

PROJECT INFORMATION

ZONING	AM10
SITE AREA (OVERALL)	8,886.0 sq. m. 95,756 sq. ft.
SITE AREA (PHASE 1)	5,357.3 sq. m. 57,666 sq. ft.
SITE AREA (PHASE 2)	3,528.7 sq. m. 38,090 sq. ft.

REQUIRED	PROVIDED
BUILDING HEIGHT	9 STOREYS - 30 m
DENSITY - F.S.I.	3.5
FRONT YARD SETBACK	3.0 m
INTERIOR YARD SETBACK	0.0, 3.0 & 7.5 m
REAR YARD SETBACK	3.0 m
AMENITY AREA PER UNIT	6.0 sq. m.
VEHICLE PARKING - RESIDENTIAL	0.5 PER UNIT
VEHICLE PARKING - VISITOR ONLY	0.1 PER UNIT
BICYCLE PARKING - RESIDENTIAL	0.5 PER UNIT

DRAWING NOTES

- PROPERTY LINE
- BUILDING SETBACK LINE
- EXISTING CONCRETE SIDEWALK TO REMAIN
- LANDSCAPE ISLAND WITH 150mm BARRIER CURB
- BICYCLE PARKING SPACES (0.6 x 1.8M) WITH RACK
- CONCRETE WALK, WIDTH AS NOTED
- CONCRETE SIDEWALK WITH DEPRESSED CURB & TWSI
- DEPRESSED CURB & TWSI
- FIRE HYDRANT
- STANDARD PARKING SPACE (2.6 X 5.2 M)
- LOADING ZONE
- LIGHT STANDARD - LOCATION TO BE CONFIRMED
- BUILDING CANOPY
- SIAMESE CONNECTION
- FIRE ROUTE
- SOFT LANDSCAPING
- EXISTING CEDAR HEDGE TO BE REMOVED
- EXISTING STREET LIGHT
- EXISTING HYDRO POLE TO BE REMOVED
- EXISTING MOVABLE CURB TO BE REMOVED
- EXISTING CEDAR HEDGE
- RETAINING WALL WITH GUARD RAILINGS AS REQUIRED
- EXISTING RETAINING WALL
- EXISTING CANADA POST MAIL BOXES
- 2.1m HT. SOLID WOOD FENCE. SEE LANDSCAPE
- LOW METAL PICKED FENCE. SEE LANDSCAPE
- EXISTING RETAINING WALL TO BE REMOVED
- BELOW GRADE CISTERN
- EXISTING SERVICE LANE TO BE EXTENDED
- REFUGE PICK UP AREA
- EXTENT OF BELOW GROUND PARKING GARAGE
- RAMP TO PARKING GARAGE WITH TRENCH DRAIN
- PRIVATE PATIO AT GRADE
- EXISTING FIRE HYDRANT
- HYDRO EQUIPMENT
- TEMPORARY SNOW STORAGE AREA

BUILDING STATISTICS

UNIT STATISTICS

STUDIO	19
1 BEDROOM UNIT	102
1 BEDROOM + DEN UNIT	38
2 BEDROOM UNIT	41
2 BEDROOM + DEN UNIT	3
TOTAL	203

GROSS BUILDING FLOOR AREA (OTTAWA ZONING DEFINITION)

GROUND FLOOR	913.9 sq. m. 9,837 sq. ft.
2nd - 6th FLOOR	5 x 1,462.4 sq. m. 5 x 15,664 sq. ft.
7th - 9th FLOOR	3 x 1,067.3 sq. m. 3 x 11,488 sq. ft.
TOTAL AREA ABOVE GRADE	11,577.7 sq. m. 124,621 sq. ft.

CAR PARKING

REQUIRED	PROVIDED
RESIDENT	- 0.5 PER UNIT (203 UNITS)
VISITOR	- 0.1 PER UNIT AFTER FIRST 12 UNITS
TOTAL	121

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RESIDENT	- 0.5 PER UNIT
VISITOR	- 0.1 PER UNIT AFTER FIRST 12 UNITS
TOTAL	121

SURFACE PARKING SPACES

LEVEL P1 PARKING SPACES	115
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BICYCLE PARKING

REQUIRED	PROVIDED
RESIDENT	- 0.5 PER UNIT (203 UNITS)
VISITOR	- 0.1 PER UNIT AFTER FIRST 12 UNITS
TOTAL	143

AMENITY AREA

AT GRADE EXTERIOR - PRIVATE	960.1 sq. m.
AT GRADE EXTERIOR - COMMUNAL	481.1 sq. m.
INTERIOR AMENITY - COMMUNAL	287.6 sq. m.
EXTERIOR AMENITY - COMMUNAL	532.1 sq. m.
BALCONIES - PRIVATE	1,528.1 sq. m.
TOTAL	2,828.8 sq. m.

SITE PLAN SYMBOLS

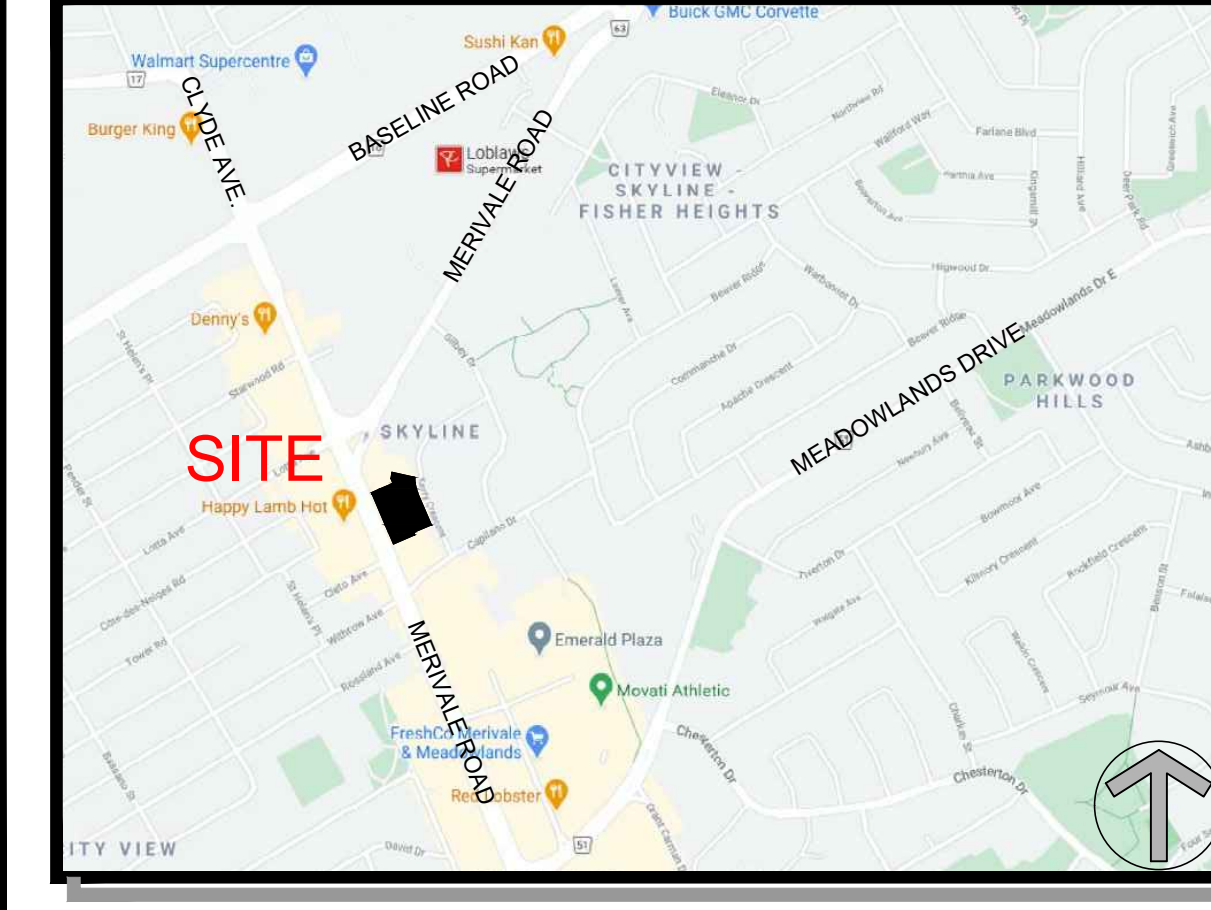
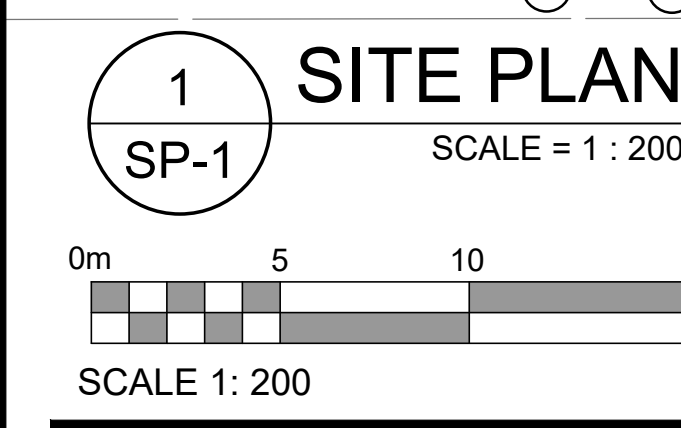
- ASPHALT DRIVING AISLE
- CONCRETE DRIVING AISLE
- CONCRETE SIDEWALK / WALK
- CONCRETE PAVERS, SEE LANDSCAPE DRAWINGS
- CONCRETE PAVERS ON DRIVING SURFACE
- PROPERTY LINE
- BUILDING SETBACK LINE
- 1.2m & 1.5m HT. METAL PICKET FENCE
- 2.1m HT. SOLID WOOD FENCE
- BIKE RACK
- ENTRANCE / EXIT DOOR
- FIRE HYDRANT
- VEHICULAR DIRECTION
- EXISTING TREES
- SIAMESE CONNECTION
- SITE LIGHTING

SITE COVERAGE

BUILDING FOOTPRINT	34.2%	1,804.3 sq. m.
DRIVING SURFACE	18.6%	980.3 sq. m.
LANDSCAPE AREA	47.3%	2,498.4 sq. m.
PHASE 1 TOTAL	100.0%	5,283 sq. m.

SOLID WASTE COLLECTION

REQUIRED	PROVIDED
GARBAGE @ 0.110 cu yd per unit	22.33 yd
GMP CONTAINERS @ 0.018 cu yd per unit	3.65 yd
FIBRE CONTAINERS @ 0.018 cu yd per unit	7.71 yd
ORGANICS CONTAINERS @ one 240L per 50 unit	4.06



TRANSPORTATION ENGINEER CGH Transportation Inc. 628 Haines Road Newmarket, ON L3Y 6V5 Tel: (905) 251-4070 Email: Christopher.Gordon@CGHtransportation.com	CIVIL ENGINEER LRL Engineering 5430 Canotek Rd. Ottawa, ON K1J 9G2 Tel: (613) 842-3434 E-Mail: asalem@lrl.ca	PROJECT DEVELOPER Katasa 69 Rue Jean-Proulx #301, Gatineau, QC J8Z 1W2 T 819. 771.2787 E-Mail: tanya@katasa.ca
SURVEYOR Annis O'Sullivan Vollebek Ltd. Ontario Land Surveyors 14 Concourse Gate, Suite 500, Nepean, Ontario K2E 7S6 Tel: (613) 727-0850 Fax: (613) 727-1079 E-Mail: andrewb@aovltd.com	LANDSCAPE ARCHITECT Gino J. Aiello Landscape Architect 110 Didsbury Road Unit 9, Ottawa, Ontario K2E 0C2 Tel: (613) 852-1343 Cell: (613) Email: gino@gjala.com	LEGAL DESCRIPTION PART OF LOTS 34, 35 AND 36 AND PART OF BLOCK A REGISTERED PLAN 313132 CITY OF OTTAWA
GEOTECHNICAL ENGINEER Paterson Group 396 Cooper Street Ottawa, Ontario K2E 7J5 Tel: (613) 226-7381 Email: DGilbert@Patersongroup.ca	URBAN PLANNER Fotenn Consulting 396 Cooper Street Suite 300 Ottawa, ON K2P 2H7 T 613.730.5709 E-Mail: sutherland@fotenn.com	

IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND TO REPORT ALL ERRORS AND/OR OMISSIONS TO THE ARCHITECT.

ALL CONTRACTORS MUST COMPLY WITH ALL PERTINENT CODES AND BY-LAWS. THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION UNTIL SIGNED BY THE ARCHITECT. DO NOT SCALE DRAWINGS. COPYRIGHT RESERVED.

NOTATION SYMBOLS:

- INDICATES DRAWING NOTES, LISTED ON EACH SHEET.
- INDICATES ASSEMBLY TYPE; REFER TO TYPICAL ASSEMBLIES SCHEDULED.
- INDICATES WINDOW TYPE; REFER TO WINDOW ELEVATIONS AND DETAILS ON A300 SERIES.
- INDICATES DOOR TYPE; REFER TO DOOR SCHEDULE AND DETAILS ON A300 SERIES.
- TITLE
- DETAIL REFERENCE PAGE
- DETAIL CROSS REFERENCE PAGE

GENERAL NOTES:

- REFER TO TYPICAL ASSEMBLIES SHEET FOR WALL, PARTITION, ROOF CEILING & FLOOR TYPES
- FOR DOOR TYPES AND HARDWARE REQUIREMENTS REFER TO DOOR SCHEDULE ON A300 SERIES.
- ALL INTERIOR DIMENSIONS ARE TAKEN FROM THE FACE OF DRYWALL.
- ALL EXTERIOR DIMENSIONS ARE TAKEN FROM THE FACE OF CLADDING.
- ALL EXTERIOR WALLS ARE TO BE TYPE 'W1' UNLESS NOTED OTHERWISE.
- ALL INTERIOR PARTITIONS ARE TO BE TYPE 'P1' UNLESS NOTED OTHERWISE.

REVISIONS:	DESCRIPTION	DATE (DDMMYY)
1	ISSUED FOR SITE PLAN CONTROL	20 12 2021
2	ISSUED FOR CONSULTANT COORDINATION	19 11 2021
3	REVISED BUILDING DESIGN	31/08/2020
4	REVISED BUILDING DESIGN	17/06/2020
5	ISSUED FOR REZONING APPLICATION-R1	31/01/2020
6	ISSUED FOR REZONING APPLICATION	15/10/2019
7	ISSUED FOR COMMUNITY MEETING	23/10/2019

ARCHITECT SEAL: **ONTARIO ASSOCIATION OF ARCHITECTS**
 ARCHITECT: **rla/architecture**
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PROJECT TITLE: **1509 MERIVALE ROAD**

OTTAWA ONTARIO

SHEET TITLE: **SITE PLAN**

DRAWN: **RV** CHECKED: **R.V.**

SCALE: **1:200** SHEET No. **SP-1**

PROJECT No. **2034**