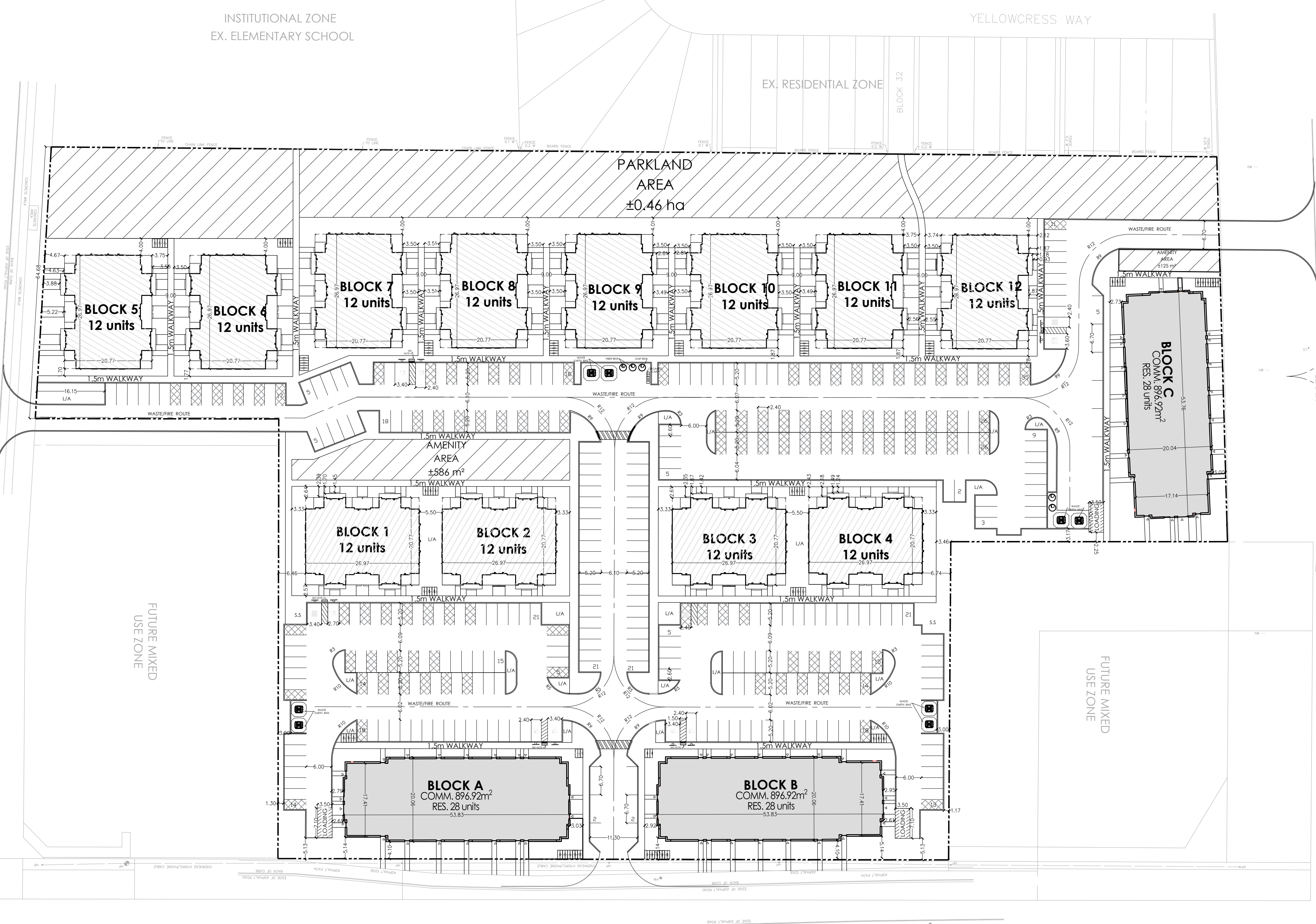


PROMENADE DÉCOEUR DR

BRIAN COBURN BLVD



SITE AREA	36,388 m ² (3.64 ha)
PAVED AREA	15,227 m ² (41.8%)
LANDSCAPED AREA	6,578 m ² (18.2%)
TOTAL BUILDING COVERAGE	9,956 m ² (27.3%)
PARK AREA	4,627 m ² (12.7%)
TOTAL APPROXIMATE GROSS FLOOR AREA	23,259.36 m ²
TOTAL UNITS	228
DENSITY (UPH)	63 UPH
ZONE CATEGORY	GM[950]

DWELLING BLOCK	DWELLING TYPE	GROSS FLOOR AREA (m ²)	UNITS
BLOCK A	RESIDENTIAL	1,664.04	28
BLOCK B	COMMERCIAL	896.92	28
	RESIDENTIAL	1,664.04	
BLOCK C	COMMERCIAL	896.92	28
	RESIDENTIAL	1,664.04	
MIXED-USE TOTAL		4,992.12	84
BLOCK 1-12		15,576.48 (1,298.04 per Block)	144
			TOTAL 228

	# OF PARKING STALLS
COMMERCIAL PARKING SPACES	116
RESIDENTIAL PARKING SPACES	257
VISITOR PARKING SPACES	46
TOTAL 419	
NET SHAREABLE 404	

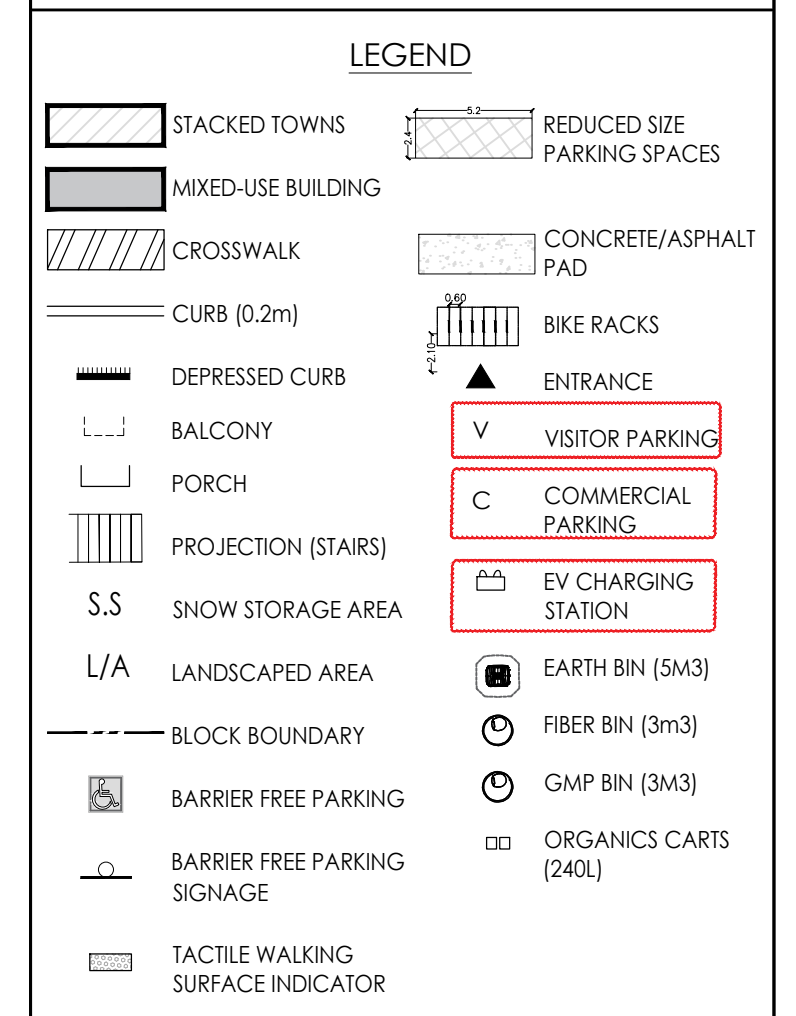
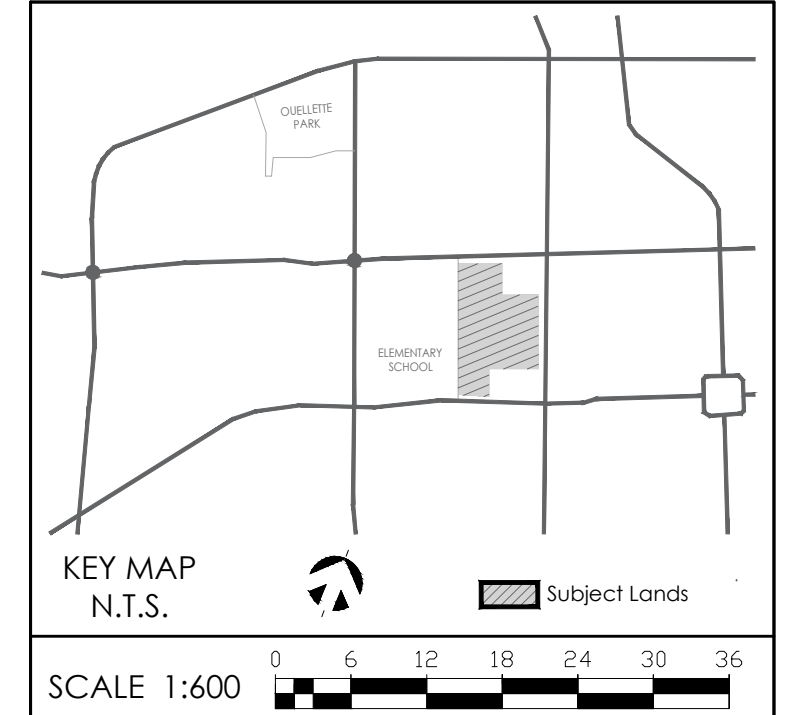
SECTION	ZONE PROVISION - PLANNED UNIT DEVELOPMENT	REQUIRED	PROPOSED
187(Table)(a)	MIN. LOT AREA (m ²)	No minimum	36,387.61m ²
187(Table)(b)	MIN. LOT WIDTH (m)	No minimum	64.68m
950(Bylaw 2008-386/2009-18)	MIN. YARD SETBACK FROM ALL LOT LINES	4.0m	3.0m
187(Table)(f)	MAX. BUILDING HEIGHT (m)	18m	11m Mixed-Use 12m Stacked Towns
187(Table)(g)	MAX. FLOOR SPACE INDEX	2	0.6
187(Table)(h)	MIN. WIDTH OF LANDSCAPED AREA:		
	ABUTTING A STREET	3.0m	3.0m
	ABUTTING A RESIDENTIAL OR INSTITUTIONAL ZONE	3.0m	N/A
	OTHER CASES	0.0m	0.0m
R15	RESIDENT PARKING - MIXED-USE (84 units@1/unit)	84	84*
	- STACKED TOWNS (144 units@1.2/unit)	172.8	173*
R10	VISITOR PARKING - MIXED-USE (84 units@0.2/unit)	16.8	17
	- STACKED TOWNS (144 units@0.2/unit)	28.8	29
N74	RESTAURANT PARKING 10 spaces/100m ² (367m ²)	36.7	37
N79	RETAIL STORE PARKING 3.4 spaces/100m ² (2,323m ²)	78.9	79
104(Table)(c,d)	PARKING PERMITTED TO BE SHARED (Commercial + Visitor)	147	147
111A(Table)(b)	BICYCLE PARKING (0.5/unit)	114	114
111A(Table)(e)	COMMERCIAL BICYCLE PARKING (1 space/250m ² GFA)	10.8	12
131(Table)(1)	MIN. WIDTH OF PRIVATE WAY (m)	6.0m	6.0m
131(Table)(2)	MIN. SETBACK OF ANY WALL OF A RESIDENTIAL BUILDING TO PRIVATE WAY (m)	1.8m	2.8m
131(Table)(4)	MIN. SEPARATION DISTANCE BETWEEN BUILDINGS WITHIN PLANNED UNIT DEVELOPMENT (m)	1.2m	5.50m
137(Table)	MIN. MIXED-USE BUILDING & STACKED TOTAL AMENITY AREA (6m ² /unit)	1368m ²	1559.73m ² ***
137(Table)	MIN. MIXED-USE BUILDING & STACKED COMMUNAL AMENITY AREA [min. 50% area]	684m ²	711m ²

*Section 104 (3a) - Up to 50% of the required parking spaces may be reduced in size to 2.4m x 4.6m for small cars only. Proposed 102 spaces at 2.4m wide for small car parking. Length maintained at 5.2m.
***Individual amenity areas are provided on the balconies

Vehicle Source	Unit/Space	Weekday Morning	Weekday Noon	Weekday Afternoon	Weekday Evening	Saturday Morning	Saturday Noon	Saturday Afternoon	Saturday Evening
79 C. Retail	75%	75%	80%	85%	75%	80%	85%	100%	100%
87 D. Restaurant	30%	30%	50%	60%	100%	100%	100%	100%	100%
88 F. Res. Visitor	30%	30%	30%	30%	30%	30%	30%	30%	30%
102 Spaces	45	130	135	140	140	140	140	144	144

SECTION	ADDITIONAL PROVISIONS	REQUIRED	PROPOSED
65(Table)	PERMITTED PROJECTIONS INTO REQUIRED YARDS		
65(Table)(5)	FIRE ESCAPES, OPEN STAIRWAYS, STOOP	No limit	3.89m
	INTERIOR SIDE YARD OR REAR YARD (m)	>0.6m to lot line	4.67m
	FRONT YARD OR CORNER SIDE YARD (m)		
	COVERED OR UNCOVERED BALCONY, PORCH, DECK:		
65(Table)(6)	INTERIOR SIDE YARD OR REAR YARD (m)	No limit	3.88m
	FRONT YARD OR CORNER SIDE YARD (m)	>1m to lot line	N/A
	MIN. PERPENDICULAR PARKING SPACE SIZE (m)	2.6m x 5.2m	2.6m x 5.2m
	MIN. BARRIER FREE PARKING		
106(1)(c)	TOTAL NUMBER OF ACCESSIBLE PARKING SPACES	11	11
	TYPE A PARKING SPACE SIZE (m)	3.4m wide	3.4m wide
	TYPE B PARKING SPACE SIZE (m)	2.4m wide	2.4m wide
	ACCESS AISLE (m)	1.5m	1.5m
106(3)(a)	MIN. REDUCED PARKING SPACE SIZE (m)	2.4m x 4.6m	2.4m x 5.2m
	MIN. BICYCLE PARKING SPACE DIMENSION, HORIZONTAL (m)	Width: 0.6m Length: 1.8m	1.8m
111(9)	MIN. BICYCLE PARKING SPACE ACCESS AISLE WIDTH (m)	1.5m	1.8m
1138(Table)	VEHICLE LOADING SPACE:		
	MIN. WIDTH OF DRIVEWAY ACCESSING LOADING SPACE (m)	6m	6.0m
	MIN. WIDTH OF AISLE ACCESSING LOADING SPACE BY ANGLE (Between 45° or less)(m)	5m	6.0m
	MIN. WIDTH OF LOADING SPACE (m)	3.5m	3.5m
	MIN. LENGTH OF LOADING SPACE (m)	7m	7m
	MIN. % OF PARKING LOT LANDSCAPED	15%	15.7%
110(1)	LANDSCAPED AREA SURROUNDING PARKING LOT:		
	ABUTTING A STREET (m)	3.0m	4.10m
110(3)(b)	NOT ABUTTING A STREET (m)	3.0m	0.0m
	MIN. WASTE COLLECTION SETBACK TO LOT LINE (m)	3.0m	3.0m
110(3)(c)	OPAQUE SCREEN MIN. HEIGHT (m)	2.0m***	2.0m***
950(Bylaw 2008-386/2009-18)	MAX. GROSS LEASABLE FLOOR AREA FOR A LOT LESS THAN 4 HECTARES IN AREA	9,999m ²	2,690.76m ²

***Section 110(3)(d) where an in-ground refuse container is provided, the screening requirement of Section 3)(c) above may be achieved with soft landscaping (Bylaw 2020-299)



DATE	REVISION	BY
08/16/22	Draft site plan	CP
08/15/22	Draft site plan	CP
07/18/22	Draft site plan	CP
12/20/21	Draft site plan	SP
DATE	REVISION	BY

GENERAL NOTES
 1. DO NOT SCALE DRAWINGS FOR PRINT.
 2. THIS DRAWING IS THE EXCLUSIVE PROPERTY OF KORSIAK URBAN PLANNING. COPYRIGHT RESERVED.
 3. WALKWAYS AND CURBS TO BE TIED INTO PUBLIC ROW WHERE APPLICABLE.
 4. REFERENCES CITY OF OTTAWA T.W.S.I. DETAIL SC7.3
 5. SURVEY BOUNDARY BY J.D. BARNES LIMITED, 42 STACIE DRIVE, SUITE 103, KANATA, ON K2K 2A9

mattamyHOMES
 50 Hines Road, Suite 100, Ottawa, ON Canada K2K 2M5

Orleans
 2370 TENTH LINE RD
 PART OF BLOCK 173, REGISTERED PLAN 4M-1525
 PART OF LOT 11, CONCESSION 3
 GEOGRAPHIC TOWNSHIP OF CUMBERLAND
 CITY OF OTTAWA

TITLE:	SITE PLAN	
DATE:	August 16, 2022	DRAWN BY: CP CHECKED BY:
FILE NO.:	####	B
JOB NO.:		