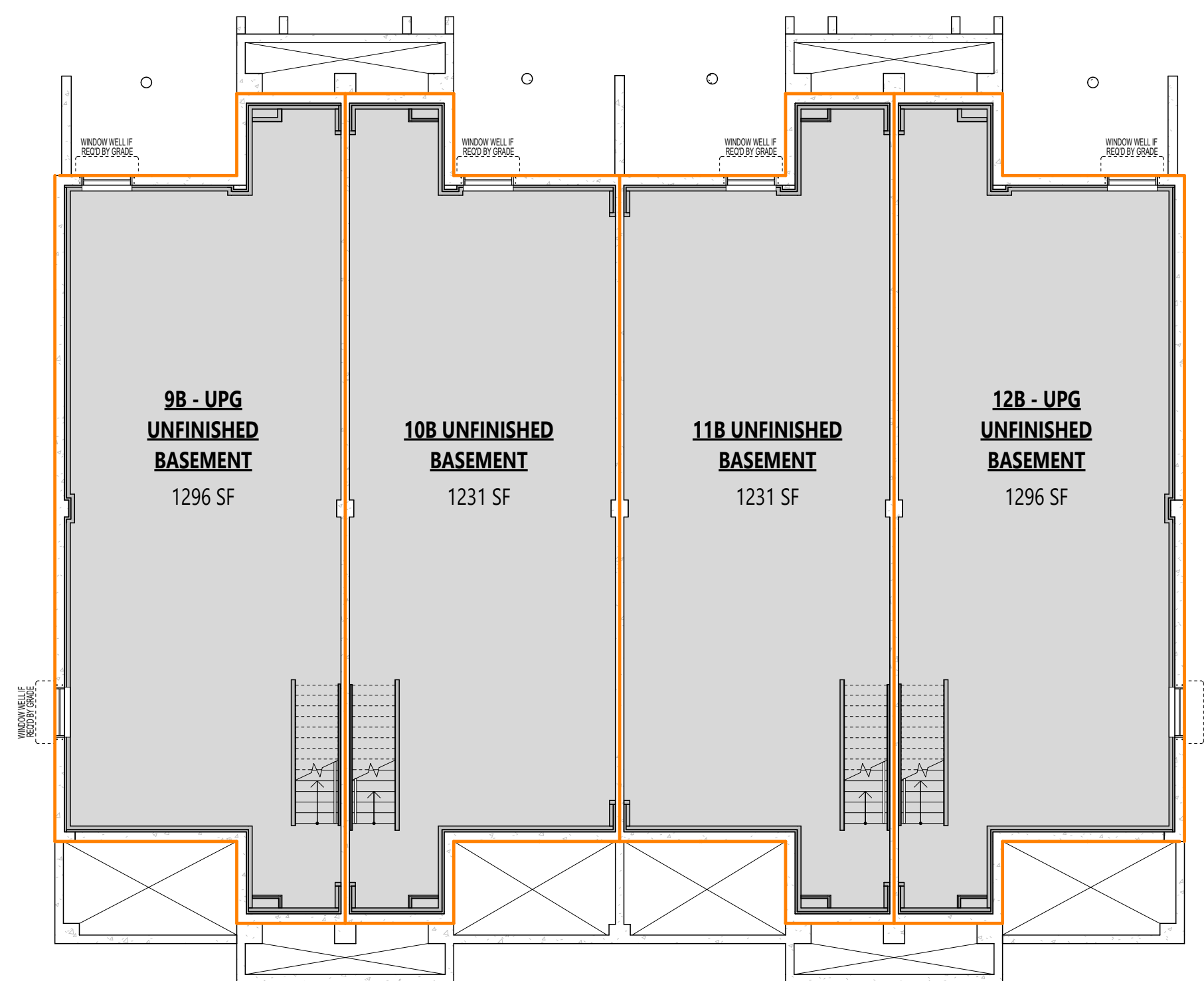
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COVERAGES - UPG

COVERAGES CALCULATIONS - UPG

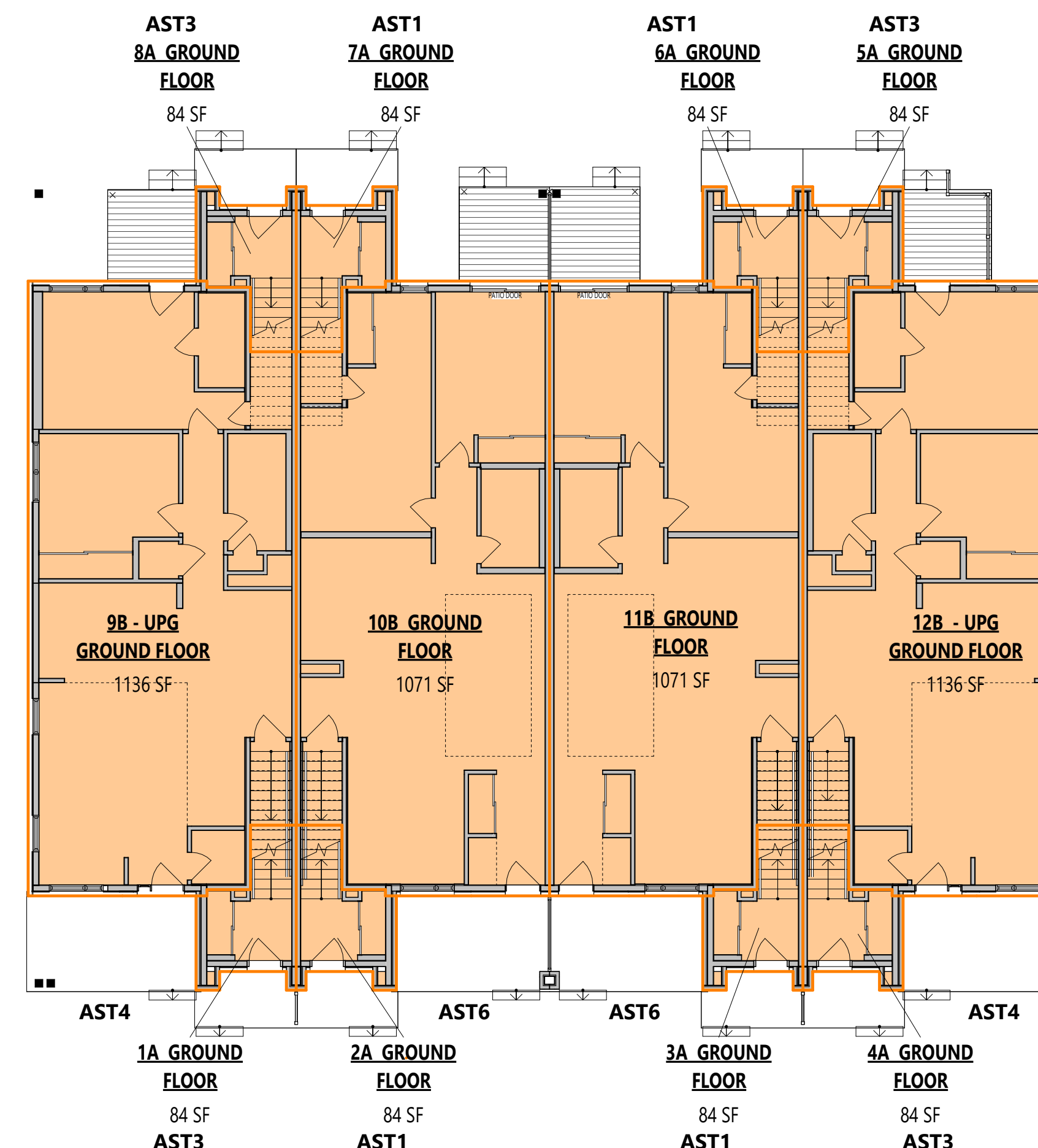
BUILDING COVERAGE	5053 SF	469.44 m ²
PORCH COVERAGE	733 SF	69.99 m ²
TOTAL	5886 SF	539.43 m ²



BASEMENT - UPG

BASEMENT CALCULATIONS

9B - UPG UNFINISHED BASEMENT	1296 SF	120.39 m ²
10B UNFINISHED BASEMENT	1231 SF	114.33 m ²
11B UNFINISHED BASEMENT	1231 SF	114.33 m ²
12B - UPG UNFINISHED BASEMENT	1296 SF	120.39 m ²
TOTAL	5053 SF	469.45 m ²



GROUND FLOOR - UPG

GROUND FLOOR CALCULATIONS - UPG

1A GROUND FLOOR	84 SF	7.83 m ²
2A GROUND FLOOR	84 SF	7.83 m ²
3A GROUND FLOOR	84 SF	7.83 m ²
4A GROUND FLOOR	84 SF	7.83 m ²
5A GROUND FLOOR	84 SF	7.83 m ²
6A GROUND FLOOR	84 SF	7.83 m ²
7A GROUND FLOOR	84 SF	7.83 m ²
8A GROUND FLOOR	84 SF	7.83 m ²
9B - UPG GROUND FLOOR	1136 SF	105.56 m ²
10B GROUND FLOOR	1071 SF	99.50 m ²
11B GROUND FLOOR	1071 SF	99.50 m ²
12B - UPG GROUND FLOOR	1136 SF	105.56 m ²
TOTAL	5089 SF	472.78 m ²

GFA CALCULATIONS - UPG

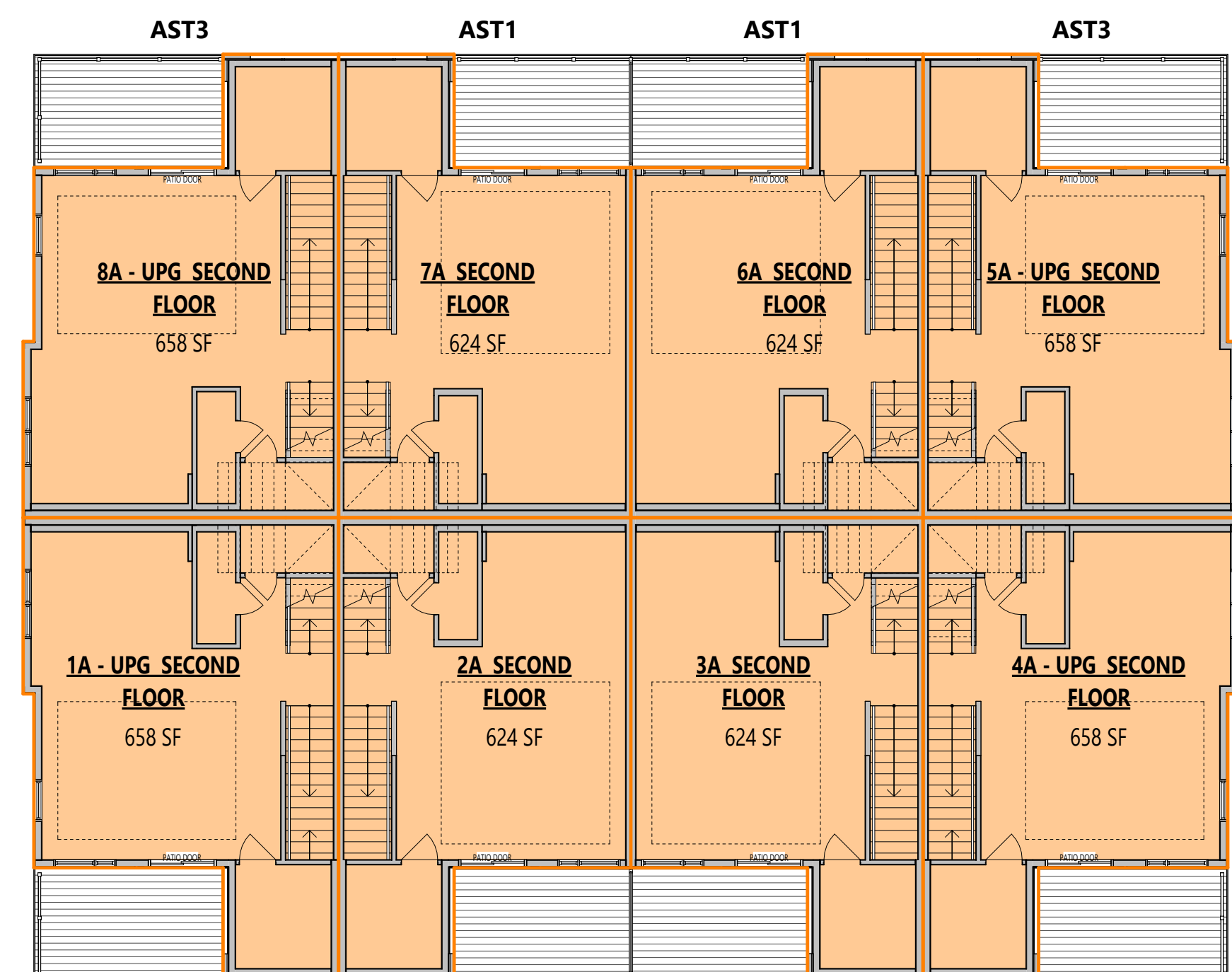
01 Ground Floor	5089 SF	472.78 m ²
02 Second Floor	5131 SF	476.70 m ²
03 Third Floor	4564 SF	424.05 m ²
TOTAL	14784 SF	1373.53 m ²

AREA CALCULATIONS UNIT AST 3 - UPG.

GROUND FLOOR AREA	84 SF	[7.80 m ²]
SECOND FLOOR AREA	658 SF	[61.13 m ²]
THIRD FLOOR AREA	587 SF	[54.53 m ²]
TOTAL GFA	1329 SF	[123.47 m ²]

AREA CALCULATIONS UNIT AST 4 - UPG.

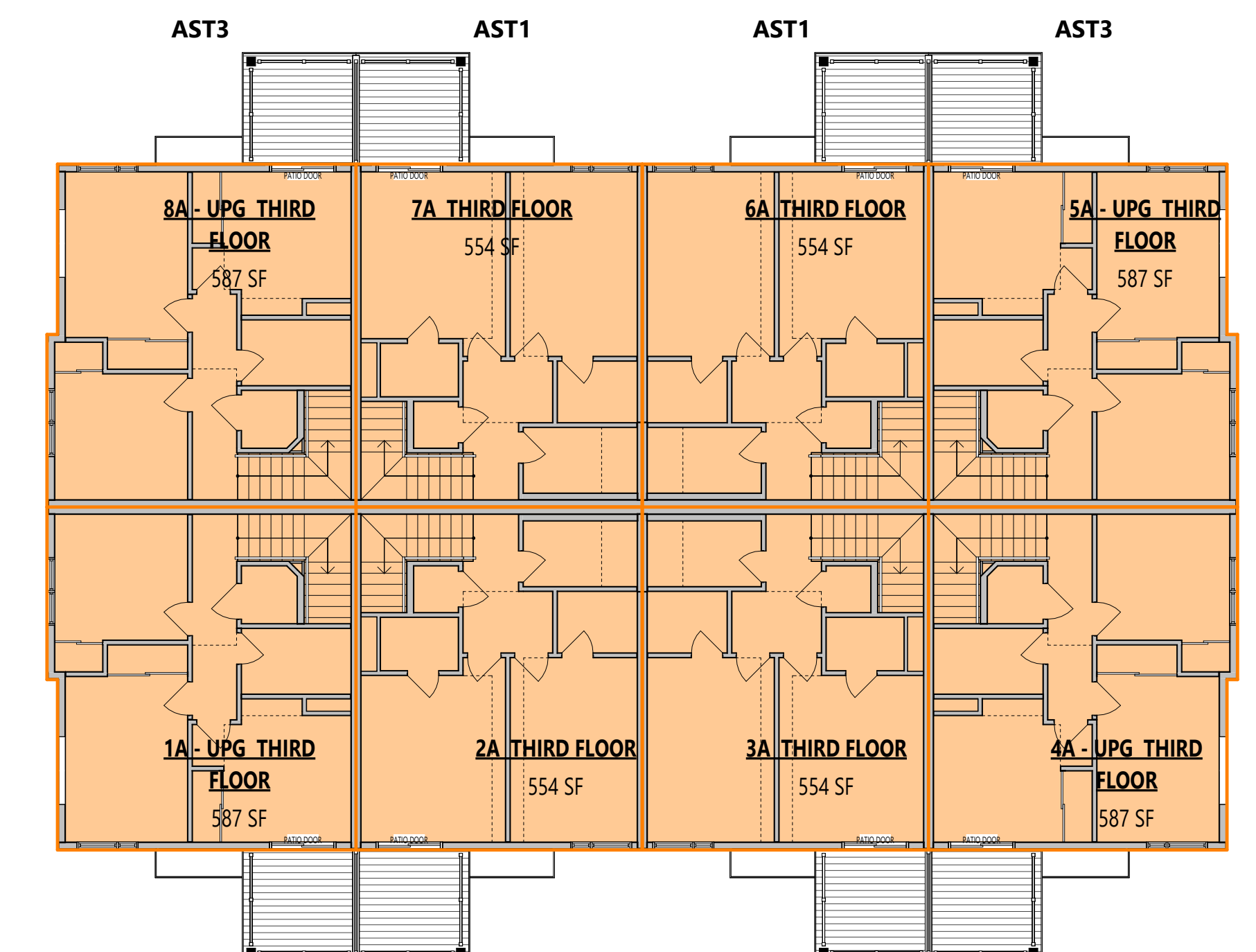
GROUND FLOOR AREA	1136 SF	[105.54 m ²]
SECOND FLOOR AREA	0 SF	[0.00 m ²]
THIRD FLOOR AREA	0 SF	[0.00 m ²]
TOTAL GFA	1136 SF	[105.54 m ²]



Second Floor - UPG

SECOND FLOOR CALCULATIONS - UPG

1A - UPG SECOND FLOOR	658 SF	61.16 m ²
2A SECOND FLOOR	624 SF	58.01 m ²
3A SECOND FLOOR	624 SF	58.01 m ²
4A - UPG SECOND FLOOR	658 SF	61.16 m ²
5A - UPG SECOND FLOOR	658 SF	61.16 m ²
6A SECOND FLOOR	624 SF	58.01 m ²
7A SECOND FLOOR	624 SF	58.01 m ²
8A - UPG SECOND FLOOR	658 SF	61.16 m ²
TOTAL	5131 SF	476.70 m ²



THIRD FLOOR - UPG

THIRD FLOOR CALCULATIONS - UPG

1A - UPG THIRD FLOOR	587 SF	54.58 m ²
2A THIRD FLOOR	554 SF	51.43 m ²
3A THIRD FLOOR	554 SF	51.43 m ²
4A - UPG THIRD FLOOR	587 SF	54.58 m ²
5A - UPG THIRD FLOOR	587 SF	54.58 m ²
6A THIRD FLOOR	554 SF	51.43 m ²
7A THIRD FLOOR	554 SF	51.43 m ²
8A - UPG THIRD FLOOR	587 SF	54.58 m ²
TOTAL	4564 SF	424.05 m ²

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AREA CALCULATIONS - UPG BLOCK

TRANSITIONAL (TN)

Orleans
2370 TENTH LINE RD
CITY OF OTTAWA

CITY PLAN NO. XXXXXX CITY FILE NO. D07-12-21-0224

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FRONT ELEVATION



LEFT ELEVATION

1A LIMITING DISTANCE CALCULATIONS		2A LIMITING DISTANCE CALCULATIONS		3A LIMITING DISTANCE CALCULATIONS		4A LIMITING DISTANCE CALCULATIONS	
LIMITING DISTANCE	4.5M	LIMITING DISTANCE	4.5M	LIMITING DISTANCE	4.5M	LIMITING DISTANCE	4.5M
UNPROTECTED OPENINGS PERMITTED %	31%	UNPROTECTED OPENINGS PERMITTED %	31%	UNPROTECTED OPENINGS PERMITTED %	31%	UNPROTECTED OPENINGS PERMITTED %	31%
WALL AREA	537.47 sqft [49.93 m ²]	WALL AREA	503.89 sqft [46.81 m ²]	WALL AREA	503.89 sqft [46.81 m ²]	WALL AREA	537.47 sqft [49.93 m ²]
OPENINGS ALLOWED	166.62 sqft [15.48 m ²]	OPENINGS ALLOWED	156.21 sqft [14.51 m ²]	OPENINGS ALLOWED	156.21 sqft [14.51 m ²]	OPENINGS ALLOWED	166.62 sqft [15.48 m ²]
OPENINGS PROVIDED	129.30 sqft [12.01 m ²]	OPENINGS PROVIDED	129.32 sqft [12.01 m ²]	OPENINGS PROVIDED	129.32 sqft [12.01 m ²]	OPENINGS PROVIDED	129.30 sqft [12.01 m ²]
OPENINGS BALANCE	37.32 sqft [3.47 m ²]	OPENINGS BALANCE	26.89 sqft [2.50 m ²]	OPENINGS BALANCE	26.89 sqft [2.50 m ²]	OPENINGS BALANCE	37.32 sqft [3.47 m ²]

9B LIMITING DISTANCE CALCULATIONS		10B LIMITING DISTANCE CALCULATIONS		11B LIMITING DISTANCE CALCULATIONS		12B LIMITING DISTANCE CALCULATIONS	
LIMITING DISTANCE	6.9M	LIMITING DISTANCE	6.9M	LIMITING DISTANCE	6.9M	LIMITING DISTANCE	6.9M
UNPROTECTED OPENINGS PERMITTED %	66%	UNPROTECTED OPENINGS PERMITTED %	66%	UNPROTECTED OPENINGS PERMITTED %	66%	UNPROTECTED OPENINGS PERMITTED %	66%
WALL AREA	161.45 sqft [15.00 m ²]	WALL AREA	151.19 sqft [14.05 m ²]	WALL AREA	151.19 sqft [14.05 m ²]	WALL AREA	161.45 sqft [15.00 m ²]
OPENINGS ALLOWED	106.56 sqft [9.90 m ²]	OPENINGS ALLOWED	99.79 sqft [9.27 m ²]	OPENINGS ALLOWED	99.79 sqft [9.27 m ²]	OPENINGS ALLOWED	106.56 sqft [9.90 m ²]
OPENINGS PROVIDED	51.58 sqft [4.79 m ²]	OPENINGS PROVIDED	52.45 sqft [4.87 m ²]	OPENINGS PROVIDED	52.45 sqft [4.87 m ²]	OPENINGS PROVIDED	51.58 sqft [4.79 m ²]
OPENINGS BALANCE	54.98 sqft [5.11 m ²]	OPENINGS BALANCE	47.34 sqft [4.40 m ²]	OPENINGS BALANCE	47.34 sqft [4.40 m ²]	OPENINGS BALANCE	54.98 sqft [5.11 m ²]

8A LIMITING DISTANCE CALCULATIONS		9B LIMITING DISTANCE CALCULATIONS		1A LIMITING DISTANCE CALCULATIONS	
LIMITING DISTANCE	2.6M	LIMITING DISTANCE	2.6M	LIMITING DISTANCE	2.6M
UNPROTECTED OPENINGS PERMITTED %	14%	UNPROTECTED OPENINGS PERMITTED %	14%	UNPROTECTED OPENINGS PERMITTED %	14%
WALL AREA	685.04 sqft [63.64 m ²]	WALL AREA	587.78 sqft [54.61 m ²]	WALL AREA	676.04 sqft [62.81 m ²]
OPENINGS ALLOWED	95.91 sqft [8.91 m ²]	OPENINGS ALLOWED	82.29 sqft [7.64 m ²]	OPENINGS ALLOWED	94.65 sqft [8.79 m ²]
OPENINGS PROVIDED	43.40 sqft [4.03 m ²]	OPENINGS PROVIDED	50.07 sqft [4.65 m ²]	OPENINGS PROVIDED	43.40 sqft [4.03 m ²]
OPENINGS BALANCE	52.51 sqft [4.88 m ²]	OPENINGS BALANCE	32.22 sqft [2.99 m ²]	OPENINGS BALANCE	51.25 sqft [4.76 m ²]



REAR ELEVATION



RIGHT ELEVATION

5A LIMITING DISTANCE CALCULATIONS		6A LIMITING DISTANCE CALCULATIONS		7A LIMITING DISTANCE CALCULATIONS		8A LIMITING DISTANCE CALCULATIONS	
LIMITING DISTANCE	4.5M	LIMITING DISTANCE	4.5M	LIMITING DISTANCE	4.5M	LIMITING DISTANCE	4.5M
UNPROTECTED OPENINGS PERMITTED %	31%	UNPROTECTED OPENINGS PERMITTED %	31%	UNPROTECTED OPENINGS PERMITTED %	31%	UNPROTECTED OPENINGS PERMITTED %	31%
WALL AREA	537.47 sqft [49.93 m ²]	WALL AREA	503.89 sqft [46.81 m ²]	WALL AREA	503.89 sqft [46.81 m ²]	WALL AREA	537.47 sqft [49.93 m ²]
OPENINGS ALLOWED	166.62 sqft [15.48 m ²]	OPENINGS ALLOWED	156.21 sqft [14.51 m ²]	OPENINGS ALLOWED	156.21 sqft [14.51 m ²]	OPENINGS ALLOWED	166.62 sqft [15.48 m ²]
OPENINGS PROVIDED	129.30 sqft [12.01 m ²]	OPENINGS PROVIDED	129.32 sqft [12.01 m ²]	OPENINGS PROVIDED	129.32 sqft [12.01 m ²]	OPENINGS PROVIDED	129.30 sqft [12.01 m ²]
OPENINGS BALANCE	37.32 sqft [3.47 m ²]	OPENINGS BALANCE	26.89 sqft [2.50 m ²]	OPENINGS BALANCE	26.89 sqft [2.50 m ²]	OPENINGS BALANCE	37.32 sqft [3.47 m ²]

12B LIMITING DISTANCE CALCULATIONS		11B LIMITING DISTANCE CALCULATIONS		10B LIMITING DISTANCE CALCULATIONS		9B LIMITING DISTANCE CALCULATIONS	
LIMITING DISTANCE	6.9M	LIMITING DISTANCE	6.9M	LIMITING DISTANCE	6.9M	LIMITING DISTANCE	6.9M
UNPROTECTED OPENINGS PERMITTED %	66%	UNPROTECTED OPENINGS PERMITTED %	66%	UNPROTECTED OPENINGS PERMITTED %	66%	UNPROTECTED OPENINGS PERMITTED %	66%
WALL AREA	176.85 sqft [16.43 m ²]	WALL AREA	175.46 sqft [16.26 m ²]	WALL AREA	175.46 sqft [16.26 m ²]	WALL AREA	176.85 sqft [16.43 m ²]
OPENINGS ALLOWED	116.72 sqft [10.84 m ²]	OPENINGS ALLOWED	109.84 sqft [10.20 m ²]	OPENINGS ALLOWED	109.84 sqft [10.20 m ²]	OPENINGS ALLOWED	116.72 sqft [10.84 m ²]
OPENINGS PROVIDED	55.17 sqft [5.13 m ²]	OPENINGS PROVIDED	71.76 sqft [6.67 m ²]	OPENINGS PROVIDED	71.76 sqft [6.67 m ²]	OPENINGS PROVIDED	55.17 sqft [5.13 m ²]
OPENINGS BALANCE	61.55 sqft [5.72 m ²]	OPENINGS BALANCE	38.08 sqft [3.54 m ²]	OPENINGS BALANCE	38.08 sqft [3.54 m ²]	OPENINGS BALANCE	61.54 sqft [5.72 m ²]

4A LIMITING DISTANCE CALCULATIONS		12B LIMITING DISTANCE CALCULATIONS		5A LIMITING DISTANCE CALCULATIONS	
LIMITING DISTANCE	2.6M	LIMITING DISTANCE	2.6M	LIMITING DISTANCE	2.6M
UNPROTECTED OPENINGS PERMITTED %	14%	UNPROTECTED OPENINGS PERMITTED %	14%	UNPROTECTED OPENINGS PERMITTED %	14%
WALL AREA	676.04 sqft [62.81 m ²]	WALL AREA	587.78 sqft [54.61 m ²]	WALL AREA	685.04 sqft [63.64 m ²]
OPENINGS ALLOWED	94.65 sqft [8.79 m ²]	OPENINGS ALLOWED	82.29 sqft [7.64 m ²]	OPENINGS ALLOWED	95.91 sqft [8.91 m ²]
OPENINGS PROVIDED	43.40 sqft [4.03 m ²]	OPENINGS PROVIDED	50.07 sqft [4.65 m ²]	OPENINGS PROVIDED	43.40 sqft [4.03 m ²]
OPENINGS BALANCE	51.25 sqft [4.76 m ²]	OPENINGS BALANCE	32.22 sqft [2.99 m ²]	OPENINGS BALANCE	52.51 sqft [4.88 m ²]

LIMITING DISTANCE CALCULATION NOTES

ALL CALCULATION BASED ON STANDARD GRADING CONDITION. WALL AREA VARIES WITH GRADING.

LIMITING DISTANCE CALCULATION BASED ON MINIMUM LIMITING DISTANCE IN ALL CASES. REFER TO BLOCK PLAN OR SITE PLAN.

LIMITING DISTANCE TO EACH FIRE COMPARTMENT ARE DIFFERENT:

FRONT DISTANCE: 1A, 2A, 3A, 4A, 5A, 6A, 7A, 8A (4.5m); 9B, 10B, 11B, 12B (6.9m)

REAR DISTANCE: 1A, 2A, 3A, 4A, 5A, 6A, 7A, 8A (4.5m); 9B, 10B, 11B, 12B (6.9m)

SIDE DISTANCE: 1A, 4A, 5A, 8A, 9B, 12B (2.6m)

AS PER OBC TABLE 9.10.14.4 AND USING INTERPOLATION (ORANGE COLOR INDEX) TO GET THE MAX. AREA OF UNPROTECTED OPENINGS (SEE TABLE BELOW).

OBC TABLE 9.10.14.4.A		LIMITING DISTANCE (m)						
EXPOSING BUILDING FACE (EBF) (m ²)		LIMITING DISTANCE (m)						
		2.0	2.6	4.0	4.5	6.0	6.9	8.0
50	10%	15%	28%	35%	57%	70%	100%	
65	10%	14%	25%	31%	50%	66%	87%	
100	9%	12%	18%	22%	34%	44%	56%	

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LIMITING DISTANCE

TRANSITIONAL (TN)

Orleans
2370 TENTH LINE RD
CITY OF OTTAWA



STUDIO

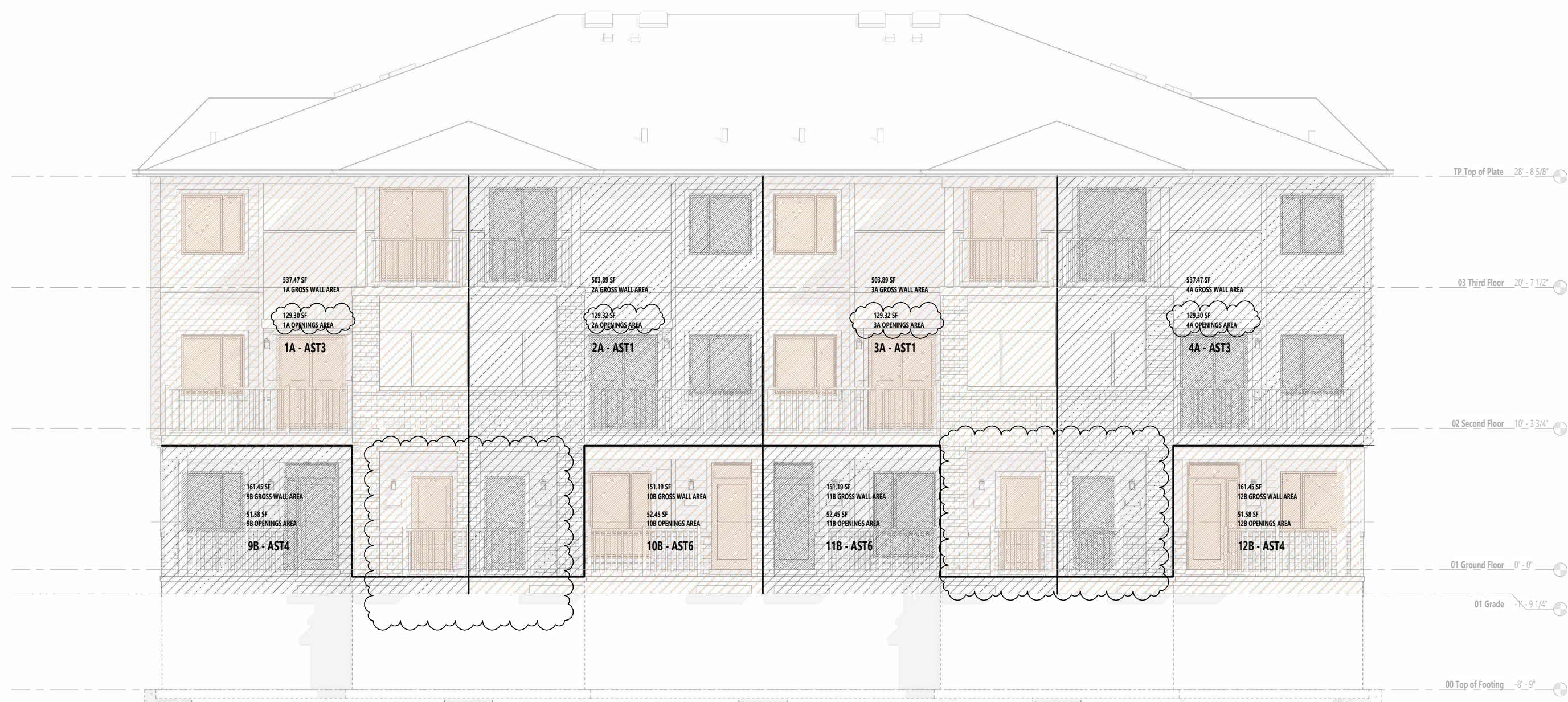
636 KING ST W,
3RD FLOOR, TORONTO, ON,
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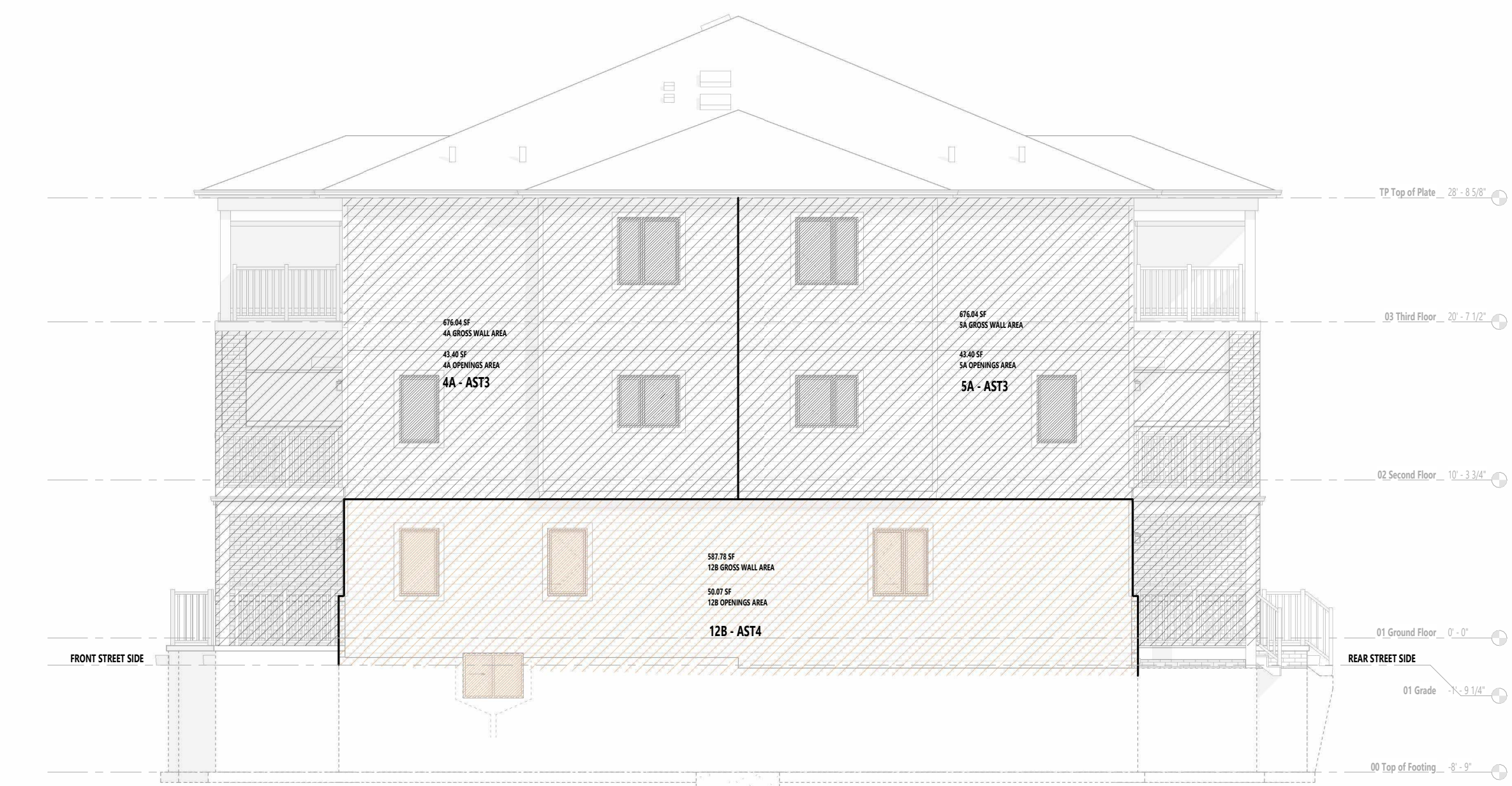
FRONT ELEVATION



LEFT ELEVATION



REAR ELEVATION



RIGHT ELEVATION

12B EEDS ENERGY STAR CALCULATIONS

	GROSS WALL AREA	GROSS WINDOW AREA	WINDOW %
TOTAL	1512 SF [140.44 m ²]	157 SF [14.57 m ²]	10.37%
FRONT	161.45 sqft [15.00 m ²]	51.58 sqft [4.79 m ²]	
REAR	174.67 sqft [16.23 m ²]	55.18 sqft [5.13 m ²]	
LEFT	587.78 sqft [54.61 m ²]	50.07 sqft [4.65 m ²]	
RIGHT	587.78 sqft [54.61 m ²]	0.00 sqft [0.00 m ²]	

5A EEDS ENERGY STAR CALCULATIONS

	GROSS WALL AREA	GROSS WINDOW AREA	WINDOW %
TOTAL	2427 SF [225.48 m ²]	173 SF [16.04 m ²]	7.12%
FRONT	537.47 sqft [49.93 m ²]	129.30 sqft [12.01 m ²]	
REAR	537.47 sqft [49.93 m ²]	0.00 sqft [0.00 m ²]	
LEFT	676.04 sqft [62.81 m ²]	43.40 sqft [4.03 m ²]	
RIGHT	676.04 sqft [62.81 m ²]	0.00 sqft [0.00 m ²]	

6A EEDS ENERGY STAR CALCULATIONS

	GROSS WALL AREA	GROSS WINDOW AREA	WINDOW %
TOTAL	2360 SF [219.24 m ²]	129 SF [12.01 m ²]	5.48%
FRONT	503.89 sqft [46.81 m ²]	129.32 sqft [12.01 m ²]	
REAR	503.89 sqft [46.81 m ²]	0.00 sqft [0.00 m ²]	
LEFT	676.04 sqft [62.81 m ²]	0.00 sqft [0.00 m ²]	
RIGHT	676.04 sqft [62.81 m ²]	0.00 sqft [0.00 m ²]	

11B EEDS ENERGY STAR CALCULATIONS

	GROSS WALL AREA	GROSS WINDOW AREA	WINDOW %
TOTAL	1493 SF [138.72 m ²]	124 SF [11.54 m ²]	8.32%
FRONT	151.19 sqft [14.05 m ²]	52.45 sqft [4.87 m ²]	
REAR	166.42 sqft [15.46 m ²]	71.76 sqft [6.67 m ²]	
LEFT	587.78 sqft [54.61 m ²]	0.00 sqft [0.00 m ²]	
RIGHT	587.78 sqft [54.61 m ²]	0.00 sqft [0.00 m ²]	

10B EEDS ENERGY STAR CALCULATIONS

	GROSS WALL AREA	GROSS WINDOW AREA	WINDOW %
TOTAL	1493 SF [138.72 m ²]	124 SF [11.54 m ²]	8.32%
FRONT	151.19 sqft [14.05 m ²]	52.45 sqft [4.87 m ²]	
REAR	166.42 sqft [15.46 m ²]	71.76 sqft [6.67 m ²]	
LEFT	587.78 sqft [54.61 m ²]	0.00 sqft [0.00 m ²]	
RIGHT	587.78 sqft [54.61 m ²]	0.00 sqft [0.00 m ²]	

7A EEDS ENERGY STAR CALCULATIONS

	GROSS WALL AREA	GROSS WINDOW AREA	WINDOW %
TOTAL	2360 SF [219.24 m ²]	129 SF [12.01 m ²]	5.48%
FRONT	503.89 sqft [46.81 m ²]	129.32 sqft [12.01 m ²]	
REAR	503.89 sqft [46.81 m ²]	0.00 sqft [0.00 m ²]	
LEFT	676.04 sqft [62.81 m ²]	0.00 sqft [0.00 m ²]	
RIGHT	676.04 sqft [62.81 m ²]	0.00 sqft [0.00 m ²]	

8A EEDS ENERGY STAR CALCULATIONS

	GROSS WALL AREA	GROSS WINDOW AREA	WINDOW %
TOTAL	2427 SF [225.48 m ²]	173 SF [16.04 m ²]	7.12%
FRONT	537.47 sqft [49.93 m ²]	129.30 sqft [12.01 m ²]	
REAR	537.47 sqft [49.93 m ²]	0.00 sqft [0.00 m ²]	
LEFT	676.04 sqft [62.81 m ²]	43.40 sqft [4.03 m ²]	
RIGHT	676.04 sqft [62.81 m ²]	0.00 sqft [0.00 m ²]	

9B EEDS ENERGY STAR CALCULATIONS

	GROSS WALL AREA	GROSS WINDOW AREA	WINDOW %
TOTAL	1514 SF [140.64 m ²]	157 SF [14.57 m ²]	10.36%
FRONT	161.45 sqft [15.00 m ²]	51.58 sqft [4.79 m ²]	
REAR	174.67 sqft [16.43 m ²]	55.18 sqft [5.13 m ²]	
LEFT	587.78 sqft [54.61 m ²]	50.07 sqft [4.65 m ²]	
RIGHT	587.78 sqft [54.61 m ²]	0.00 sqft [0.00 m ²]	

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EEDS CALCULATION

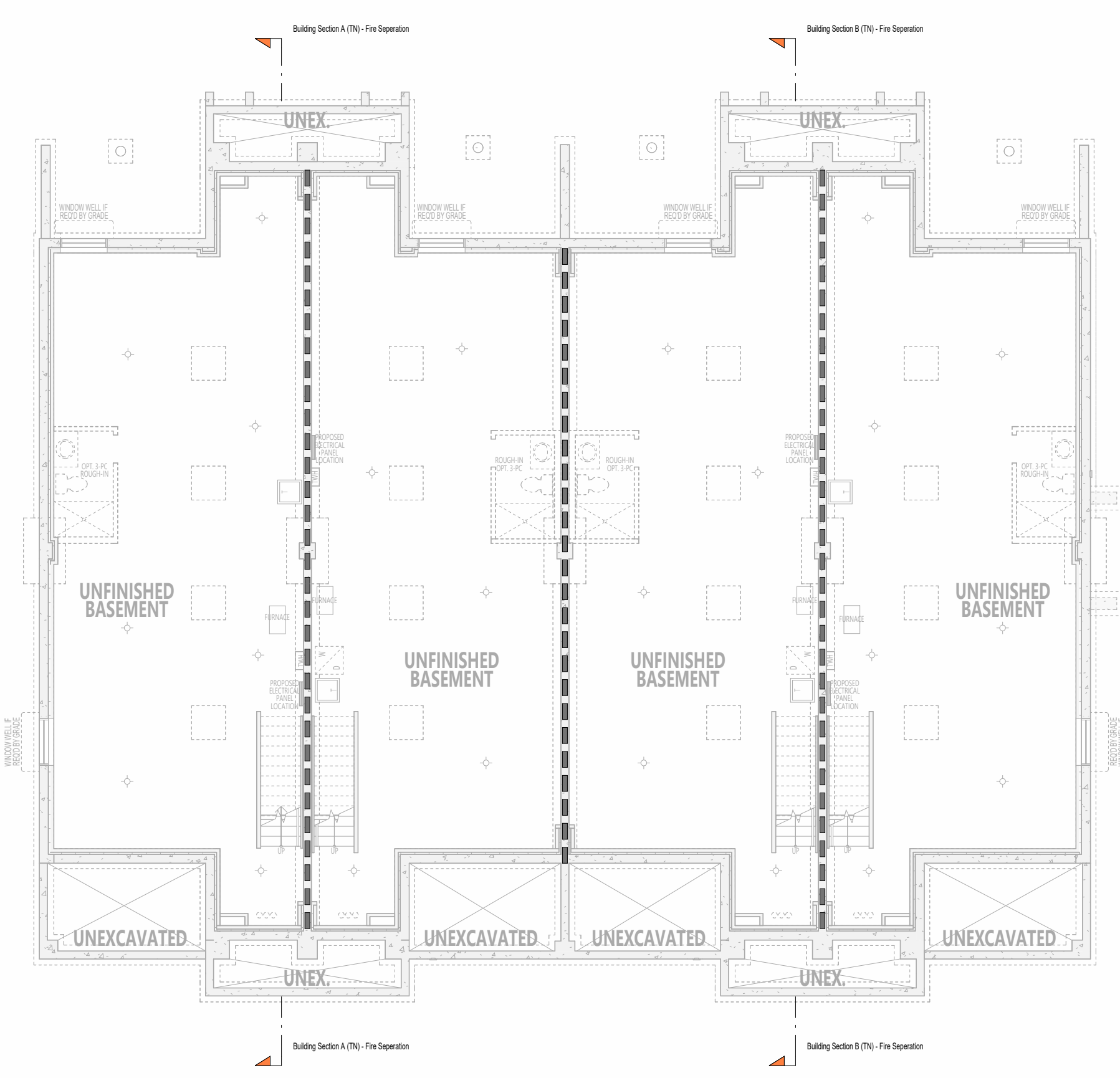
TRANSITIONAL (TN)

Orleans
2370 TENTH LINE RD
CITY OF OTTAWA

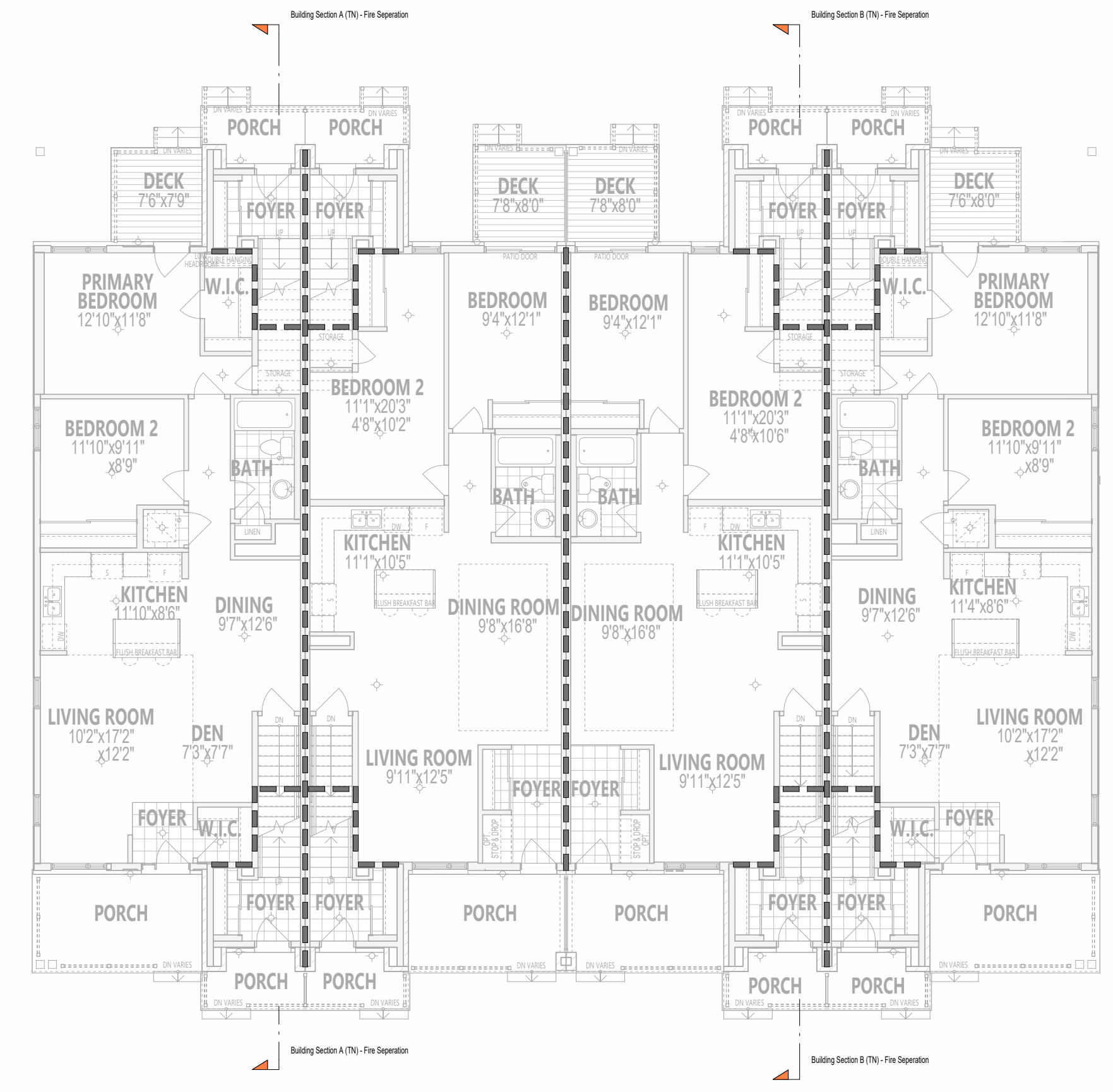
CITY PLAN NO. XXXXXX CITY FILE NO. D07-12-21-0224

SHEET SIZE: 24"x36"
SCALE: 1/8" = 1'-0"
ISSUE DATE: Nov 25, 2022

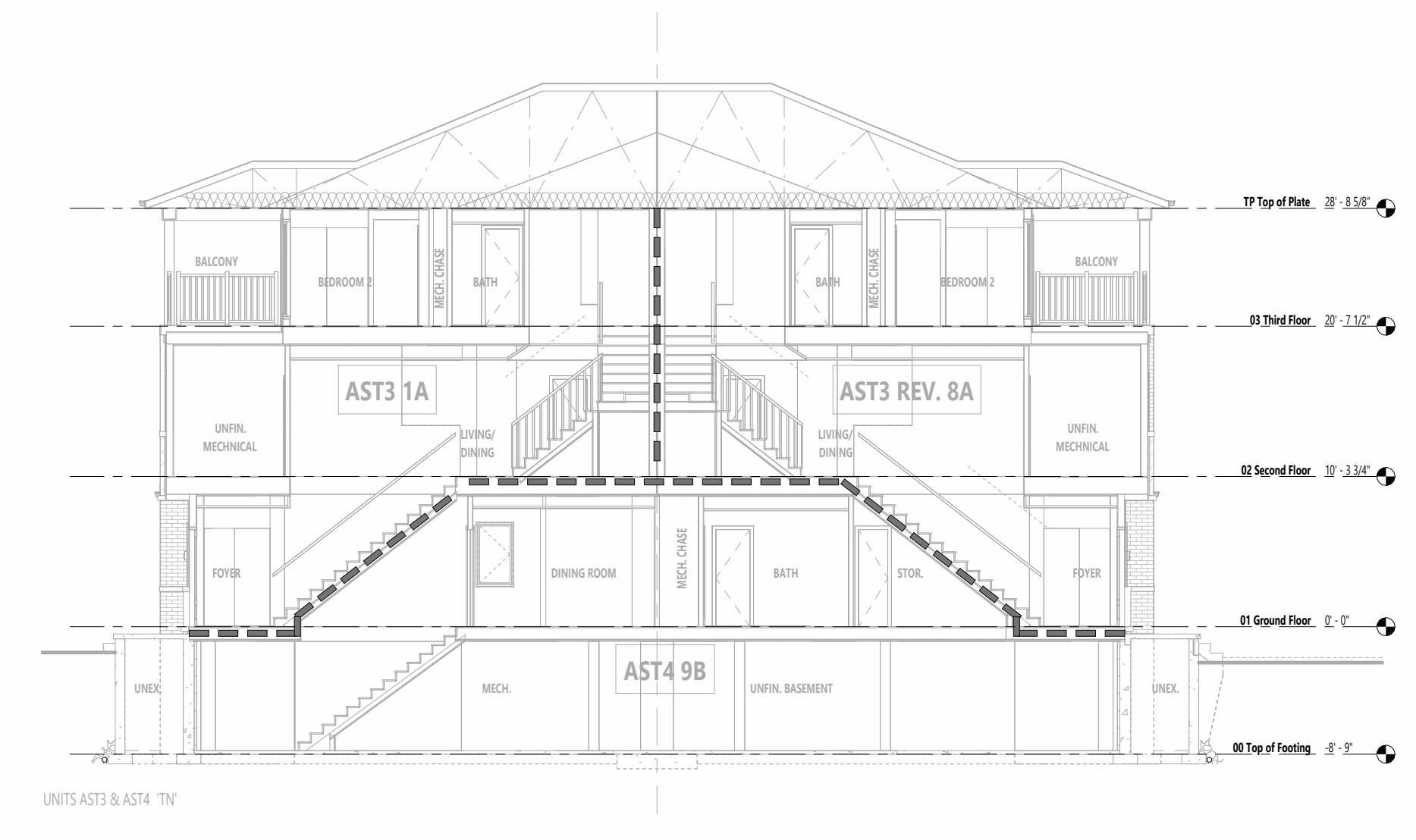
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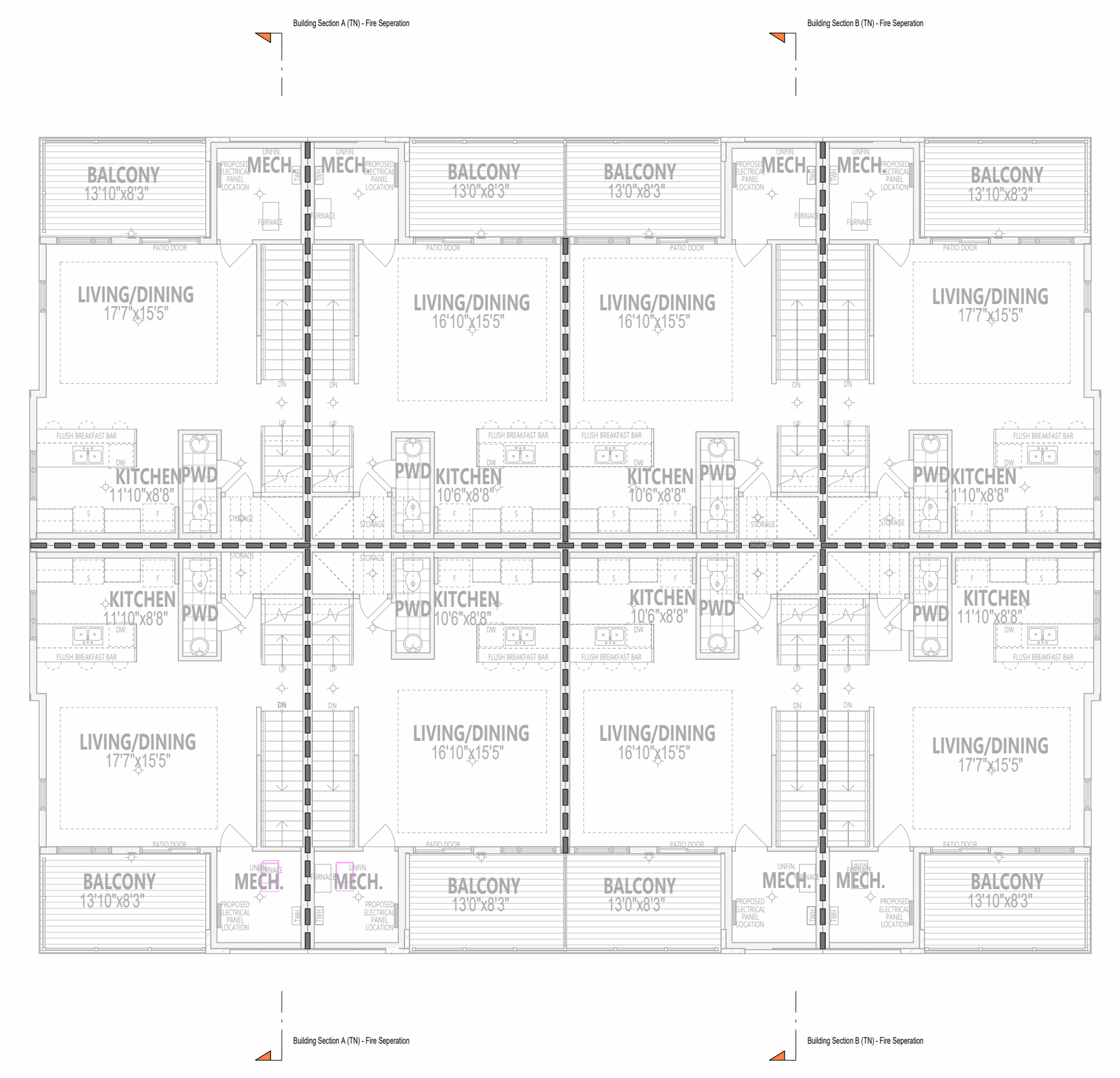
BASEMENT FIRE SEPERATION PLAN



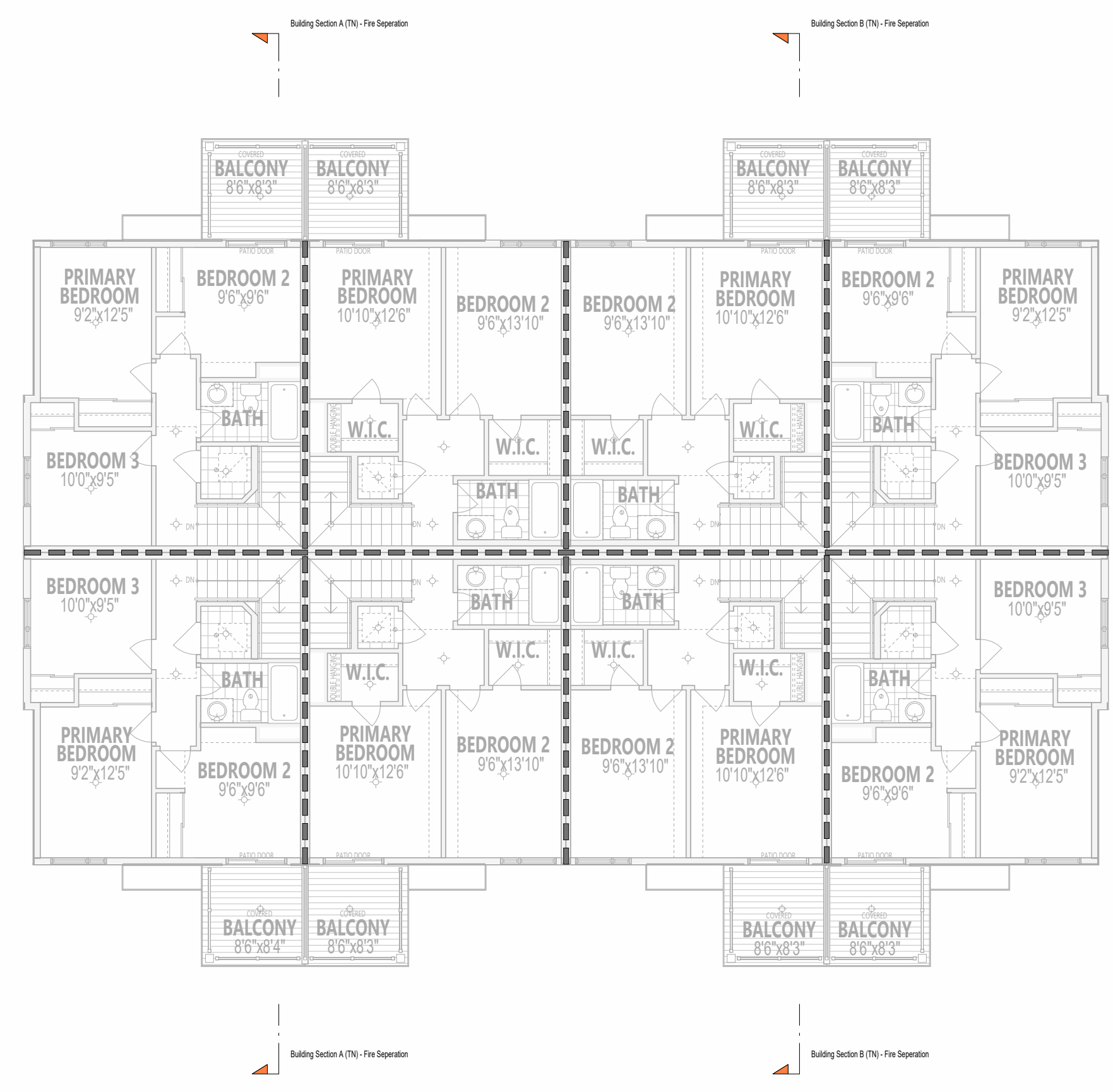
GROUND FLOOR FIRE SEPERATION PLAN



BUILDING SECTION A-A FIRE SEPERATION



SECOND FLOOR FIRE SEPERATION PLAN



THIRD FLOOR PLAN - FIRE SEPERATION PLAN



BUILDING SECTION B-B FIRE SEPERATION

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FIRE SEPERATION PLAN

TRANSITIONAL (TN)

Orleans
 2370 TENTH LINE RD
 CITY OF OTTAWA

CITY PLAN NO. XXXXXX CITY FILE NO. D07-12-21-0224

PLAN NOTES:
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FLOOR FINISHES:
FLOOR FINISHES TO BE PROVIDED BY OTHER TRADES. PRE-CUT HOLES @ 8" SPACING FOR ALL DUCTS PER MANUFACTURER. SEE MANUFACTURER FOR LOCATION & NUMBER OF HOLES REQUIRED.

FLOOR FRAMING:
FOR FLOOR FRAMING REFER TO FLOOR JOIST MANUFACTURER'S SHOP DRAWINGS FOR ALL TRUSS INFORMATION AND DETAILS UNLESS OTHERWISE NOTED.

FRAMING / SLAB CONSTRUCTION:
45 MINUTE OR 1 HOUR FIRE RATED WALL: PROVIDE A CONTINUOUS LAYER OF 15mm (5/8") TYPE 'X' GYPSUM BOARD INTERIOR SIDE INSTALLED SO THAT ALL EDGES ARE SUPPORTED. TAPE AND FILL JOINTS BETWEEN WOOD JOISTS TO BE FILLED WITH PREFORMED MINERAL FIBRE INSULATION WITH A MASS OF NOT LESS THAN 12 kg/m². AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE 'X' INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR WALLS. REFER TO SECTION 9.3.2 OF SUPPLEMENTARY STANDARDS. PROVIDE 1/2" EXTERIOR GRADE GYPSUM BOARD SHINGLING BEHIND SIDING. (REFER TO S.M.C. #14-10)

BRICK FIRE RATED CONSTRUCTION:
45 MINUTE OR 1 HOUR FIRE RATED WALL: PROVIDE A CONTINUOUS LAYER OF 15mm (5/8") TYPE 'X' GYPSUM BOARD INTERIOR SIDE INSTALLED SO THAT ALL EDGES ARE SUPPORTED. TAPE AND FILL JOINTS BETWEEN WOOD JOISTS TO BE FILLED WITH PREFORMED MINERAL FIBRE INSULATION WITH A MASS OF NOT LESS THAN 12 kg/m². AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE 'X' INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR WALLS. REFER TO SECTION 9.3.2 OF SUPPLEMENTARY STANDARDS. PROVIDE 1/2" EXTERIOR GRADE GYPSUM BOARD SHINGLING BEHIND SIDING. (REFER TO S.M.C. #14-10)

HEADER / RM JOIST LEVEL:
45 MINUTE OR 1 HOUR FIRE RATED @ HEADER: PROVIDE 15mm (5/8") TYPE 'X' GYPSUM BOARD BETWEEN JOIST LOCUS AT THE HEADER OR INSTALLED ALONG THE RM JOIST WHEN FLOOR JOISTS ARE PARALLEL TO RM JOIST TO MAINTAIN 45 MINUTE OR 1 HOUR FIRE RATING.

WALL LEGEND

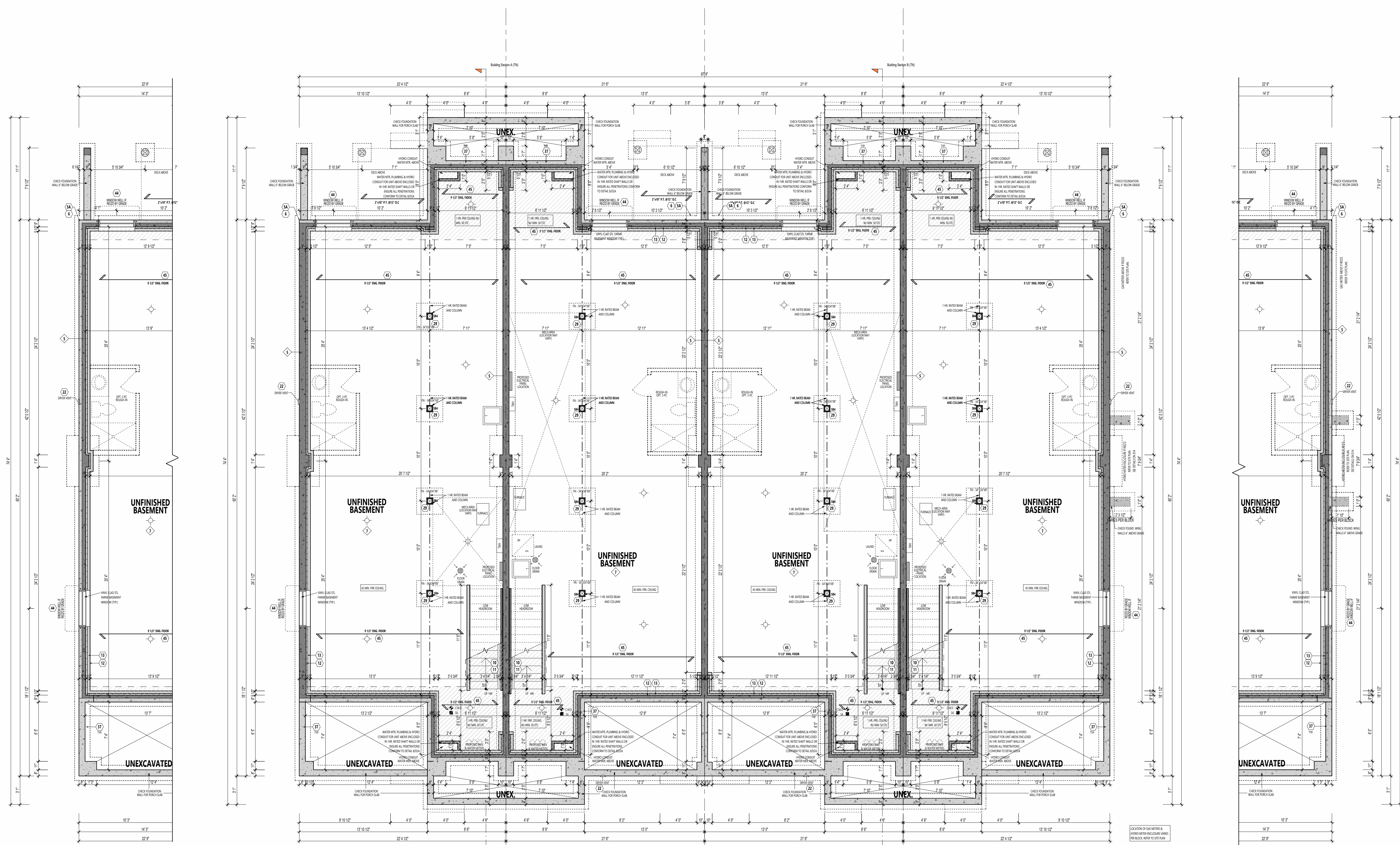
[Symbol]	LOAD BEARING WALL
[Symbol]	MECHANICAL WALL
[Symbol]	1 HR FIRE RATED ASSEMBLY
[Symbol]	45 MIN FIRE RATED ASSEMBLY

ENSURE THE PROTECTION OF LOAD BEARING ELEMENTS BY 9.3.3.1.1 OF THE CODE OR ITS RESISTANCE RATINGS ARE OTHER THAN DETAILED. PROVIDE SPECS TO INSPECTOR ON SITE.

ENSURE MANUAL SWITCH FOR VENTILATION IS PROVIDED AS PER 9.3.3.4 O.C.2012 PER UNIT.

REFER TO STRUCTURAL DRAWING & FLOOR/PLATE LAYOUT FOR STRUCTURAL ELEMENTS.

REFER TO HVAC DRAWINGS FOR LAYOUT OF MECHANICAL ROOMS, RISERS AND LOCATIONS.



AST4 'TN' UPG.
POPPY II

9B - AST4 'TN'
POPPY II

10B - AST6 'TN'
FREESIA II REV.

11B - AST6 'TN'
FREESIA II

12B - AST4 'TN'
POPPY II REV.

AST 4 'TN' UPG.
POPPY II REV.

PARTIAL BASEMENT PLAN (UPG OPTION)

BASEMENT PLAN - STANDARD

PARTIAL BASEMENT PLAN (UPG OPTION)

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BASEMENT PLAN

TRANSITIONAL (TN)

Orleans
2370 TENTH LINE RD
CITY OF OTTAWA

CITY PLAN NO. XXXXXX CITY FILE NO. D07-12-21-0224



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organica studio + inc

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info@organicastudio.ca
T: 905 832 5758

PLAN NOTES:
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FLOOR TRUSSES:
FLOOR TRUSSES TO BE PROVIDED WITH 4" DIA. PRE-CUT HOLES @ 8" SPACING FOR ALL 2" X 6" JOISTS. PROVIDE DIMENSIONS FOR LOCATION & NUMBER OF HOLES (SEE) TYP.

FLOOR FRAMING:
FOR FLOOR FRAMING REFER TO FLOOR JOIST MANUFACTURER'S SHOP DRAWINGS FOR ALL TRUSS JOIST INFORMATION AND DETAILS UNLESS OTHERWISE NOTED.

FRAME WALL CONSTRUCTION:
45 MINUTE OR 1 HOUR FIRE RATED WALL:
PROVIDE A CONTINUOUS LAYER OF 15mm (5/8") TYPE 'X' GYPSUM BOARD INTERIOR SIDE INSTALLED SO THAT ALL EDGES ARE SUPPORTED. TAPE AND FILLED SPACE BETWEEN WOOD JOISTS TO BE FILLED WITH PERFORMED MINERAL FIBRE INSULATION WITH A MASS OF NOT LESS THAN 12 kg/m² AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE 'X' INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHS, SHOWERS, ETC. ENSURE INSULATION TYPE 'X' IS INSTALLED IN GARGES EXTERIOR WALLS.
(REFER TO SECTION 9.2.2 OF SUPPLEMENTARY STANDARDS)
PROVIDE 1/2" EXTERIOR GRADE GYPSUM BOARD SHEATHING BEHIND SILING.
(REFER TO S.A.C.C. #14-110)

BACK SHEET CONSTRUCTION:
45 MINUTE OR 1 HOUR FIRE RATED WALL:
PROVIDE A CONTINUOUS LAYER OF 15mm (5/8") TYPE 'X' GYPSUM BOARD INTERIOR SIDE INSTALLED SO THAT ALL EDGES ARE SUPPORTED. TAPE AND FILLED SPACE BETWEEN WOOD JOISTS TO BE FILLED WITH PERFORMED MINERAL FIBRE INSULATION WITH A MASS OF NOT LESS THAN 12 kg/m² AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE 'X' INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHS, SHOWERS, ETC. ENSURE INSULATION TYPE 'X' IS INSTALLED IN GARGES EXTERIOR WALLS.
(REFER TO SECTION 9.2.2 OF SUPPLEMENTARY STANDARDS)
PROVIDE 1/2" EXTERIOR GRADE GYPSUM BOARD SHEATHING BEHIND SILING.
(REFER TO S.A.C.C. #14-110)

HEADERS / RIM JOIST LEVEL:
45 MINUTE OR 1 HOUR FIRE RATED @ HEADERS:
PROVIDE 15mm (5/8") TYPE 'X' GYPSUM BOARD BETWEEN GLOOR JOIST AT THE HEADERS OR CONTINUOUSLY ALONG THE RIM JOIST WHEN FLOOR JOISTS ARE PARALLEL TO RIM JOIST TO MAINTAIN 45 MINUTE OR 1 HOUR FIRE RATING.

WALL LEGEND

	LOAD BEARING WALL
	MECHANICAL WALL
	1 HR FIRE RATED ASSEMBLY
	45 MIN FIRE RATED ASSEMBLY

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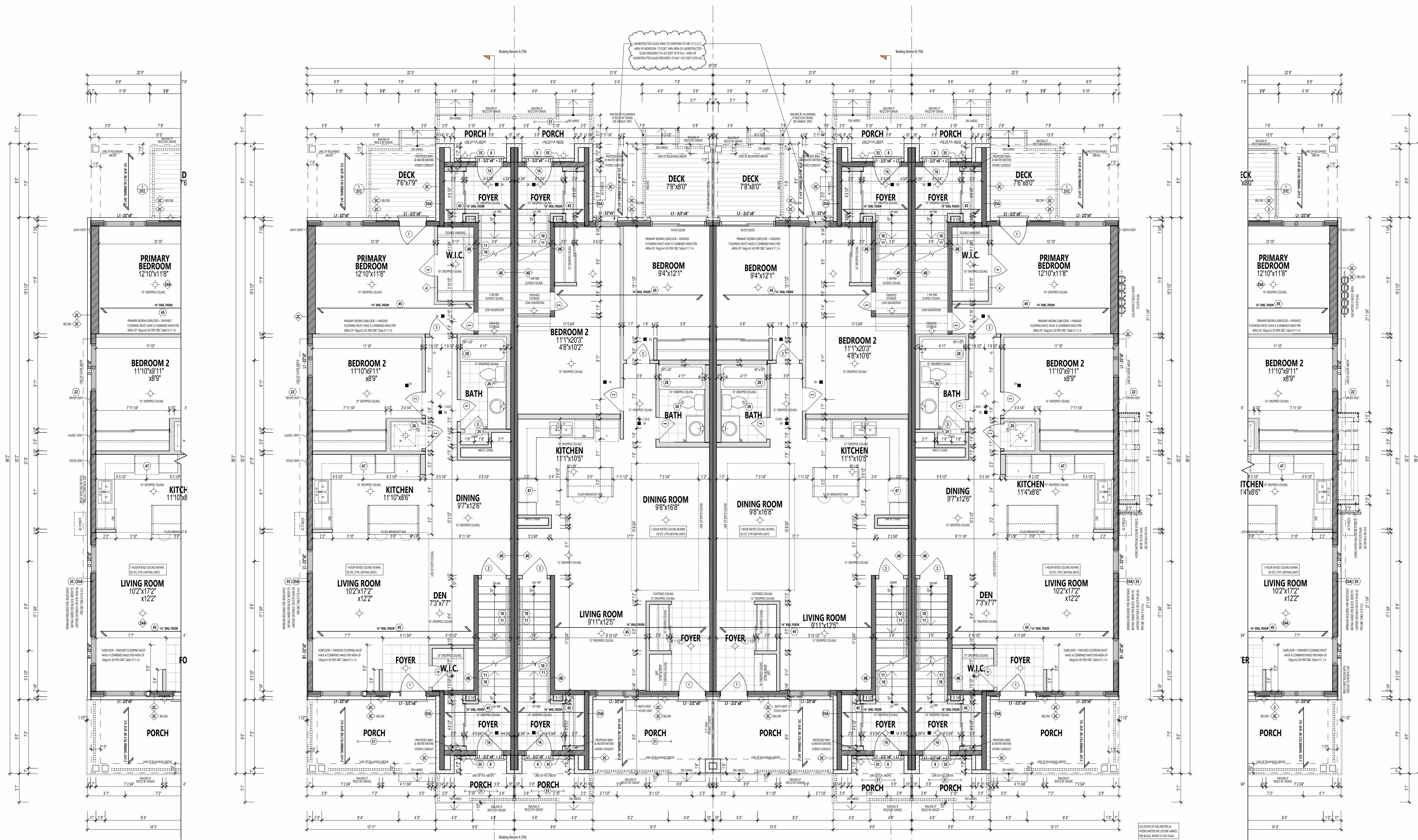
GROUND FLOOR PLAN

TRANSITIONAL (TN)

Orleans
2370 TENTH LINE RD
CITY OF OTTAWA

CITY PLAN NO. XXXXX CITY FILE NO. 007-12-21-0224

SHEET SIZE: 24"x36"
SCALE: 3/16" = 1'-0"
ISSUE DATE: Nov 25, 2022



AST4 'TN' UPG.
POPPY II

9B - AST4 'TN'
POPPY II

10B - AST6 'TN'
FREESA II REV

11B - AST6 'TN'
FREESA II

12B - AST4 'TN'
POPPY II REV

AST 4 'TN' UPG.
POPPY II Rev.

PARTIAL GROUND FLOOR PLAN (UPG OPTION)

GROUND FLOOR PLAN - STANDARD

PARTIAL GROUND FLOOR PLAN (UPG OPTION)



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ARCHITECT STAMP
ONTARIO ASSOCIATION OF ARCHITECTS
MARIO CESAR CIFUENTES
LICENCE 8181

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SECOND FLOOR PLAN

TRANSITIONAL (TN)

Orleans
2370 TENTH LINE RD
CITY OF OTTAWA

CITY PLAN NO. XXXXXX CITY FILE NO. D07-12-21-0224

SHEET SIZE: 24"x36"
SCALE: 3/16" = 1'-0"
ISSUE DATE: Nov 25, 2022

PAGE A1.20

PLAN NOTES:
ALL WORK SHOWN ON ARCHITECTURAL DRAWINGS IS PROPOSED LOCATION ONLY. MECHANICAL AND ELECTRICAL ENGINEERS ARE RESPONSIBLE FOR THE DESIGN AND LOCATION OF ALL MECHANICAL, VENTILATION, GAS PIPING, SEWER, HVAC, GAS, MECH, ELECTRICAL AND ANY MECHANICAL EQUIPMENT. OWNER AND SUBCONTRACTOR TO ENSURE THE INSTALLATION ADHERES TO ALL APPLICABLE CODES AND LOCAL UTILITY AUTHORITIES.
FLOOR TRUSSES:
FLOOR TRUSSES TO BE PROVIDED W/ 4" DIA. PRE-CUT HOLES @ 8" SPACING FOR ALL 12" DEEP TRUSS JOISTS. SEE MECHANICAL DRAWINGS FOR LOCATION & NUMBER OF HOLES REQUIRED.
FLOOR FRAMING:
FOR FLOOR FRAMING REFER TO FLOOR JOIST MANUFACTURER'S SHOP DRAWINGS FOR ALL TRUSS JOIST INFORMATION AND DETAILS UNLESS OTHERWISE NOTED.

FRAMEWORK CONSTRUCTION:
45 MINUTE OR 1 HOUR FIRE RATED WALL
PROVIDE A CONTINUOUS LAYER OF 15mm (5/8") TYPE 'X' Gypsum BOARD INTERIOR SIDE INSTALLED SO THAT ALL EDGES ARE SUPPORTED. TAND AND FILLED SPACE BETWEEN WOOD JOISTS TO BE FILLED WITH PERFORMED MINERAL FIBRE INSULATION WITH A MASS OF NOT LESS THAN 12 kg/m² AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE 'X' INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHUBS, SHOWERS, ETC. ENGINE INSULATION & TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR WALLS.
REFER TO SECTION 08-22 OF SUPPLEMENTARY STANDARDS PROVIDE 1/2" EXTERIOR GRADE GYPSUM BOARD SHEATHING BEHIND SILING.
REFER TO B.A.E.C. #14-103

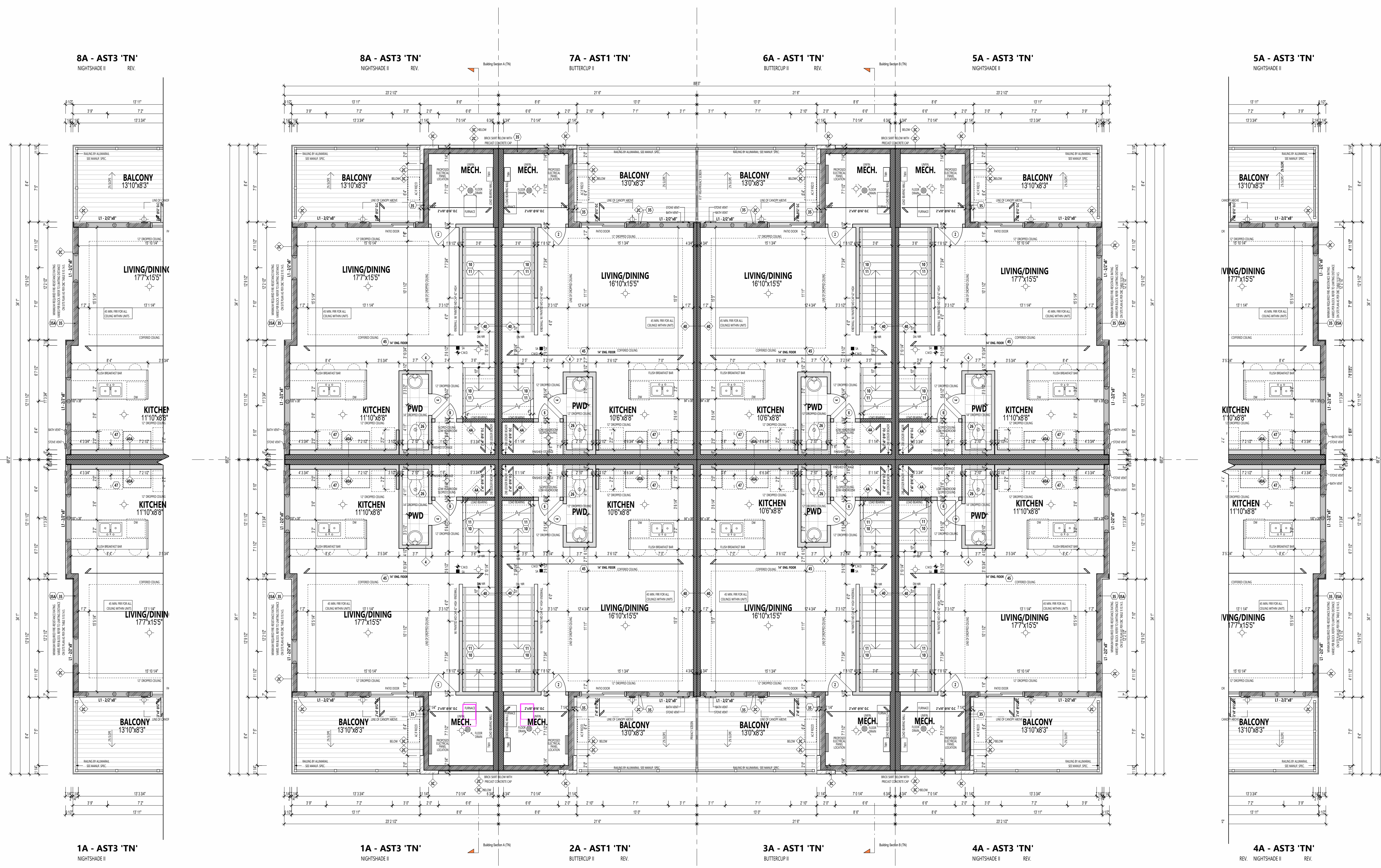
BRICK FIBER CONSTRUCTION:
45 MINUTE OR 1 HOUR FIRE RATED WALL
PROVIDE A CONTINUOUS LAYER OF 15mm (5/8") TYPE 'X' Gypsum BOARD INTERIOR SIDE INSTALLED SO THAT ALL EDGES ARE SUPPORTED. TAND AND FILLED SPACE BETWEEN WOOD JOISTS TO BE FILLED WITH PERFORMED MINERAL FIBRE INSULATION WITH A MASS OF NOT LESS THAN 12 kg/m² AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE 'X' INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHUBS, SHOWERS, ETC. ENGINE INSULATION & TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR WALLS.
REFER TO SECTION 08-22 OF SUPPLEMENTARY STANDARDS PROVIDE 1/2" EXTERIOR GRADE GYPSUM BOARD SHEATHING BEHIND SILING.
REFER TO B.A.E.C. #14-103

HEADERS / RIM JOIST LEVEL:
45 MINUTE OR 1 HOUR FIRE RATED @ HEADER
PROVIDE 15mm (5/8") TYPE 'X' Gypsum BOARD BETWEEN GLOOR JOIST AT THE HEADERS OR CONTINUOUSLY ALONG THE RIM JOIST WHEN FLOOR JOISTS ARE PARALLEL TO RIM JOIST TO MAINTAIN 45 MINUTE OR 1 HOUR FIRE RATING.

WALL LEGEND

- LOAD BEARING WALL
- MECHANICAL WALL
- 1 HR FIRE RATED ASSEMBLY
- 45 MIN FIRE RATED ASSEMBLY

ENSURE THE PROTECTION OF LOAD BEARING ELEMENTS BY 9.0.1.8.11 OF THE CODE IS MAINTAINED INCLUDING THE CONTINUITY OF THE FIRE SEPARATION.
IF FIRE SEPARATIONS OR RESISTANCE RATINGS ARE OTHER THAN DETAILED PROVIDE SPECS TO INSPECTOR ON SITE.
ENSURE MANUAL SWITCH FOR VENTILATION IS PROVIDED AS PER 9.0.3.4.0 (C) 2012 PER UNIT.
REFER TO STRUCTURAL DRAWING & FLOOR/CEILING LAYOUT FOR STRUCTURAL ELEMENTS.
REFER TO HVAC DRAWINGS FOR LAYOUT OF MECHANICAL ROOMS, RIGS AND LOCATIONS.



8A - AST3 'TN'
NIGHTSHADE II REV.
1A - AST3 'TN'
NIGHTSHADE II

2A - AST1 'TN'
BUTTERCLIP II REV.
3A - AST1 'TN'
BUTTERCLIP II

4A - AST3 'TN'
NIGHTSHADE II REV.

SECOND FLOOR PLAN - STANDARD

PARTIAL SECOND FLOOR PLAN (UPG OPTION)

PARTIAL SECOND FLOOR PLAN (UPG OPTION)

PLAN NOTES:
ALL WORK SHOWN ON ARCHITECTURAL DRAWINGS IS PROPOSED LOCATION ONLY. MECHANICAL AND ELECTRICAL ENGINEERS ARE RESPONSIBLE FOR THE DESIGN AND LOCATION OF ALL MECHANICAL, VENTILATION, GAS PIPING, WIRE, HVAC, GAS, WATER, HYDROPOWER, ELECTRICAL AND ANY MECHANICAL EQUIPMENT. RAIDER AND SUBCONTRACTOR TO ENSURE THE INSTALLATION ADHERES TO ALL APPLICABLE CODES AND LOCAL UTILITY AUTHORITIES.

FLOOR TRUSSES:
FLOOR TRUSSES TO BE PROVIDED W/ 4" DIA. PRE-CUT HOLES @ 8" SPACING FOR 1/2" DIA. DUCTS PER HANG DOWN. SEE HANG DOWNS FOR LOCATION & NUMBER OF HOLES REQUIRED.

FLOOR FRAMING:
FOR FLOOR FRAMING REFER TO FLOOR JOIST MANUFACTURER'S SHOP DRAWINGS FOR ALL TRUSS JOIST INFORMATION AND DETAILS UNLESS OTHERWISE NOTED.

ROOF FRAMING:
ALL LAMINATED VENEER LUMBER (LVL) BEAMS, RUIT-UP BEAMS, GIRDERS, TRUSSES AND METAL HANGER CONNECTIONS SUPPORTING ROOF FRAMING TO BE DESIGNED AND CERTIFIED BY ROOF TRUSS MANUFACTURER. REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED ON ARCHITECTURAL DRAWINGS.

FRAMING / SIDING CONSTRUCTION:
45 MINUTE OR LOCAL FIRE RATED WALL
PROVIDE A CONTINUOUS LAYER OF 15mm (5/8") TYPE X Gypsum BOARD INTERIOR SIDE. INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH PERFORMED MINERAL FIBRE INSULATION WITH A MASS OF NOT LESS THAN 120 kg/m³ AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE X INSULATION MUST BE RAIN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHS, SHOWERS, ETC. ENGINE INSULATION & TYPE X IS INSTALLED IN GARAGE EXTERIOR WALLS.
(REFER TO SECTION 9B-2.3 OF SUPPLEMENTARY STANDARDS)
PROVIDE 7/8" EXTERIOR GRADE GYPSUM BOARD SHEATHING BEHIND SIDING.
(REFER TO S.M.C. 81-4-10)

ROOF / CEILING CONSTRUCTION:
45 MINUTE OR LOCAL FIRE RATED WALL
PROVIDE A CONTINUOUS LAYER OF 15mm (5/8") TYPE X Gypsum BOARD INTERIOR SIDE. INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH PERFORMED MINERAL FIBRE INSULATION WITH A MASS OF NOT LESS THAN 120 kg/m³ AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE X INSULATION MUST BE RAIN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHS, SHOWERS, ETC. ENGINE INSULATION & TYPE X IS INSTALLED IN GARAGE EXTERIOR WALLS.
(REFER TO SECTION 9B-2.3 OF SUPPLEMENTARY STANDARDS)

HEADLINE / RIM JOIST LEVEL:
45 MINUTE OR LOCAL FIRE RATED WALL
PROVIDE 15mm (5/8") TYPE X Gypsum BOARD BETWEEN FLOOR JOIST AT THE HEADLINE OR CONTINUOUSLY ALONG THE RIM JOIST WHEN FLOOR JOISTS ARE PARALLEL TO RIM JOIST TO MAINTAIN 60 MINUTE OR 1 HOUR FIRE RATING.

WALL LEGEND

[Symbol]	LOAD BEARING WALL
[Symbol]	MECHANICAL WALL
[Symbol]	1 HR FIRE RATED ASSEMBLY
[Symbol]	45 MIN. FIRE RATED ASSEMBLY

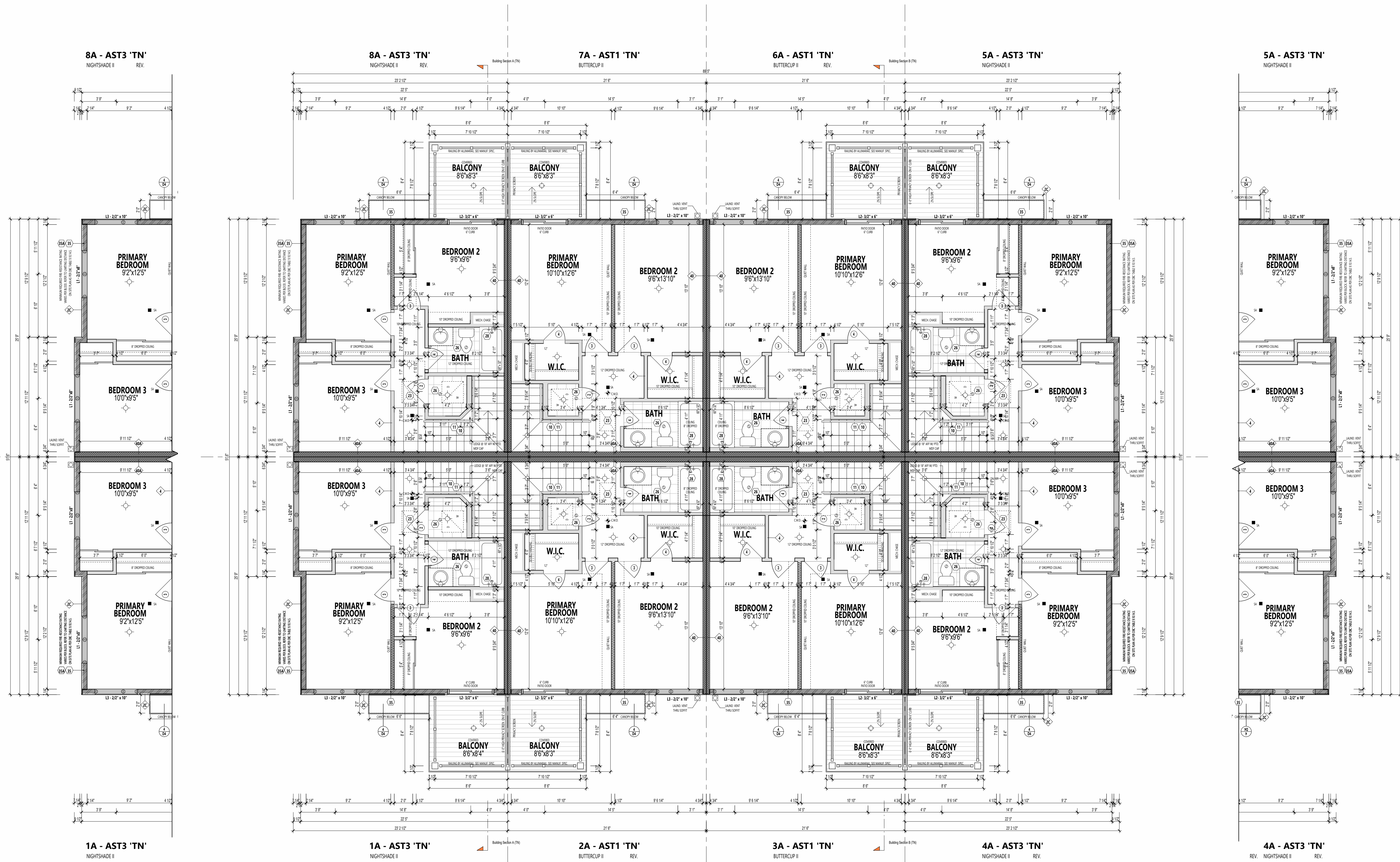
ENSURE THE PROTECTION OF LOAD BEARING ELEMENTS REQ. BY 9.10.3.11 (1) OF THE O.C.A.2015 IS INSTALLED ENSURING CONTINUITY OF THE FIRE SEPARATION.

IF FIRE SEPARATIONS OR RESISTANCE RATINGS ARE OTHER THAN DETAILED, PROVIDE NOTES TO INSPECTOR ON SITE.

ENSURE MANUAL SWITCH FOR VENTILATION IS PROVIDED AS PER 9.33.3.4 O.C.A.2015 PER UNIT.

REFER TO STRUCTURAL DRAWING & FLOOR/CEILING LAYOUT FOR STRUCTURAL ELEMENTS.

REFER TO HVAC DRAWINGS FOR LAYOUT OF MECHANICAL ROOMS, RIGS AND LOCATIONS.



PARTIAL THIRD FLOOR PLAN (UPG OPTION)

THIRD FLOOR PLAN - STANDARD

PARTIAL THIRD FLOOR PLAN (UPG OPTION)

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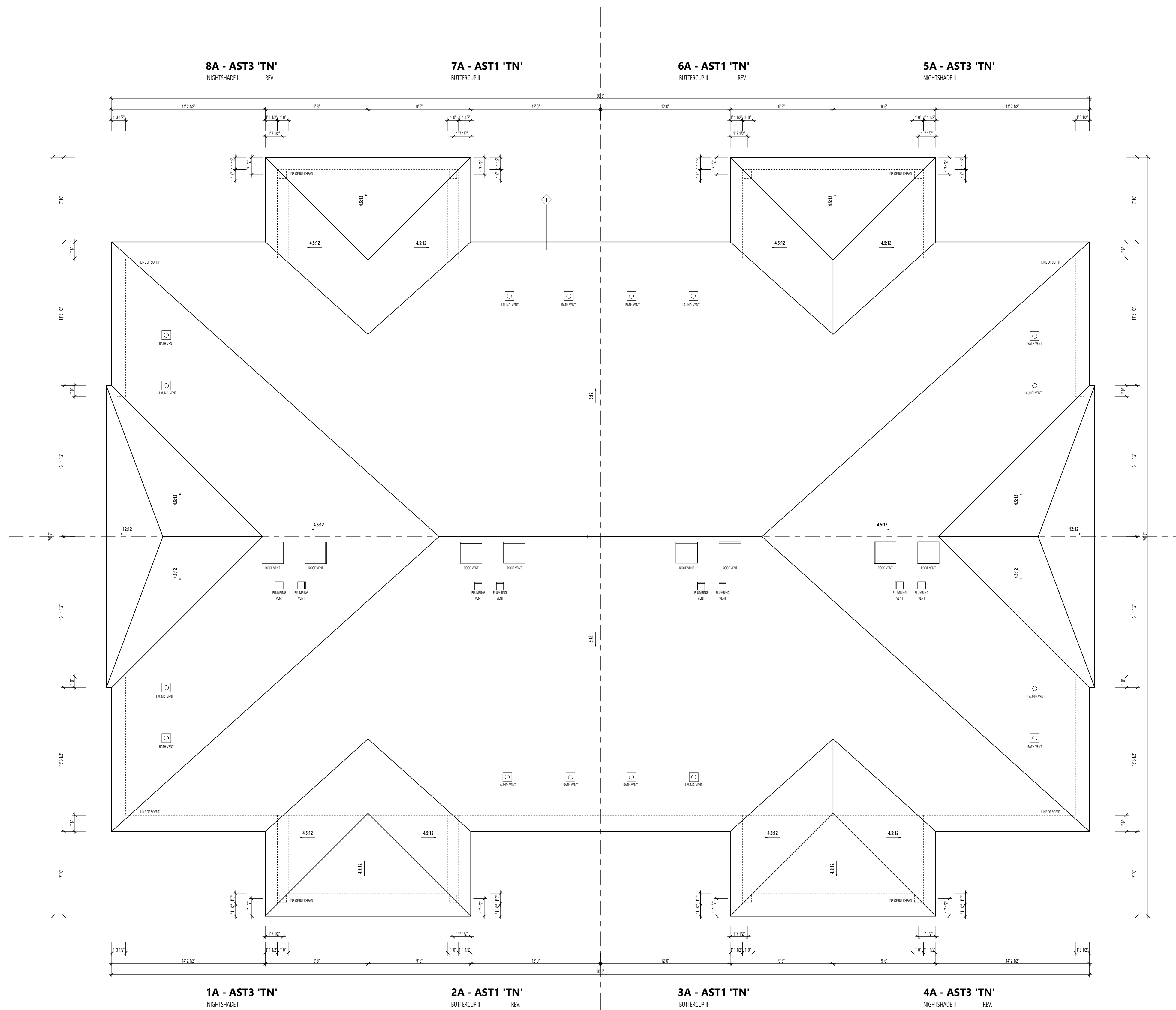
THIRD FLOOR PLAN

TRANSITIONAL (TN)

Orleans
2370 TENTH LINE RD
CITY OF OTTAWA

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ROOF PLAN

TRANSITIONAL (TN)

Orleans
 2370 TENTH LINE RD
 CITY OF OTTAWA

CITY PLAN NO. XXXXXX CITY FILE NO. D07-12-21-0224

SHEET SIZE 24"x36"
 SCALE 3/16" = 1'-0"
 ISSUE DATE Nov 25, 2022

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1A AST3 'TN'
NIGHTSHADE II

2A AST1 'TN'
BUTTERCLIP II REV.

3A AST1 'TN'
BUTTERCLIP II

4A AST3 'TN'
NIGHTSHADE II REV.

9B AST4 'TN'
POPPY II

10B AST6 'TN'
FREESIA II REV.

11B AST6 'TN'
FREESIA II

12B AST4 'TN'
POPPY II REV.

ARCHITECT STAMP



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FRONT ELEVATION

TRANSITIONAL (TN)

Orleans
2370 TENTH LINE RD
CITY OF OTTAWA

CITY PLAN NO. XXXXXX CITY FILE NO. D07-12-21-0224

FOR APPLICATION AND CONSTRUCTION INSTALLATION ON THE ABOVE MATERIALS SEE:
 WINDOW TRIM DETAIL, FRETZ BOARD DETAILS AND OTHER TRIM DETAILS SHOWN ON FRONT ELEVATION SHEETS OR IN EXTERNAL CONSTRUCTION DETAILS SHEETS.
 MAXIMUM BUILDING HEIGHT @ HIGHEST GRADE 34'-0" (10.5m)



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8A AST3 'TN'
 NIGHTSHADE II REV.

9B AST4 'TN'
 POPPY II

1A AST3 'TN'
 NIGHTSHADE II

ARCHITECT STAMP



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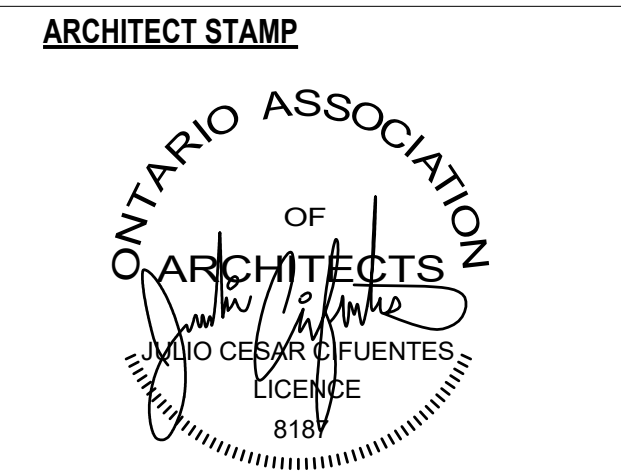
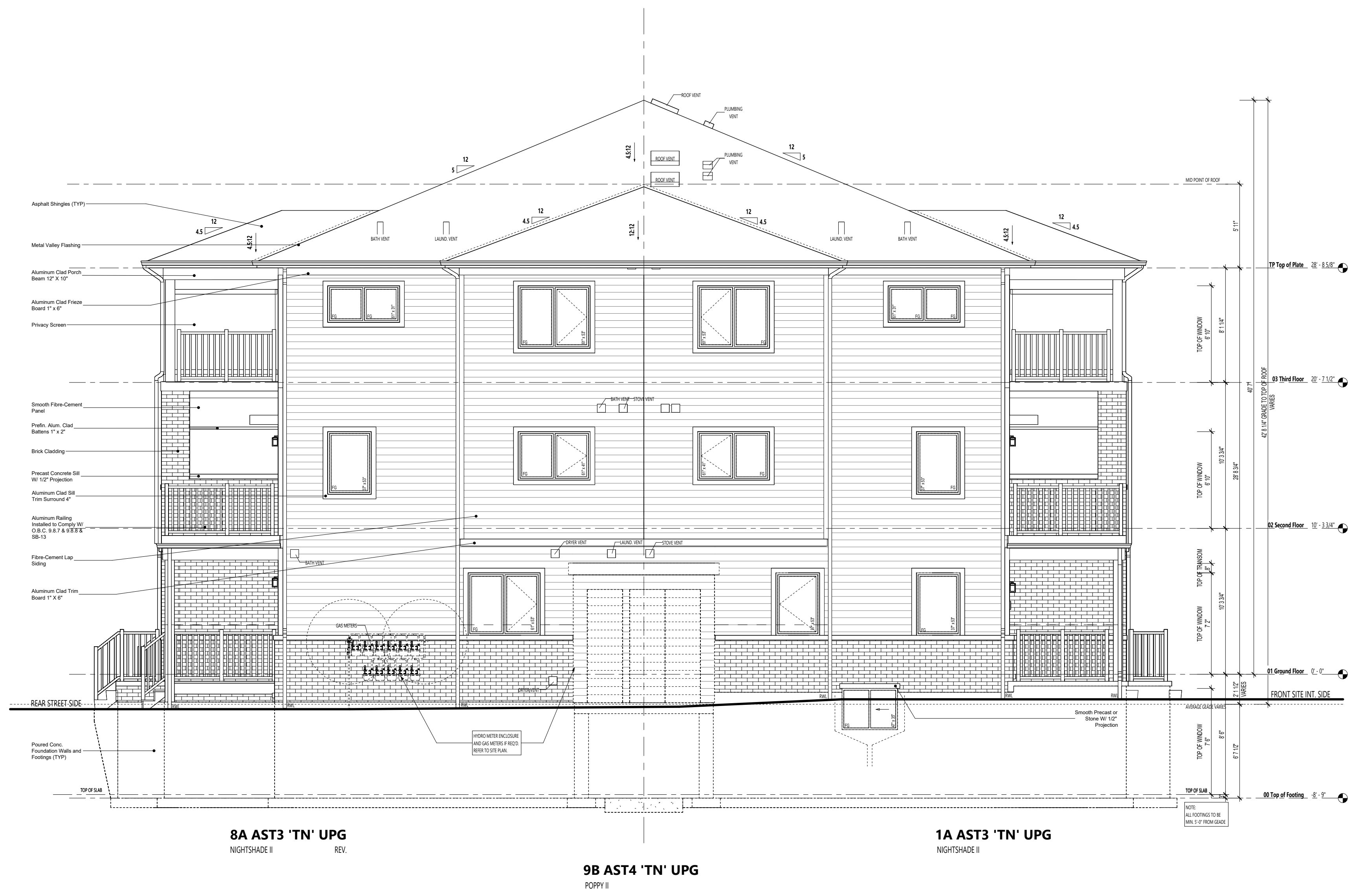
LEFT ELEVATION

TRANSITIONAL (TN)

Orleans
 2370 TENTH LINE RD
 CITY OF OTTAWA

CITY PLAN NO. XXXXXX CITY FILE NO. 007-12-21-0224
 SHEET SIZE: 24"x36"
 SCALE: 3/16" = 1'-0"
 ISSUE DATE: Nov 25, 2022
PAGE A2.10

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LEFT ELEVATION - UPG

TRANSITIONAL (TN)

Orleans
 2370 TENTH LINE RD
 CITY OF OTTAWA

CITY PLAN NO. XXXXXX CITY FILE NO. D07-12-21-0224

FOR APPLICATION AND CONSTRUCTION INSTALLATION ON THE ABOVE MATERIALS SEE:
WINDOW TRIM DETAIL, FIBRE BOARD DETAILS AND OTHER TRIM DETAILS SHOWN ON FRONT ELEVATION SHEETS OR IN EXTERNAL CONSTRUCTION DETAILS SHEETS.
MAXIMUM BUILDING HEIGHT @ HIGHEST GRADE 34'-0" (10.35m)



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MAXIMUM BUILDING HEIGHT @ HIGHEST GRADE 34' 0" (10.35m)



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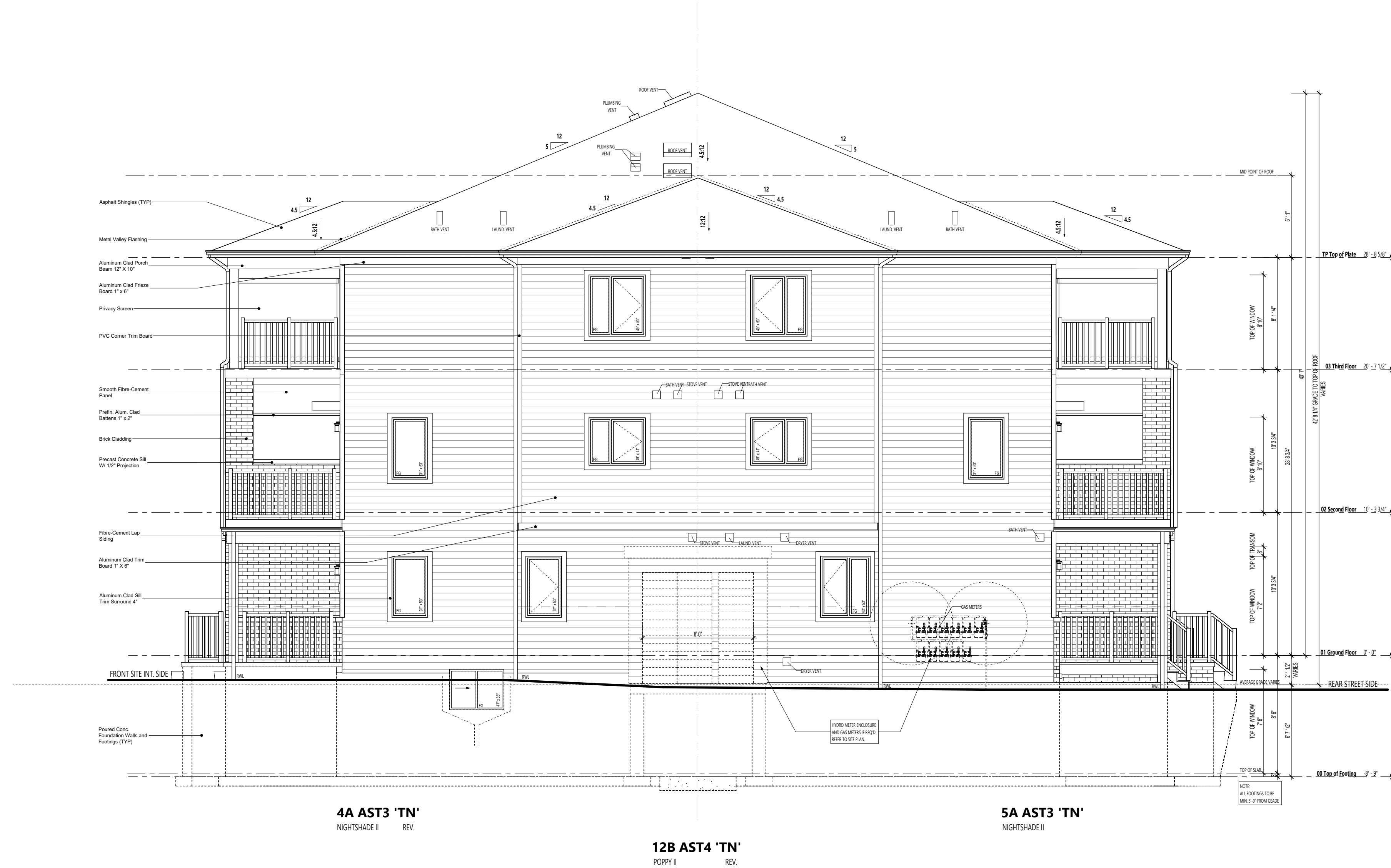
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4A AST3 'TN'
NIGHTSHADE II REV.

12B AST4 'TN'
POPPY II REV.

5A AST3 'TN'
NIGHTSHADE II

ARCHITECT STAMP



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4A AST3 'TN' UPG REV.

12B AST4 'TN' UPG REV.

5A AST3 'TN' UPG

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RIGHT ELEVATION - UPG

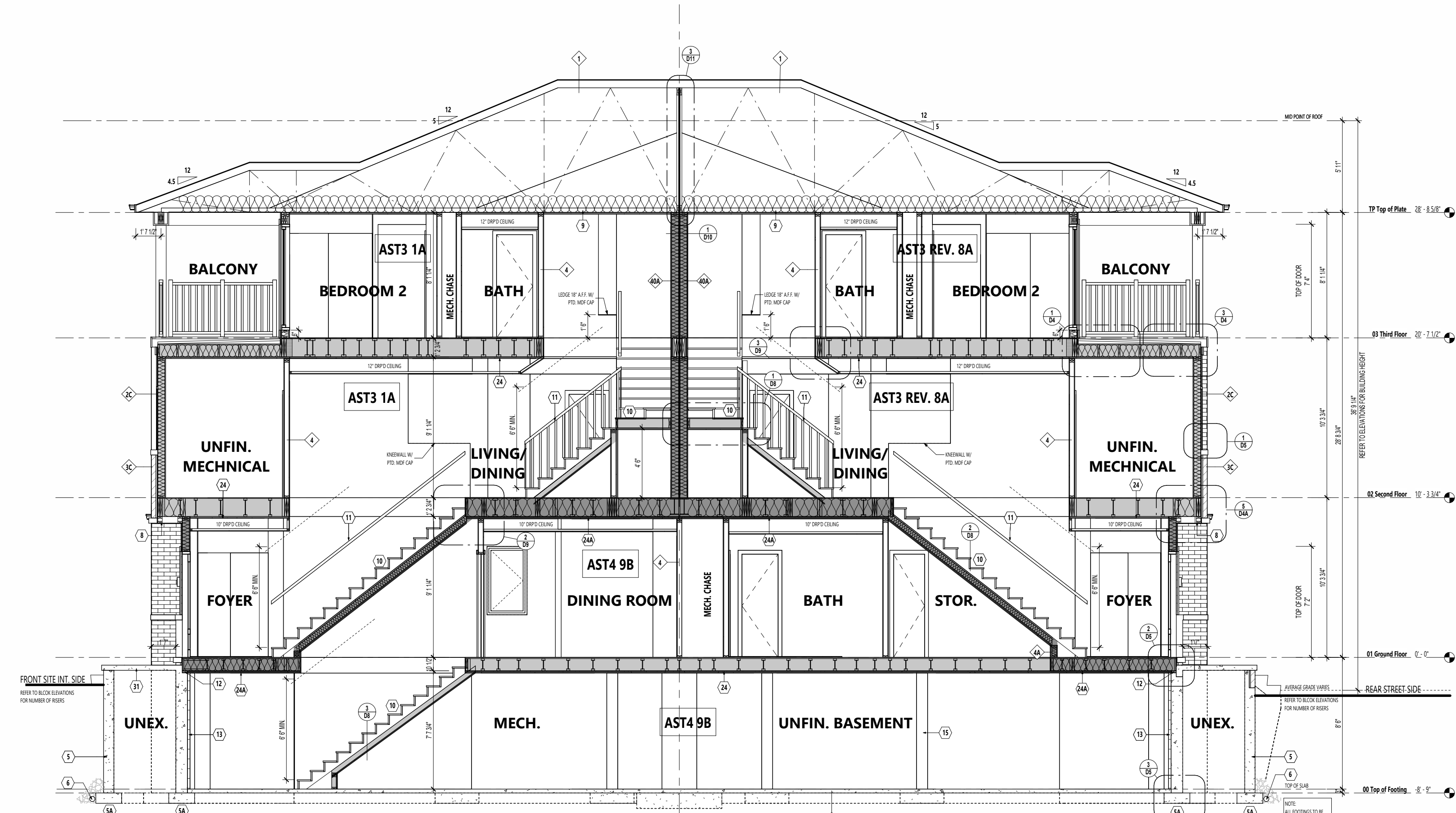
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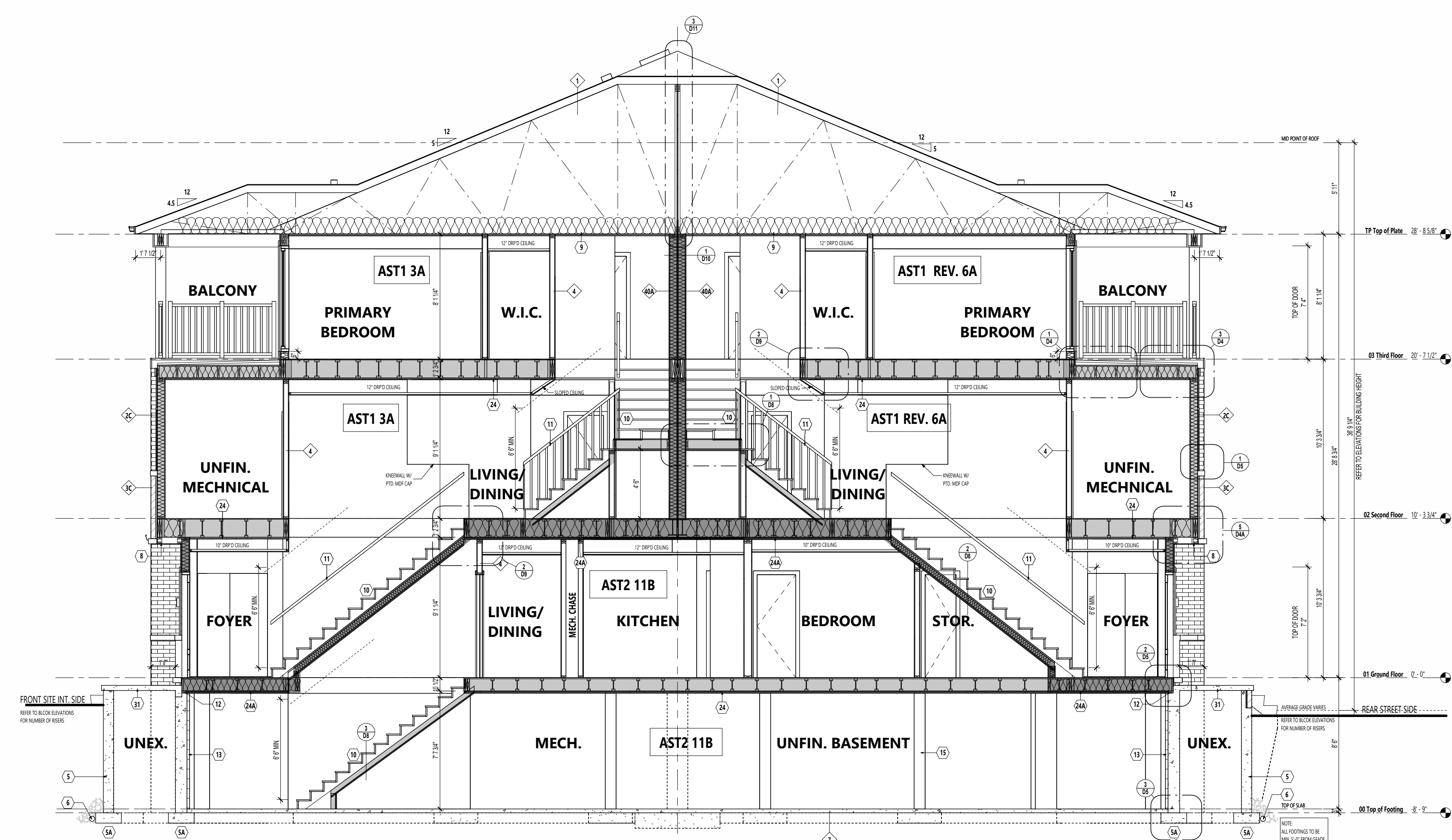
ROOF FRAMING:
ALL UNFINISHED LUMBER (LVL) BEAMS, SUI-T UP BEAMS, GIRDERS,
TRUSSES AND METAL HANGER CONNECTIONS SUPPORTING ROOF
FRAMING TO BE DESIGNED AND CERTIFIED BY ROOF TRUSS
MANUFACTURER. REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL
ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED ON
ARCHITECTURAL DRAWINGS.

LEGEND

- 1 HR FIRE RATED ASSEMBLY
- 45 MIN. FIRE RATED ASSEMBLY



UNITS AST3 & AST4 TN
BUILDING SECTION A-A



UNITS AST1 & AST6 TN
BUILDING SECTION B-B



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BUILDING SECTIONS

TRANSITIONAL (TN)

Orleans
2370 TENTH LINE RD
CITY OF OTTAWA

CITY PLAN NO. XXXXXX CITY FILE NO. D07-12-21-0224

SHEET SIZE: 24"x36"
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ISSUE DATE: Nov 25, 2022 **PAGE A3.00**



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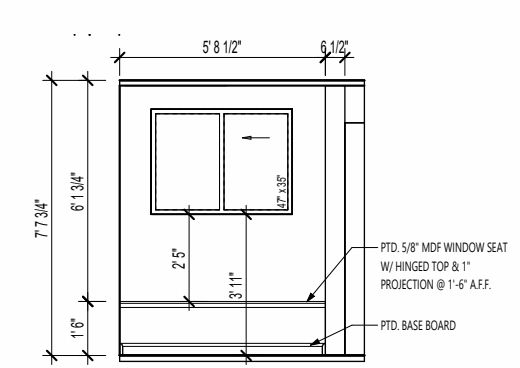
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FLOOR TRUSSES:
FLOOR TRUSSES TO BE PROVIDED W/ 4" DIA. PRE-CUT HOLES @ 8" APART FOR ALL DUCTS PER MANUFACTURER'S SHOP DRAWINGS FOR LOCATION & NUMBER OF HOLES (EED) TYP.

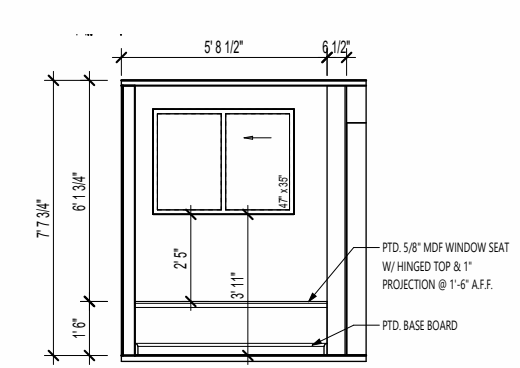
FLOOR FRAMING:
FOR FLOOR FRAMING REFER TO FLOOR-COST MANUFACTURER'S SHOP DRAWINGS FOR ALL TRUSS-COST INFORMATION AND DETAILS, UNLESS OTHERWISE NOTED.

WALL LEGEND

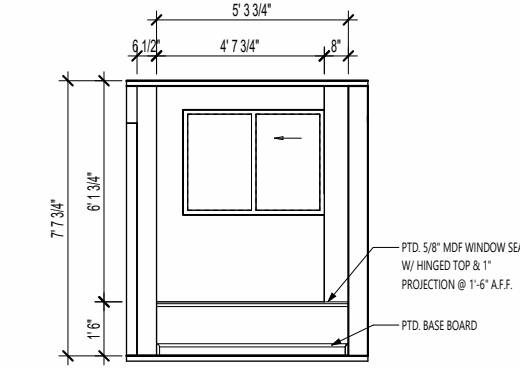
- LOAD BEARING WALL
- MECHANICAL WALL
- 1 HR FIRE RATED ASSEMBLY
- 45 MIN. FIRE RATED ASSEMBLY



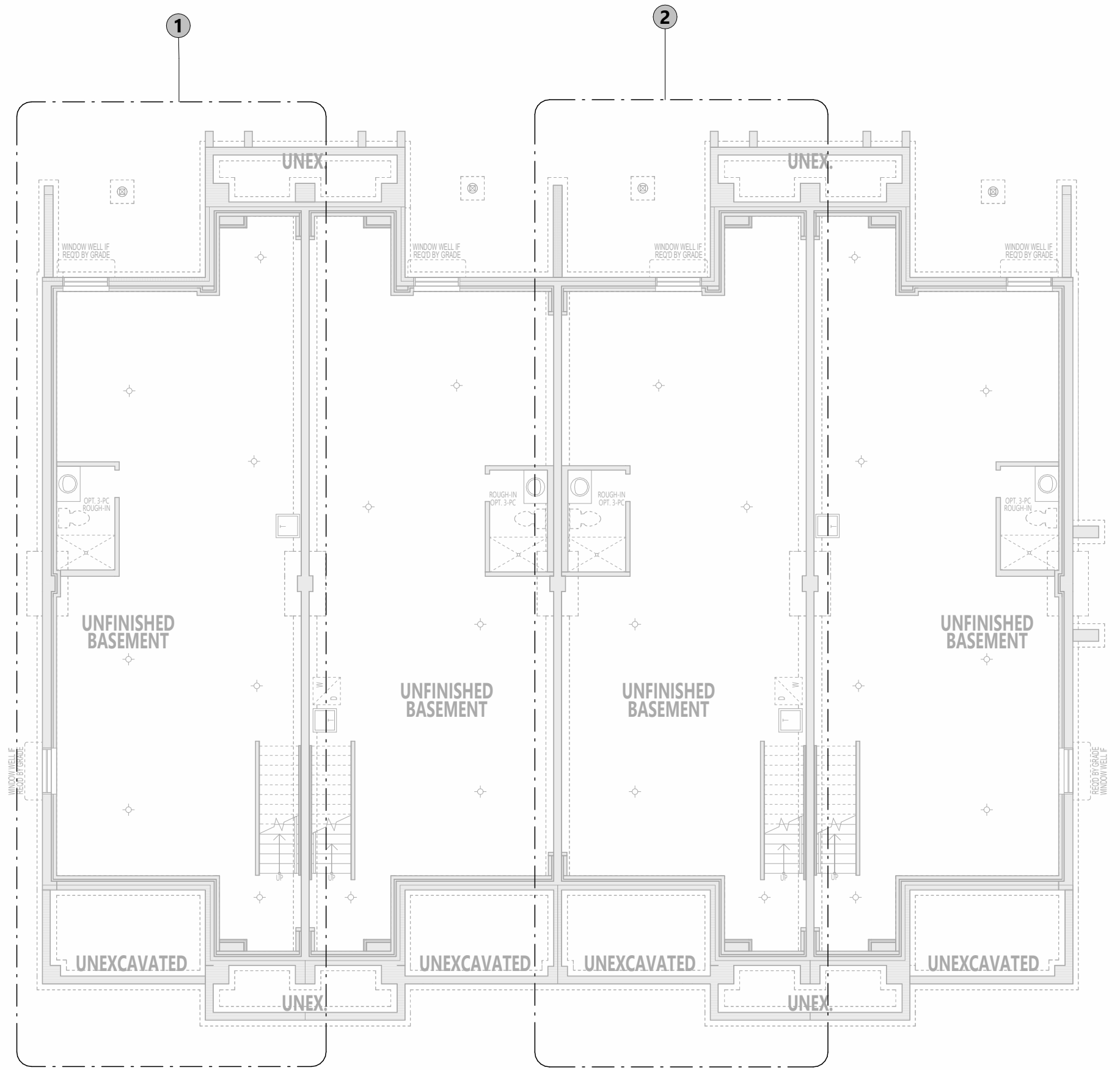
E1 Interior Elevation for Window Seat in Bedroom 3
3/16" = 1'-0"



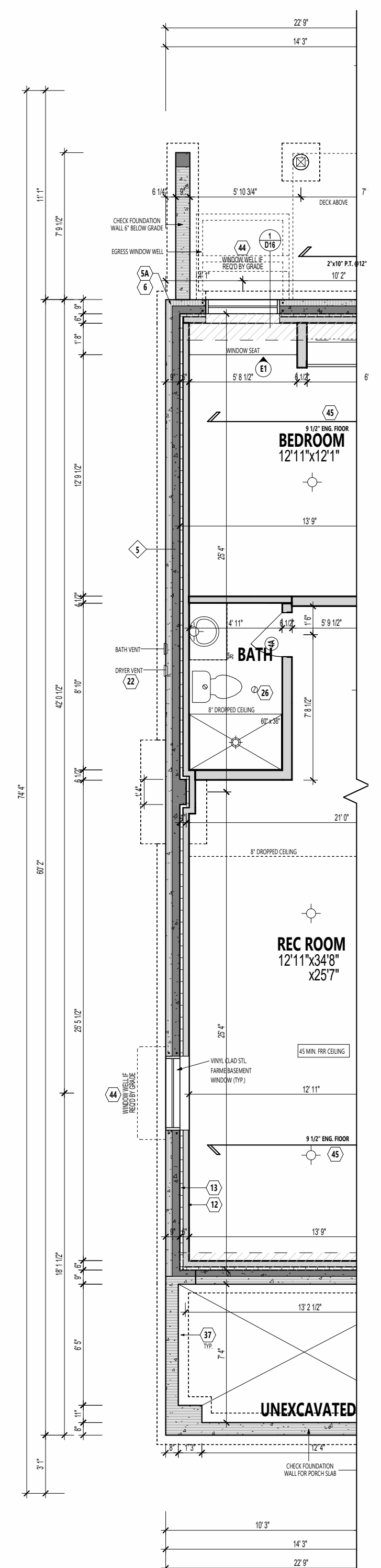
E2 Interior Elevation for Window Seat in Bedroom 3
3/16" = 1'-0"



E3 Interior Elevation for Window Seat in Bedroom 3
3/16" = 1'-0"

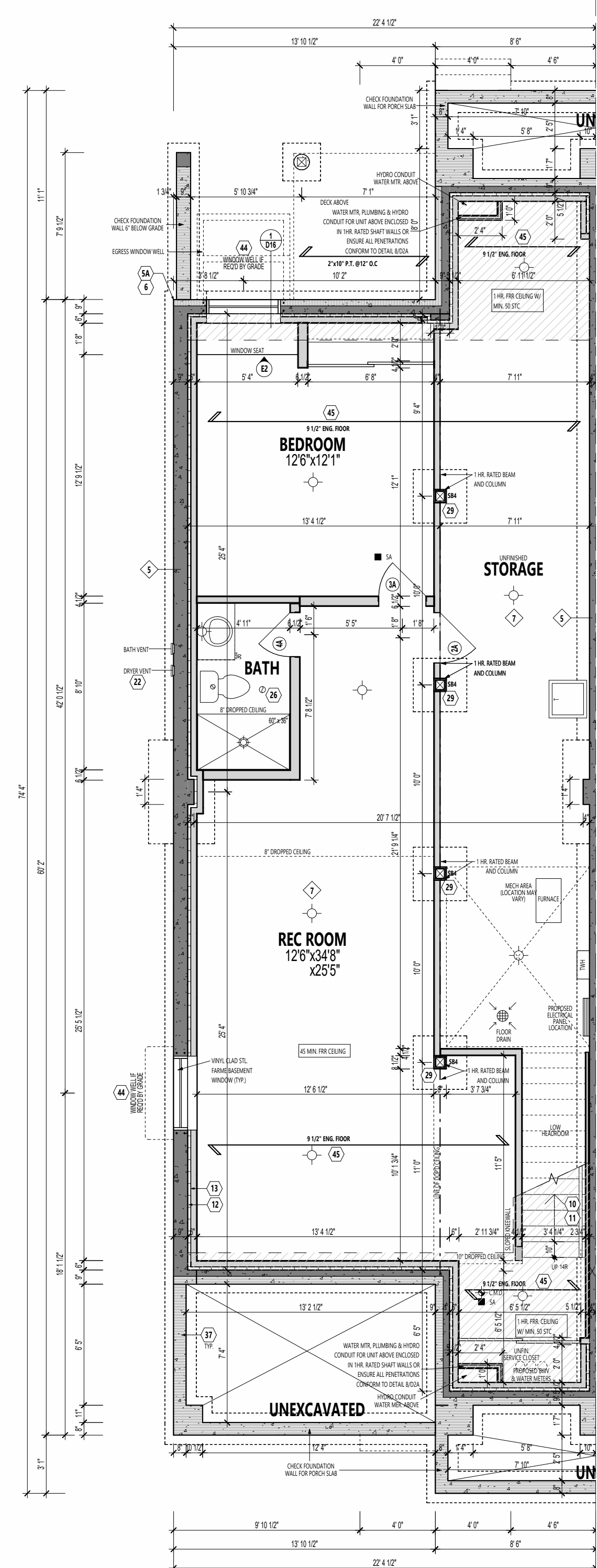


BASEMENT KEY PLAN



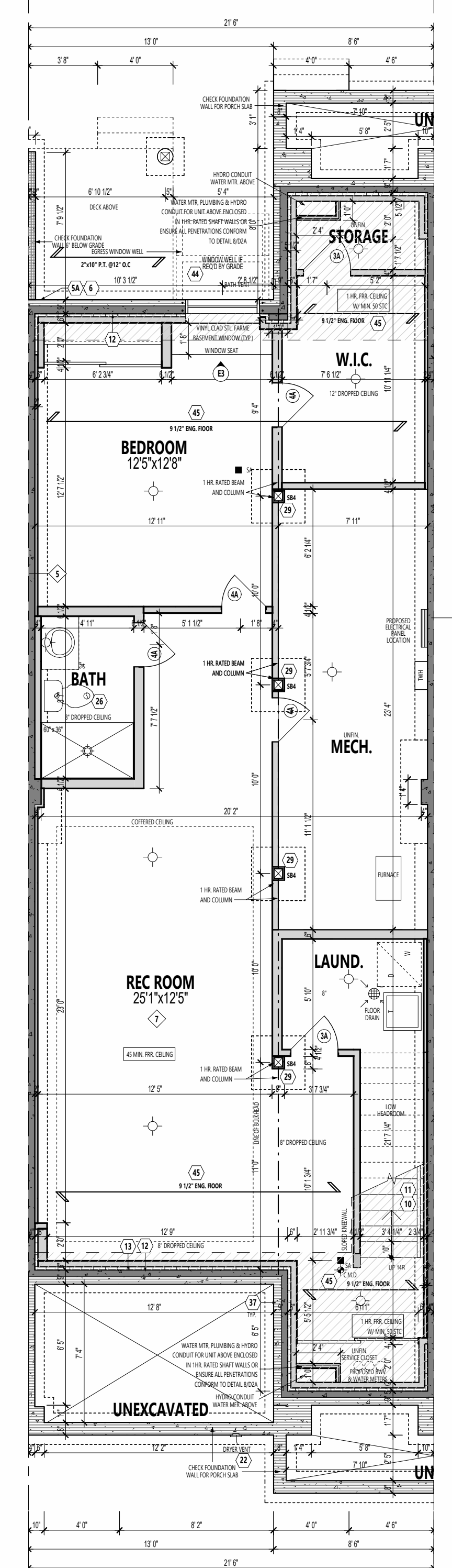
9B - AST4 'TN' UPG.
POPPY II

Partial Basement Floor Plan - UPG (Finished Bedroom 3 & Rec Room in Basement Option)
3/16" = 1'-0"



9B - AST4 'TN'
POPPY II

Partial Basement Floor Plan (Finished Bedroom 3 & Rec Room in Basement Option)
3/16" = 1'-0"



11B - AST6 'TN'
FREESIA II

Partial Basement Floor Plan (Finished Bedroom 3 & Rec Room in Basement Option)
3/16" = 1'-0"

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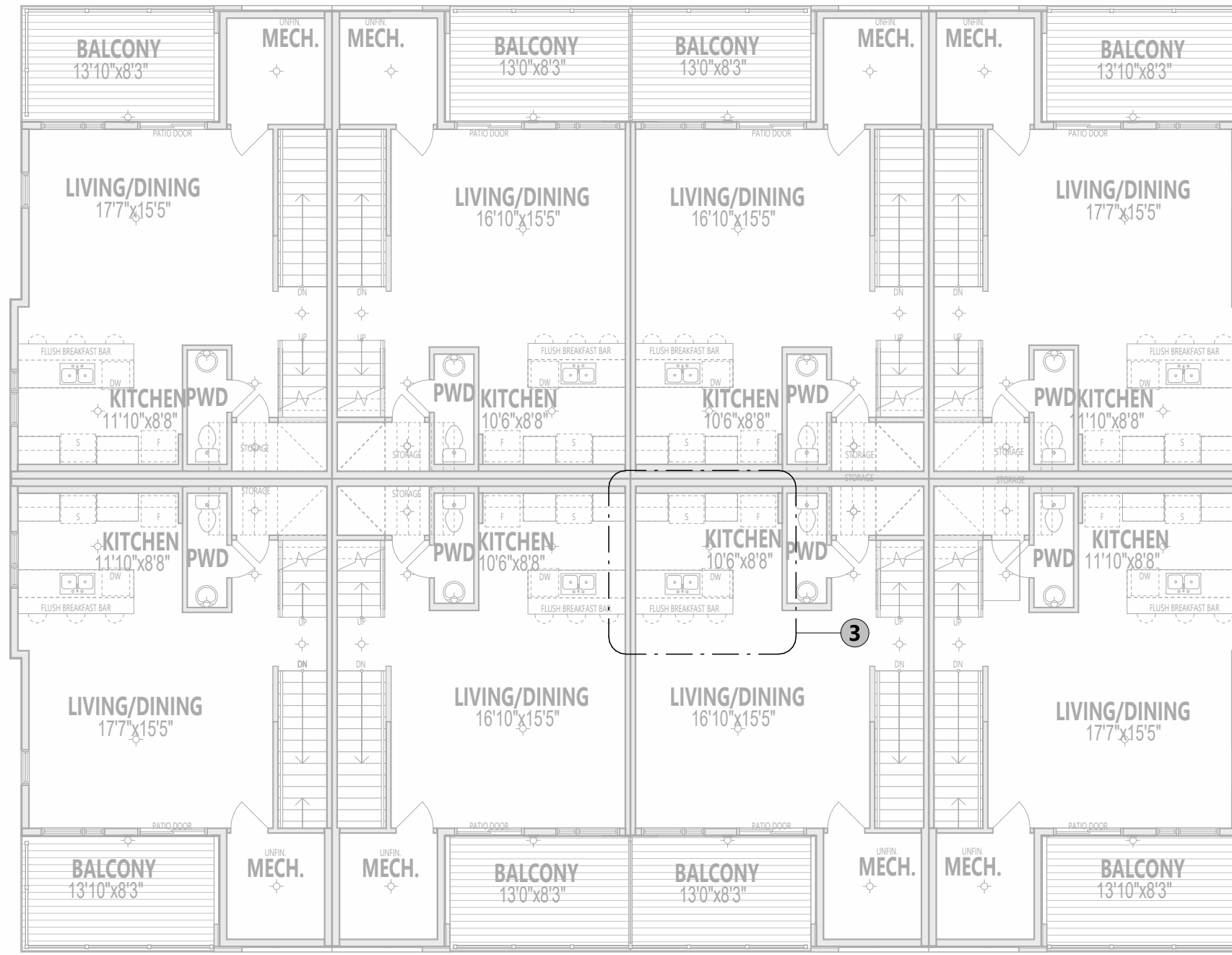
PRE-PLANNED OPTIONS

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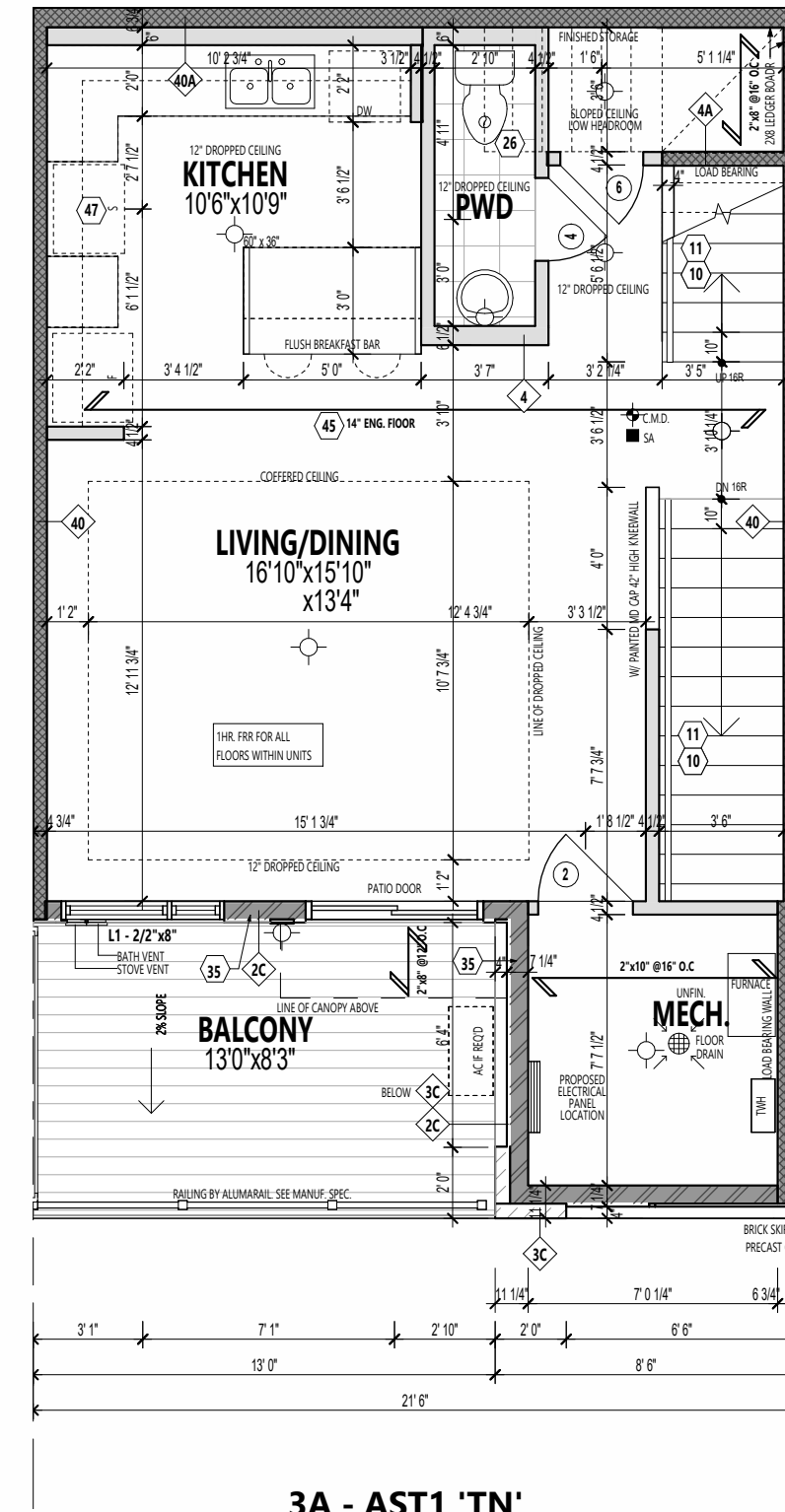
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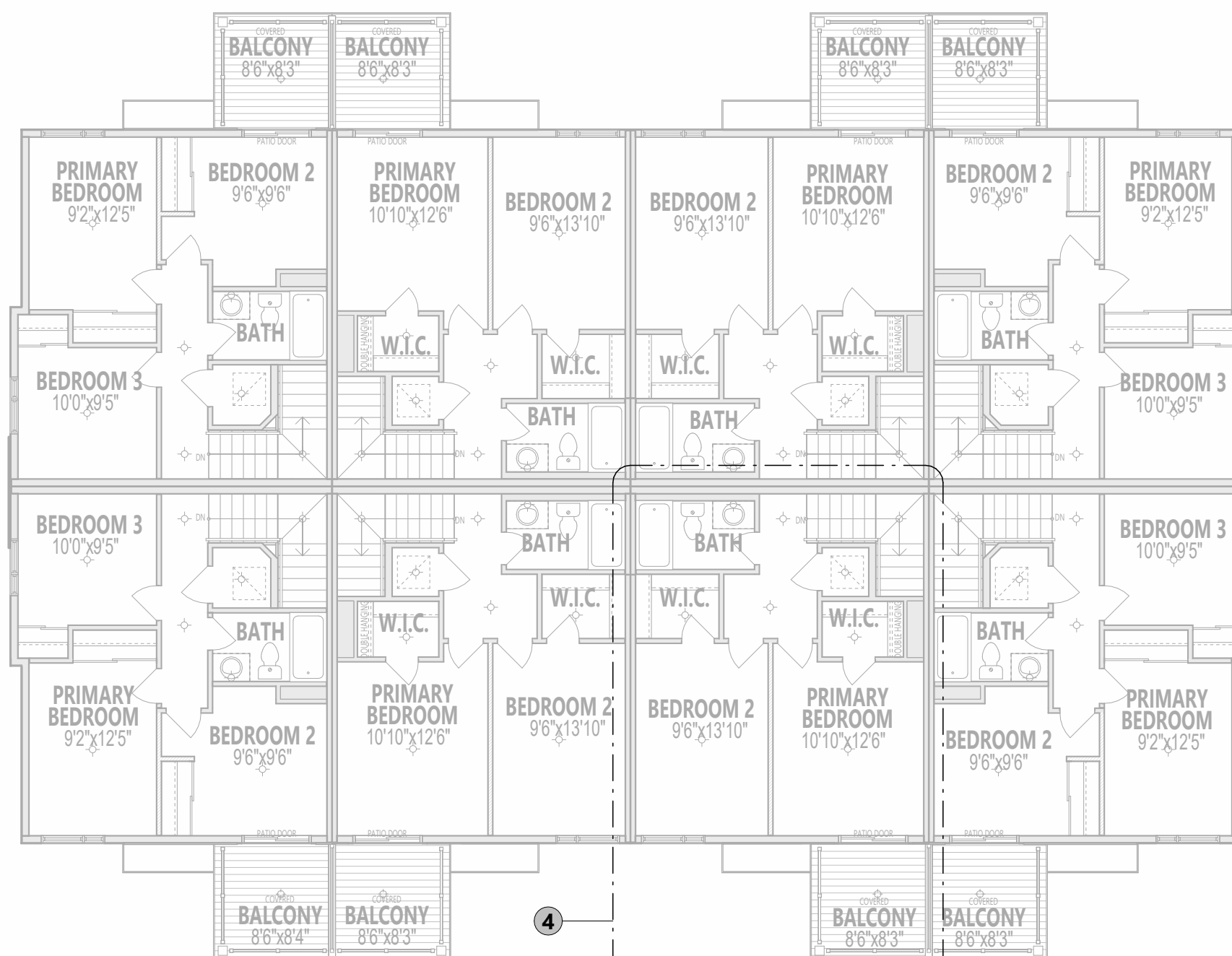


SECOND FLOOR KEY PLAN

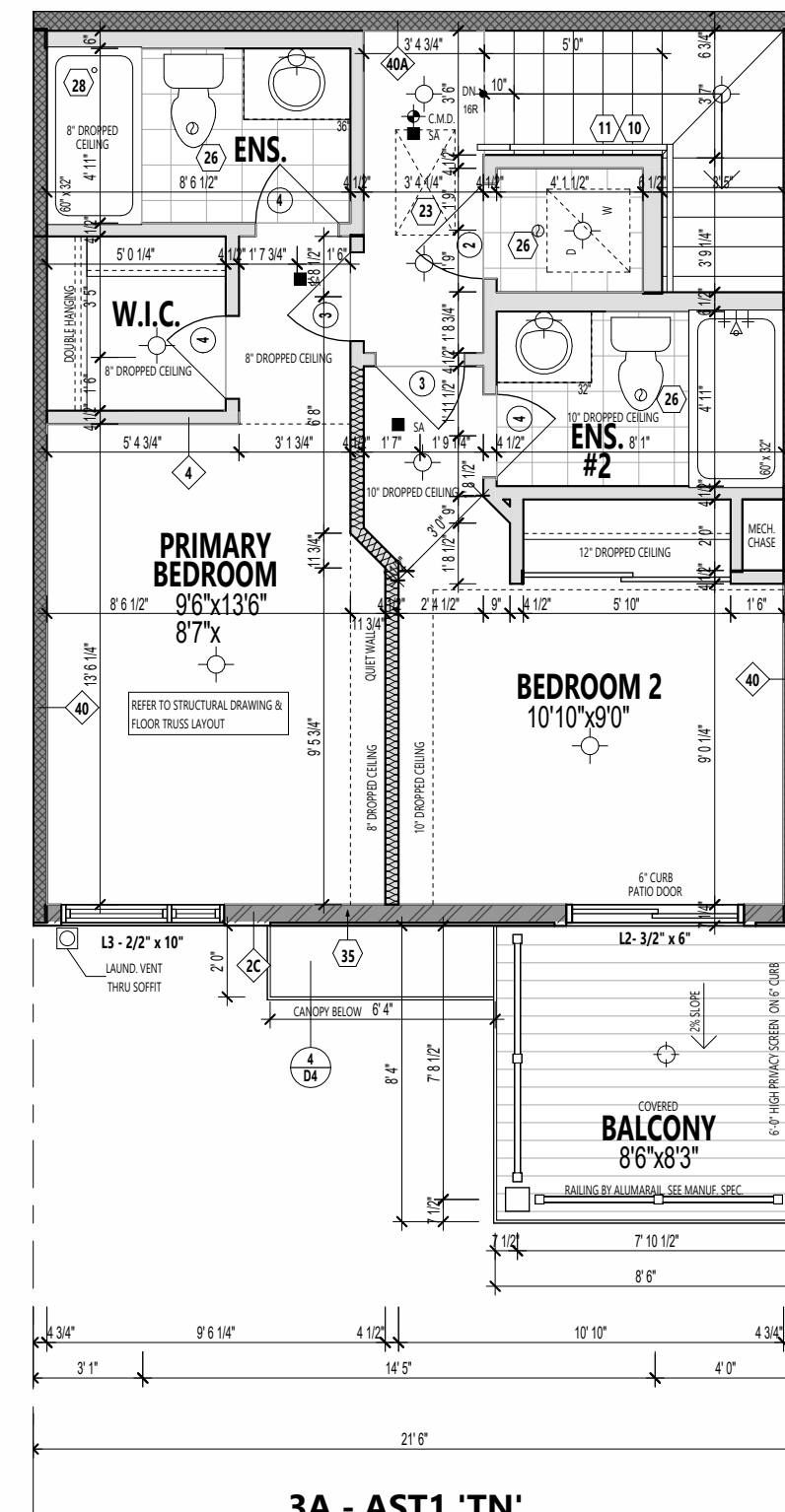


3A - AST1 'TN'
BUTTERCLIP II

3 Partial Second Floor Plan
(Alternate Kitchen Option)
3/16" = 1'-0"



THIRD FLOOR KEY PLAN



3A - AST1 'TN'
BUTTERCLIP II

4 Partial Third Floor Plan
(Double Ensuite Option)
3/16" = 1'-0"

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ALL SIZES SHOWN ON ARCHITECTURAL DRAWINGS IS PROPOSED LOCATION ONLY. MECHANICAL AND ELECTRICAL ENGINEERS ARE RESPONSIBLE FOR THE DESIGN AND LOCATION OF ALL MECHANICAL, VENTILATION, GAS PIPING, HVAC, GAS, FIRE, PROTECTIVE, ELECTRICAL AND ANY MECHANICAL EQUIPMENT BUILDER AND SUBCONTRACTOR TO ENSURE THE INSTALLATION adheres to ALL APPLICABLE CODES AND LOCAL UTILITY AUTHORITIES.

FLOOR TRUSSES:
FLOOR TRUSSES TO BE PROVIDED W/ 4" DIA. PRE-CUT HOLES @ 8" SPACING FOR 1/2" DIA. DUCTS PER HANG DOWN. SEE HANG DOWNS FOR LOCATION & NUMBER OF HOLES REQUIRED TYP.

FLOOR FRAMING:
FOR FLOOR FRAMING REFER TO FLOOR JOIST MANUFACTURERS SHOP DRAWINGS FOR ALL TRUSS JOIST INFORMATION AND DETAILS UNLESS OTHERWISE NOTED.

ROOF FRAMING:
ALL LAMINATED VENEER LUMBER (LVL) BEAMS, RUIP-UP BEAMS, GIRDERS TRUSSES AND METAL HANGER CONNECTIONS SUPPORTING ROOF FRAMING TO BE DESIGNED AND CERTIFIED BY ROOF TRUSS MANUFACTURER. REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED ON ARCHITECTURAL DRAWINGS.

FRAME WALL / SIDING CONSTRUCTION:
45 MINUTE OR 1 HOUR FIRE RATED WALL
PROVIDE A CONTINUOUS LAYER OF 15mm (5/8") TYPE 'X' Gypsum BOARD INTERIOR SIDE. INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH PERFORMED MINERAL FIBRE INSULATION WITH A MASS OF NOT LESS THAN 121 kg/m³ AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE 'X' INSULATION MUST BE RAIN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHUBS, SHOWERS, ETC. ENGINE INSULATION @ TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR WALLS.
(REFER TO SECTION SR-2.3 OF SUPPLEMENTARY STANDARDS)
PROVIDE 7/8" EXTERIOR GRADE GYPSUM BOARD SHEATHING BEHIND SIDING.
(REFER TO S.M.C. 81 & 105)

ROCK WOOL FIBRE CONSTRUCTION:
45 MINUTE OR 1 HOUR FIRE RATED WALL
PROVIDE A CONTINUOUS LAYER OF 15mm (5/8") TYPE 'X' Gypsum BOARD INTERIOR SIDE. INSTALLED TO ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH PERFORMED MINERAL FIBRE INSULATION WITH A MASS OF NOT LESS THAN 121 kg/m³ AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE 'X' INSULATION MUST BE RAIN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHUBS, SHOWERS, ETC. ENGINE INSULATION @ TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR WALLS.
(REFER TO SECTION SR-2.3 OF SUPPLEMENTARY STANDARDS)

HEADER / RIM JOIST LEVEL:
45 MINUTE OR 1 HOUR FIRE RATED @ HEADS
PROVIDE 15mm (5/8") TYPE 'X' Gypsum BOARD BETWEEN FLOOR JOIST AT THE HEADER OR CONTINUOUSLY ALONG THE RIM JOIST WHEN FLOOR JOISTS ARE PARALLEL TO ROOF JOIST TO MAINTAIN 45 MINUTE OR 1 HOUR FIRE RATING.

WALL LEGEND	
	LOAD BEARING WALL
	MECHANICAL WALL
	1 HR FIRE RATED ASSEMBLY
	45 MIN. FIRE RATED ASSEMBLY

ENGINE THE PROTECTION OF LOAD BEARING ELEMENTS REQ. BY 9.10.3.1 (1) OF THE O.C.P.C. IS INSTALLED ENSURING THE CONTINUITY OF THE FIRE SEPARATION.

IF FIRE SEPARATIONS OR RESISTANCE RATINGS ARE OTHER THAN DETAILED, PROVIDE SPECS TO INSPECTOR ON SITE.

ENGINE MANUAL SWITCH FOR VENTILATION IS PROVIDED AS PER 9.33.3.4 (8) 2012 PER UNIT.

REFER TO STRUCTURAL DRAWING & FLOOR/CEILING LAYOUT FOR STRUCTURAL ELEMENTS.

REFER TO HVAC DRAWINGS FOR LAYOUT OF MECHANICAL ROOMS, RISERS AND LOCATIONS.



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ARCHITECT DISCLAIMER

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ARCHITECT STAMP



ISSUED / REVISION CHART

NO.	REVISION	DATE
01	ISSUED FOR PERMIT	2022-08-30
02	ISSUED FOR PERMIT REVISION 01	2022-12-08

PRE-PLANNED OPTIONS

TRANSITIONAL (TN)

Orleans
2370 TENTH LINE RD
CITY OF OTTAWA
CITY PLAN NO. XXXXXX CITY FILE NO. D07-12-21-0224