

PROPOSED 9-STOREY MULTI-USE BUILDING 1509 MERIVALE ROAD, OTTAWA, ON.

REVISION 01



KEY PLAN (N.T.S.)

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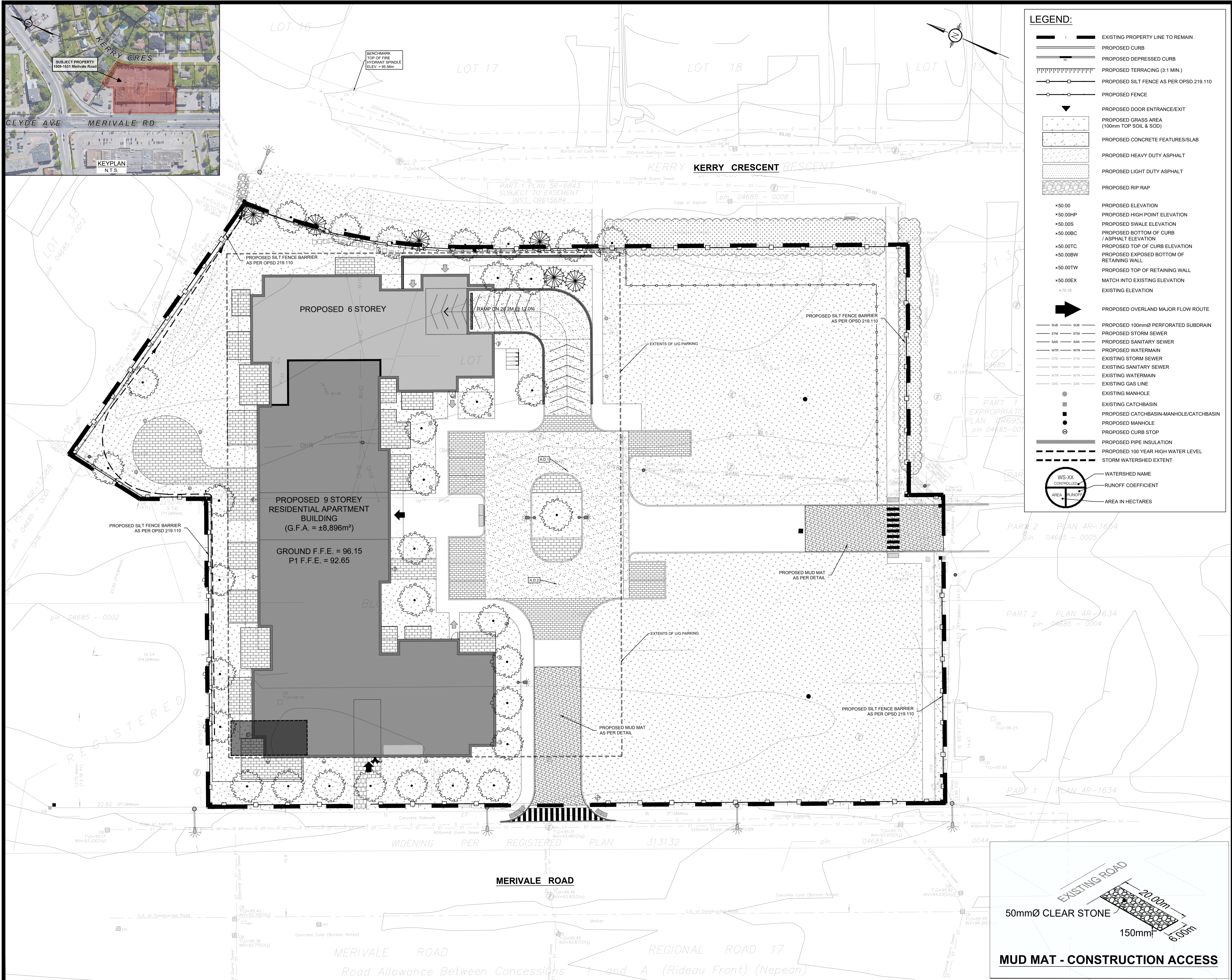


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5430 Canotek Road | Ottawa, ON, K1J 9G2
www.lrl.ca | (613) 842-3434

PROPOSED 9-STOREY MULTI-USE BUILDING
1509 MERIVALE ROAD, OTTAWA, ON.
REV.01 - ISSUED FOR MUNICIPAL APPROVAL - DEC. 21, 2021
LRL PROJECT no: 200255



LEGEND:

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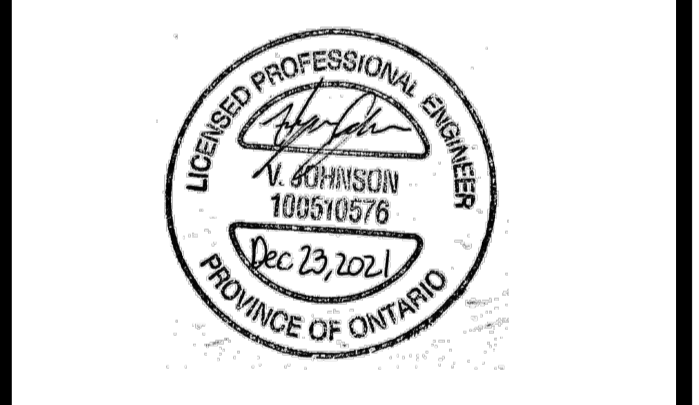
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SCALE: 1:250

SUBJECT TO APPROVAL

No.	ISSUED FOR MUNICIPAL APPROVAL	A.S.	23 DEC 2021
	REVISIONS	BY	DATE



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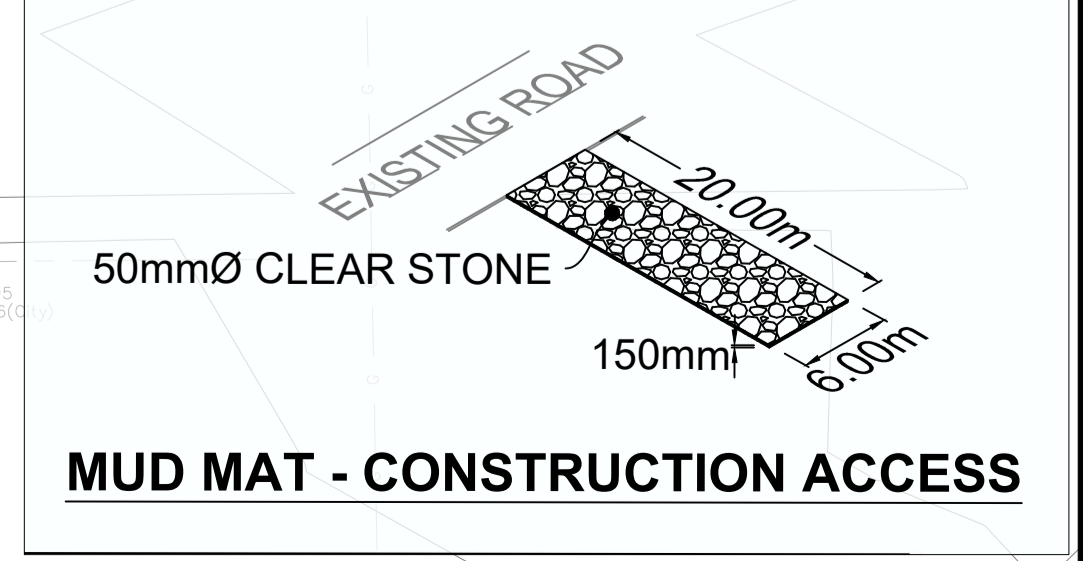
CLIENT: **KATASA GROUP**

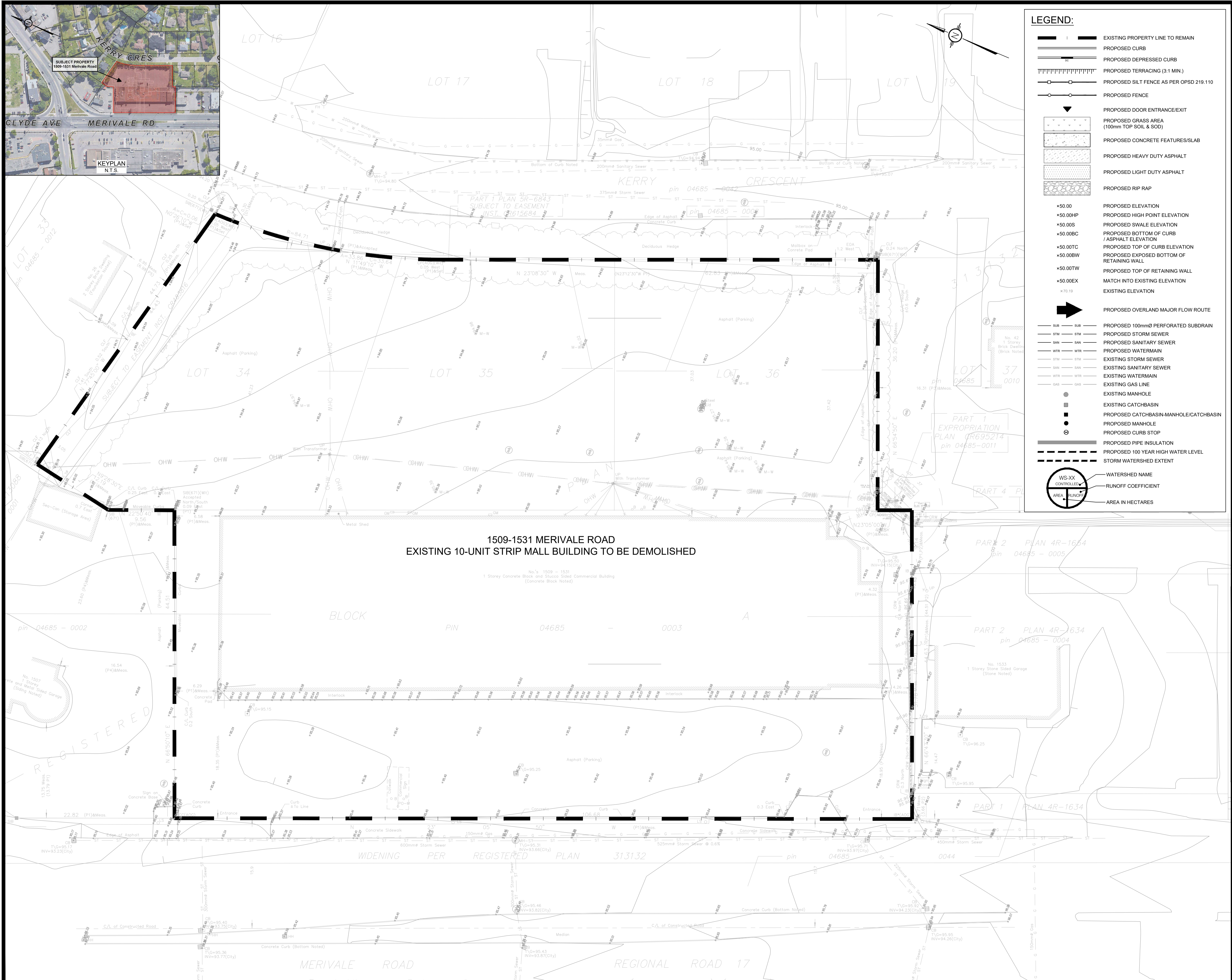
DESIGNED BY: A.S. DRAWN BY: A.S. APPROVED BY: V.J.

PROJECT: **PROPOSED 9-STORY MULTI USE BUILDING 1509 MERIVALE ROAD, OTTAWA, ON.**

DRAWING TITLE: **EROSION AND SEDIMENT CONTROL PLAN**

PROJECT NO: 200255
DATE: JUNE, 2021





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SCALE: 1:250

SUBJECT TO APPROVAL

**1509-1531 MERIVALE ROAD
EXISTING 10-UNIT STRIP MALL BUILDING TO BE DEMOLISHED**

No.	REVISIONS	BY	DATE
01	ISSUED FOR MUNICIPAL APPROVAL	A.S.	23 DEC 2021

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CLIENT: **KATASA GROUP**

DESIGNED BY: A.S. DRAWN BY: A.S. APPROVED BY: V.J.

PROJECT: **PROPOSED 9-STORY MULTI USE BUILDING
1509 MERIVALE ROAD, OTTAWA, ON.**

DRAWING TITLE: **DEMOLITION PLAN**

PROJECT NO: **200255**

DATE: **JUNE, 2021**

C102



PAVEMENT STRUCTURE

COURSE	MATERIAL	THICKNESS (mm)	
		ACCESS LANE / TRUCK ROUTE	
SURFACE	HL 3 A/C (PG 58-28)	40	
BINDER	HL 8 A/C (PG 58-28)	50	
BASECOURSE	OPSS GRANULAR "A"	150	
SUBBASE	OPSS GRANULAR "B" TYPE II	450	

NOTE:
 IN PREPARATION FOR PAVEMENT CONSTRUCTION AT THIS SITE, ANY SURFICIAL OR NEAR SURFACE/SUBGRADE LEVEL TOPSOIL AND ANY SOFT, WET OR DELETERIOUS MATERIALS SHOULD BE REMOVED FROM THE PROPOSED PAVED AREAS. THE EXPOSED SUBGRADE SHOULD BE INSPECTED AND APPROVED BY GEOTECHNICAL PERSONNEL AND ANY SOFT AREAS EVIDENT SHOULD BE SUBEXCAVATED AND REPLACED WITH SUITABLE EARTH BORROW APPROVED BY THE GEOTECHNICAL ENGINEER. THE SUBGRADE SHOULD BE SHAPED AND CROWNED TO PROMOTE DRAINAGE OF THE SITE DRAINAGE STRUCTURES. FOLLOWING APPROVAL OF THE PREPARATION OF THE SUBGRADE, THE PAVEMENT GRANULARS MAY BE PLACED.
 REFER TO GEOTECHNICAL INVESTIGATION REPORT (PG5812-1) BY PATERSON GROUP INC., DATED MAY 7, 2021 FOR FURTHER INFORMATION.

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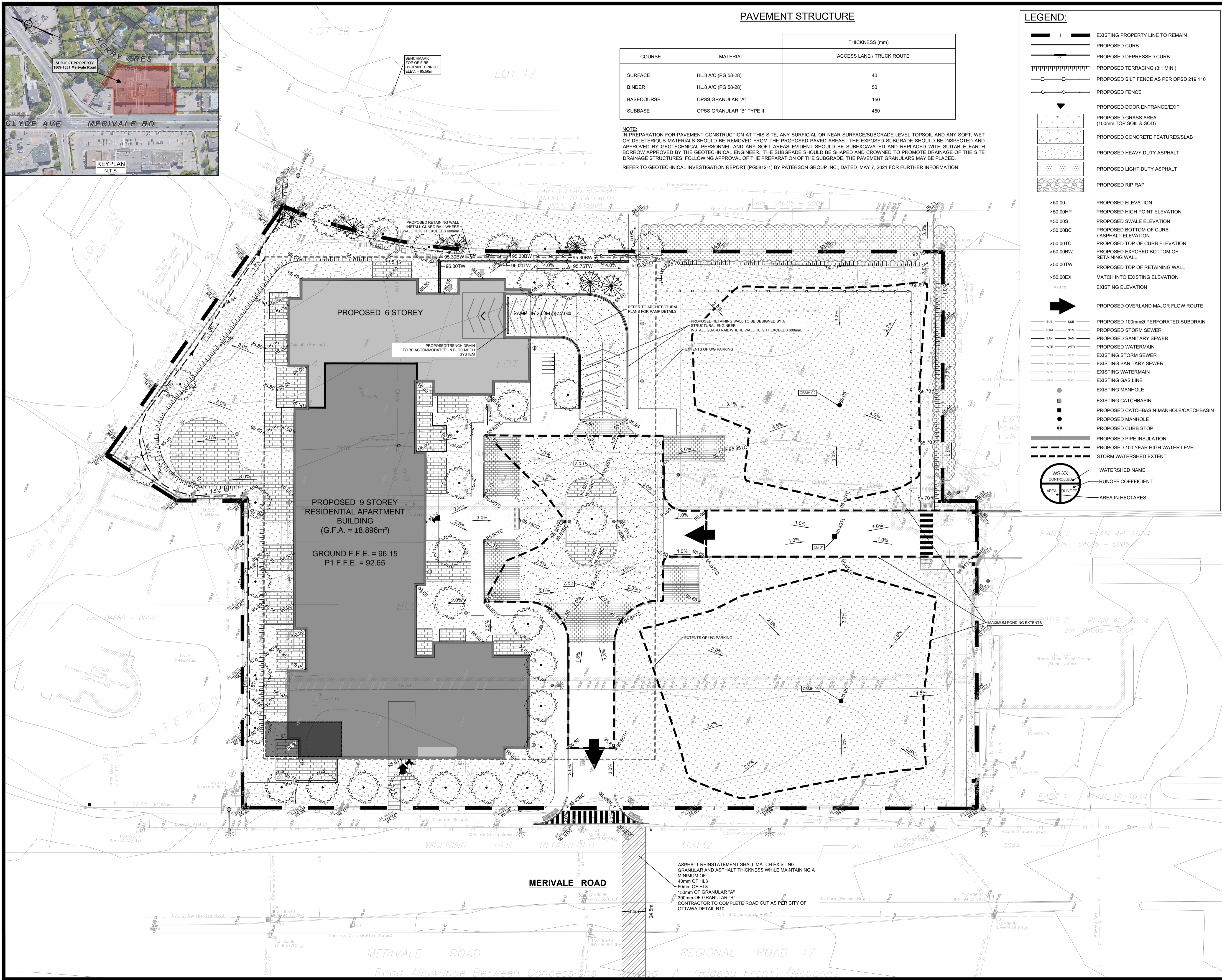
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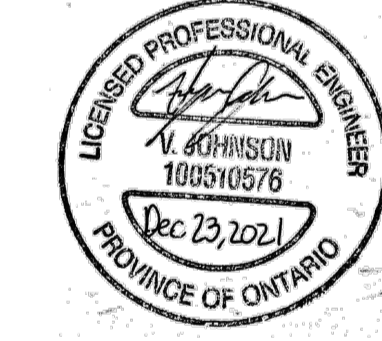
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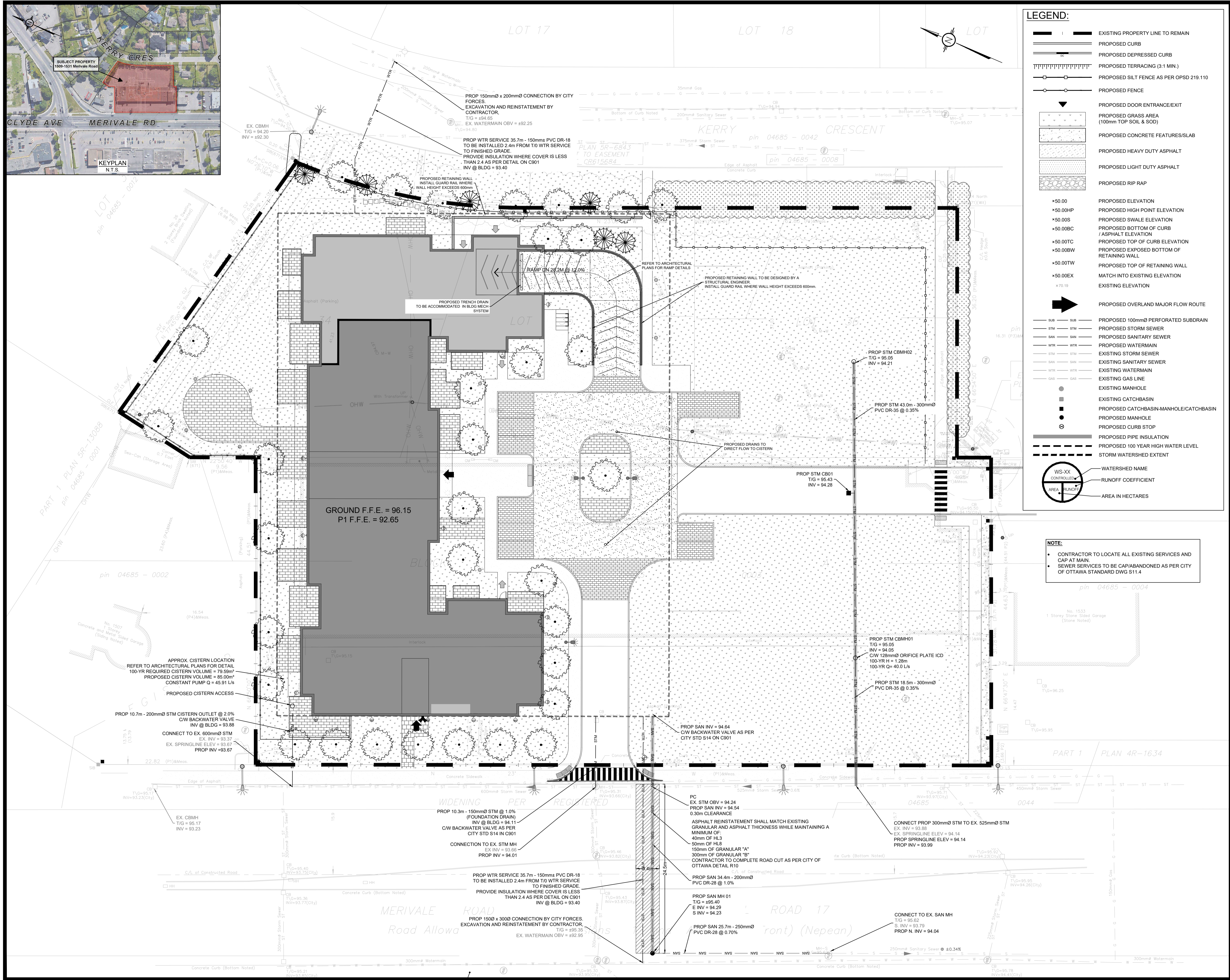
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DESIGNED BY: A.S. DRAWN BY: A.S. APPROVED BY: V.J.

PROJECT: **PROPOSED 9-STORY MULTI USE BUILDING
 1509 MERIVALE ROAD, OTTAWA, ON.**

DRAWING TITLE: **GRADING AND DRAINAGE PLAN**

PROJECT NO.: 200255
 DATE: JUNE, 2021
C301



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CONTRACTOR TO VERIFY ALL DIMENSIONS AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES BEFORE WORK COMMENCES. DO NOT SCALE DRAWINGS.

Scale: 1:250

ISSUED FOR MUNICIPAL APPROVAL

01	ISSUED FOR MUNICIPAL APPROVAL	A.S.	23 DEC 2021
No.	REVISIONS	BY	DATE

REGISTERED PROFESSIONAL ENGINEER

John Johnson
No. 1533
1 Storey Stone Slab Garage (Stone Noted)
Dec 23, 2021
PROVINCE OF ONTARIO

NOT AUTHENTIC UNLESS SIGNED AND DATED

LRJ
ENGINEERING | INGÉNIERIE
5430 Canotek Road | Ottawa, ON, K1J 9G2
www.lri.ca | (613) 842-3434

CLIENT: **KATASA GROUP**

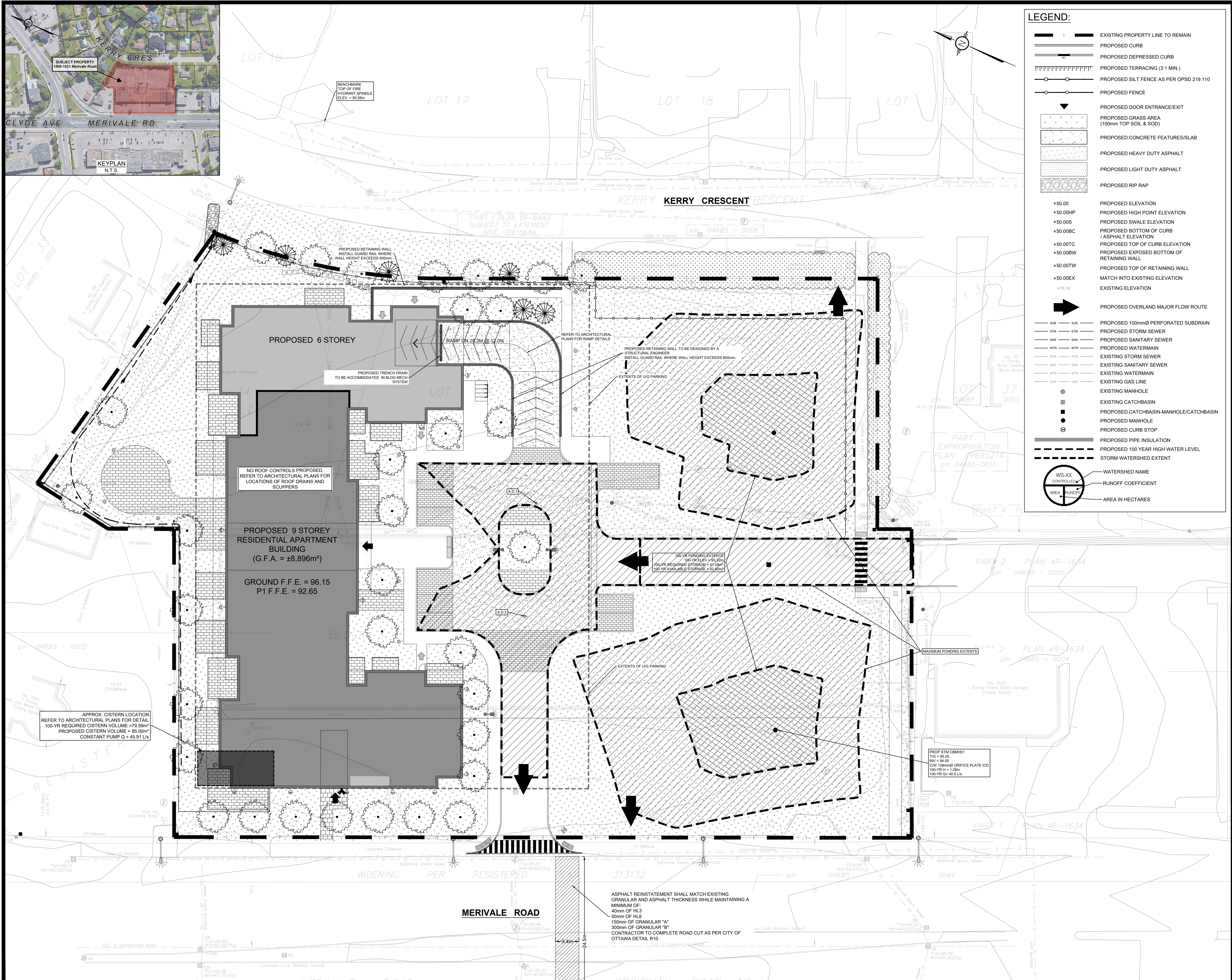
DESIGNED BY: A.S. DRAWN BY: A.S. APPROVED BY: V.J.

PROJECT: **PROPOSED 9-STORY MULTI USE BUILDING 1509 MERIVALE ROAD, OTTAWA, ON.**

DRAWING TITLE: **SERVICING PLAN**

PROJECT NO: 200255 DATE: JUNE, 2021

C401



LEGEND:

	EXISTING PROPERTY LINE TO REMAIN
	PROPOSED CURB
	PROPOSED DEPRESSED CURB
	PROPOSED TERRACING (3:1 MIN.)
	PROPOSED SILT FENCE AS PER OPSD 219.110
	PROPOSED FENCE
	PROPOSED DOOR ENTRANCE/EXIST
	PROPOSED GRASS AREA (100mm TOP SOIL & SOD)
	PROPOSED CONCRETE FEATURES/SLAB
	PROPOSED HEAVY DUTY ASPHALT
	PROPOSED LIGHT DUTY ASPHALT
	PROPOSED RIP RAP
	*50.00 PROPOSED ELEVATION
	*50.00HP PROPOSED HIGH POINT ELEVATION
	*50.00S PROPOSED SWALE ELEVATION
	*50.00BC PROPOSED BOTTOM OF CURB / ASPHALT ELEVATION
	*50.00TC PROPOSED TOP OF CURB ELEVATION
	*50.00BW PROPOSED EXPOSED BOTTOM OF RETAINING WALL
	*50.00TW PROPOSED TOP OF RETAINING WALL
	*50.00EX MATCH INTO EXISTING ELEVATION
	>70.15 EXISTING ELEVATION
	PROPOSED OVERLAND MAJOR FLOW ROUTE
	PROPOSED 100mm PERFORATED SUBDRAIN
	PROPOSED STORM SEWER
	PROPOSED SANITARY SEWER
	PROPOSED WATERMAIN
	EXISTING STORM SEWER
	EXISTING SANITARY SEWER
	EXISTING WATERMAIN
	EXISTING GAS LINE
	EXISTING MANHOLE
	EXISTING CATCHBASIN
	PROPOSED CATCHBASIN-MANHOLE/CATCHBASIN
	PROPOSED MANHOLE
	PROPOSED CURB STOP
	PROPOSED PIPE INSULATION
	PROPOSED 100 YEAR HIGH WATER LEVEL
	STORM WATERSHED EXTENT
	WS-XX WATERSHED NAME
	AREA RUNOFF COEFFICIENT
	AREA IN HECTARES

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UNAUTHORIZED CHANGES:

IN THE EVENT THE CLIENT, THE CLIENT'S CONTRACTORS OR SUBCONTRACTORS, OR ANYONE FOR WHOM THE CLIENT IS LEGALLY LIABLE MAKES OR PERMITS TO BE MADE ANY CHANGES TO ANY REPORTS, PLANS, SPECIFICATIONS OR OTHER CONSTRUCTION DOCUMENTS PREPARED BY LRI ASSOCIATES LTD. (LRI) WITHOUT OBTAINING LRI'S PRIOR WRITTEN CONSENT, THE CLIENT SHALL ASSUME FULL RESPONSIBILITY FOR THE RESULTS OF SUCH CHANGES. THEREFORE THE CLIENT AGREES TO WAIVE ANY CLAIM AGAINST LRI AND TO RELEASE LRI FROM ANY LIABILITY ARISING DIRECTLY OR INDIRECTLY FROM SUCH UNAUTHORIZED CHANGES.

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SUBJECT TO APPROVAL

No.	ISSUED FOR MUNICIPAL APPROVAL	REVISIONS	BY	DATE
01			A.S.	23 DEC 2021

NOT AUTHENTIC UNLESS SIGNED AND DATED

LRJ
ENGINEERING | INGÉNIÉRIE
5430 Canotek Road | Ottawa, ON, K1J 9G2
www.lri.ca | (613) 842-3434

CLIENT: **KATASA GROUP**

DESIGNED BY: A.S. DRAWN BY: A.S. APPROVED BY: V.J.

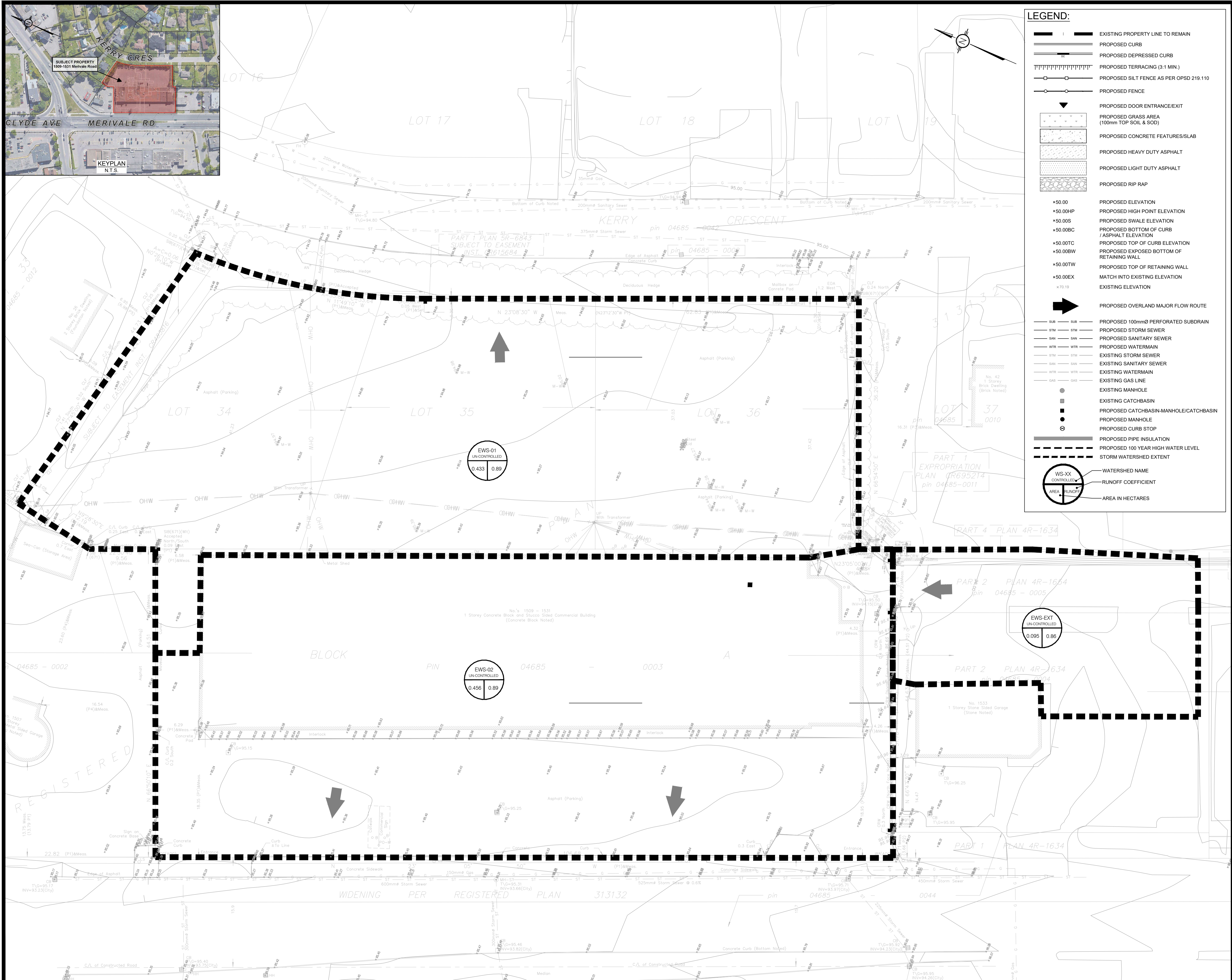
PROJECT: **PROPOSED 9-STOREY MULTI USE BUILDING 1509 MERIVALE ROAD, OTTAWA, ON.**

DRAWING TITLE: **STORMWATER MANAGEMENT PLAN**

PROJECT NO.: 200255

DATE: JUNE, 2021

C601



LEGEND:

- EXISTING PROPERTY LINE TO REMAIN
- PROPOSED CURB
- PROPOSED DEPRESSED CURB
- PROPOSED TERRACING (3:1 MIN.)
- PROPOSED SILT FENCE AS PER OPSD 219.110
- PROPOSED FENCE
- PROPOSED DOOR ENTRANCE/EXIT
- PROPOSED GRASS AREA (100mm TOP SOIL & SOD)
- PROPOSED CONCRETE FEATURES/SLAB
- PROPOSED HEAVY DUTY ASPHALT
- PROPOSED LIGHT DUTY ASPHALT
- PROPOSED RIP RAP
- PROPOSED ELEVATION
- PROPOSED HIGH POINT ELEVATION
- PROPOSED SWALE ELEVATION
- PROPOSED BOTTOM OF CURB / ASPHALT ELEVATION
- PROPOSED TOP OF CURB ELEVATION
- PROPOSED EXPOSED BOTTOM OF RETAINING WALL
- PROPOSED TOP OF RETAINING WALL
- MATCH INTO EXISTING ELEVATION
- EXISTING ELEVATION
- PROPOSED OVERLAND MAJOR FLOW ROUTE
- PROPOSED 100mmØ PERFORATED SUBDRAIN
- PROPOSED STORM SEWER
- PROPOSED SANITARY SEWER
- PROPOSED WATERMAIN
- EXISTING STORM SEWER
- EXISTING SANITARY SEWER
- EXISTING WATERMAIN
- EXISTING GAS LINE
- EXISTING MANHOLE
- EXISTING CATCHBASIN
- PROPOSED CATCHBASIN-MANHOLE/CATCHBASIN
- PROPOSED MANHOLE
- PROPOSED CURB STOP
- PROPOSED PIPE INSULATION
- PROPOSED 100 YEAR HIGH WATER LEVEL
- STORM WATERSHED EXTENT
- WATERSHED NAME
- RUNOFF COEFFICIENT
- AREA IN HECTARES

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Scale: 1:250

5m 0 5 10m

SUBJECT TO APPROVAL

No.	ISSUED FOR MUNICIPAL APPROVAL	A.S.	23 DEC 2021
REVISIONS	BY	DATE	
01			



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5430 Canotek Road | Ottawa, ON, K1J 9G2
www.lri.ca | (613) 842-3434

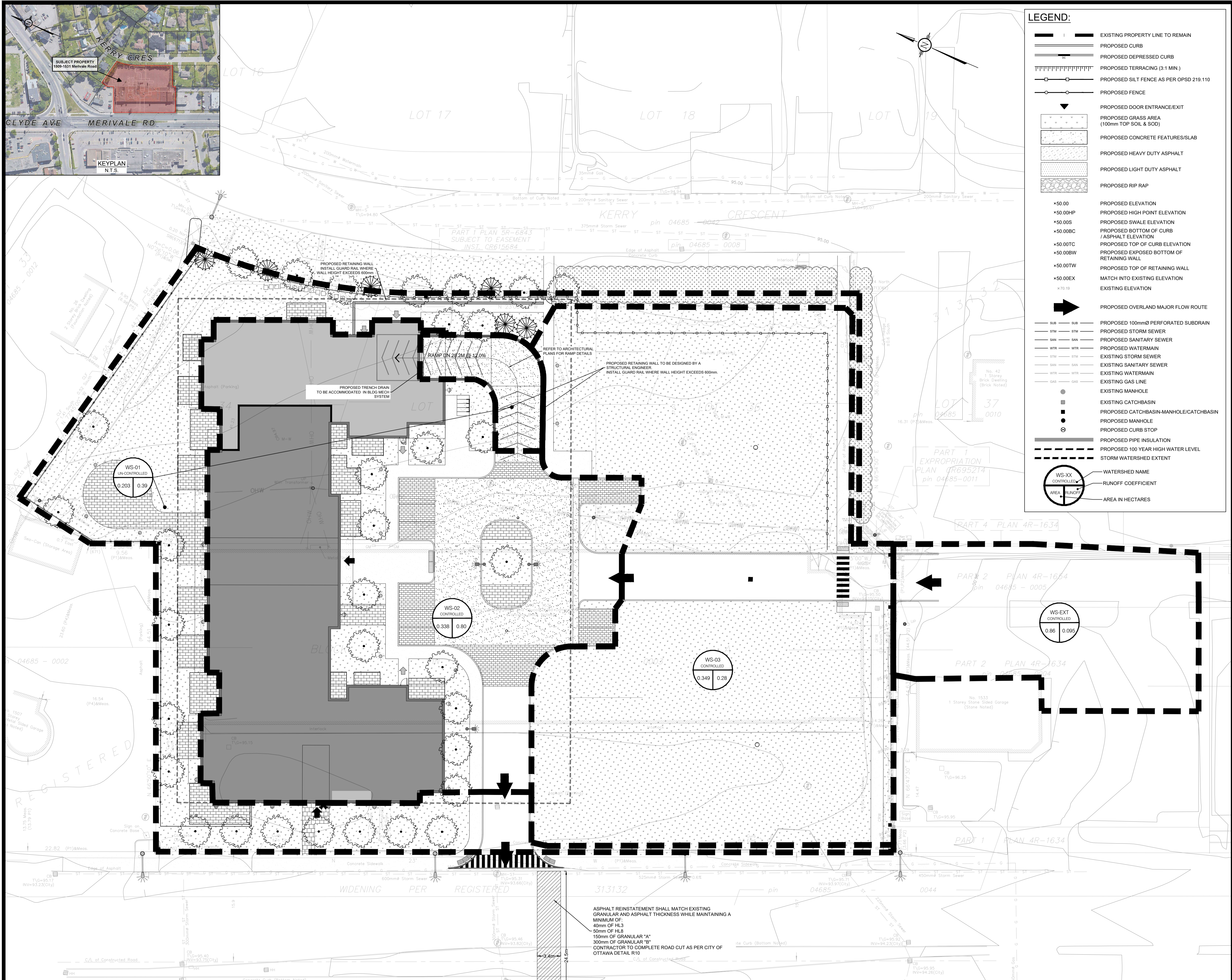
CLIENT: **KATASA GROUP**

DESIGNED BY: A.S. DRAWN BY: A.S. APPROVED BY: V.J.

PROJECT: **PROPOSED 9-STORY MULTI USE BUILDING 1509 MERIVALE ROAD, OTTAWA, ON.**

DRAWING TITLE: **PRE-DEVELOPMENT WATERSHED PLAN**

PROJECT NO: **200255**
DATE: **JUNE, 2021**
C701



LEGEND:

	EXISTING PROPERTY LINE TO REMAIN
	PROPOSED CURB
	PROPOSED DEPRESSED CURB
	PROPOSED TERRACING (3:1 MIN.)
	PROPOSED SILT FENCE AS PER OPSD 219.110
	PROPOSED FENCE
	PROPOSED DOOR ENTRANCE/EXIT
	PROPOSED GRASS AREA (100mm TOP SOIL & SOD)
	PROPOSED CONCRETE FEATURES/SLAB
	PROPOSED HEAVY DUTY ASPHALT
	PROPOSED LIGHT DUTY ASPHALT
	PROPOSED RIP RAP
	*50.00 PROPOSED ELEVATION
	*50.00HP PROPOSED HIGH POINT ELEVATION
	*50.00S PROPOSED SWALE ELEVATION
	*50.00BC PROPOSED BOTTOM OF CURB / ASPHALT ELEVATION
	*50.00TC PROPOSED TOP OF CURB ELEVATION
	*50.00BW PROPOSED EXPOSED BOTTOM OF RETAINING WALL
	*50.00TW PROPOSED TOP OF RETAINING WALL
	*50.00EX MATCH INTO EXISTING ELEVATION
	*70.10 EXISTING ELEVATION
	PROPOSED OVERLAND MAJOR FLOW ROUTE
	PROPOSED 100mm PERFORATED SUBDRAIN
	PROPOSED STORM SEWER
	PROPOSED SANITARY SEWER
	PROPOSED WATERMAIN
	EXISTING STORM SEWER
	EXISTING SANITARY SEWER
	EXISTING WATERMAIN
	EXISTING GAS LINE
	EXISTING MANHOLE
	EXISTING CATCHBASIN
	PROPOSED CATCHBASIN-MANHOLE/CATCHBASIN
	PROPOSED MANHOLE
	PROPOSED CURB STOP
	PROPOSED PIPE INSULATION
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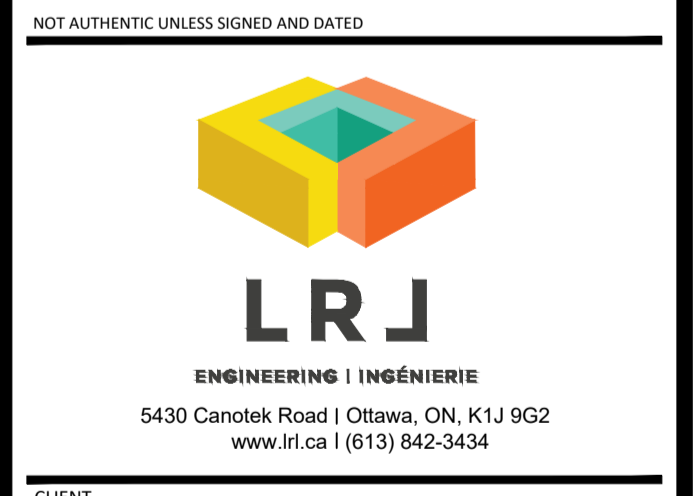
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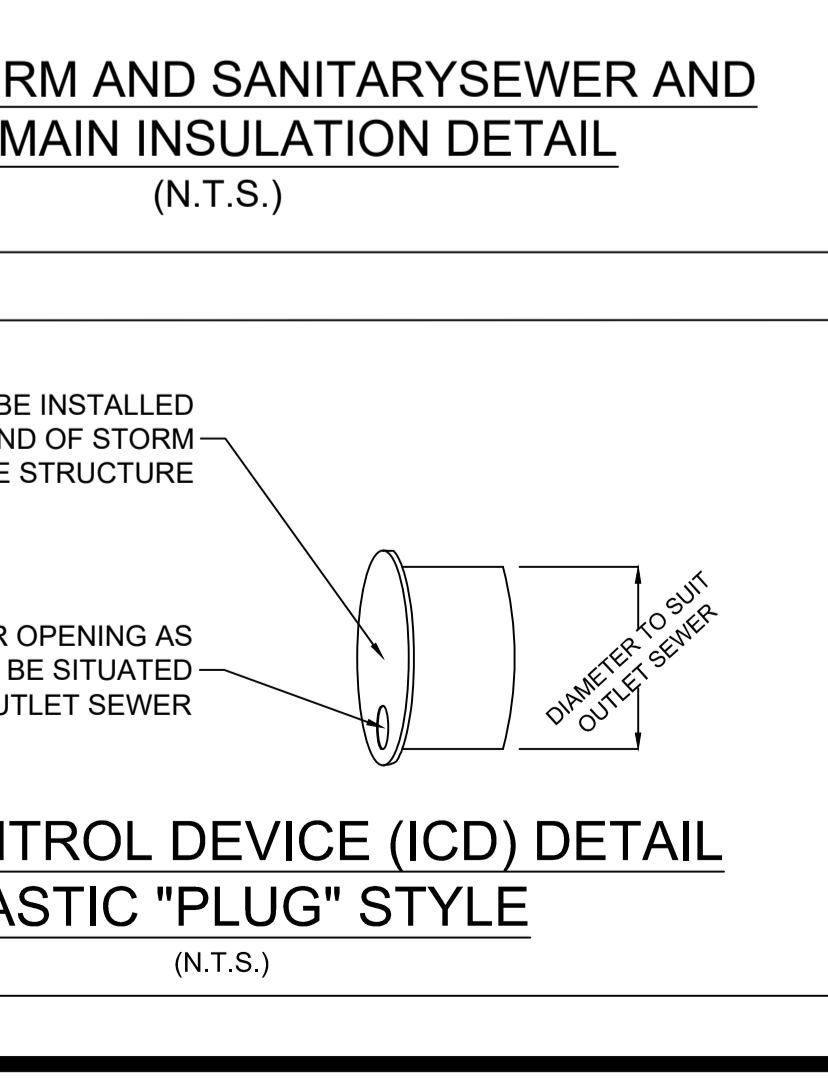
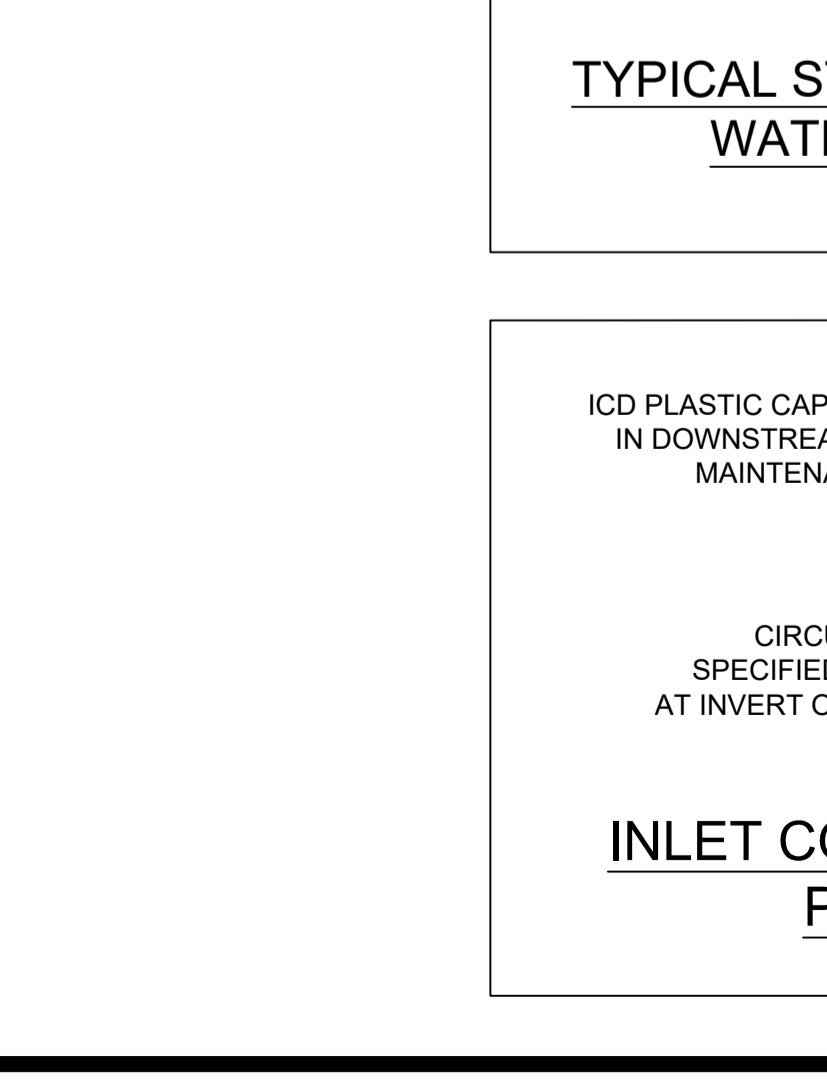
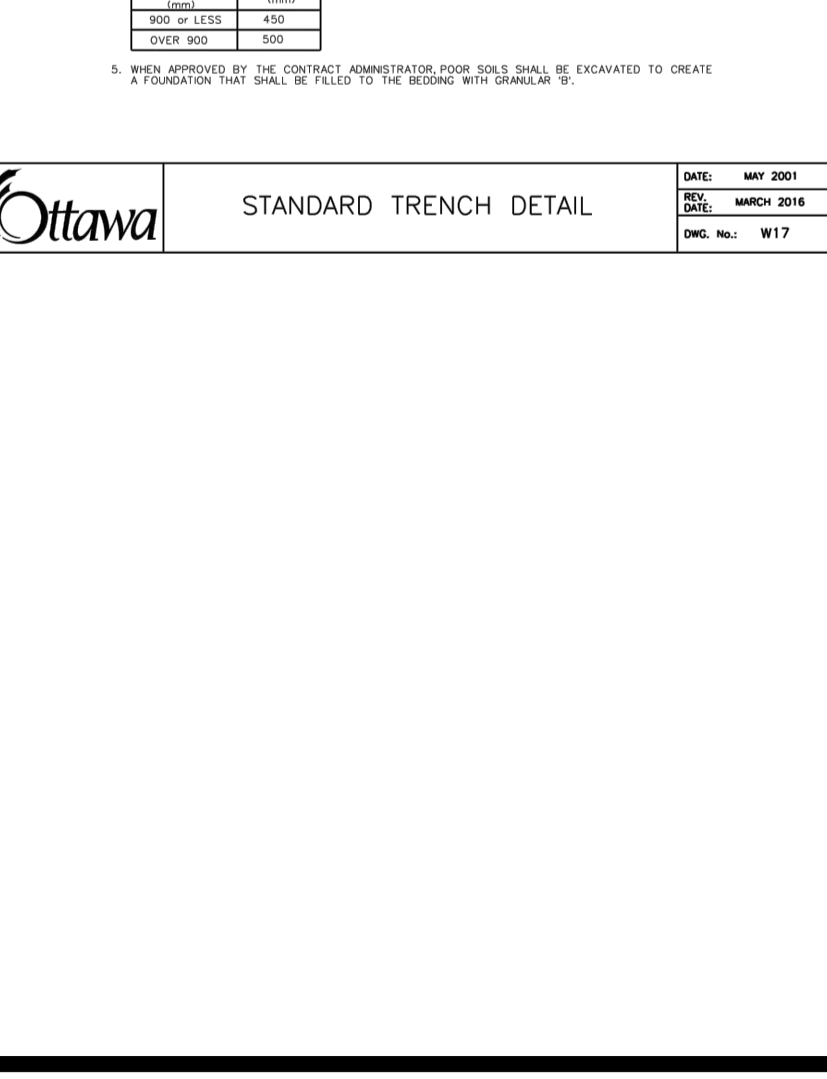
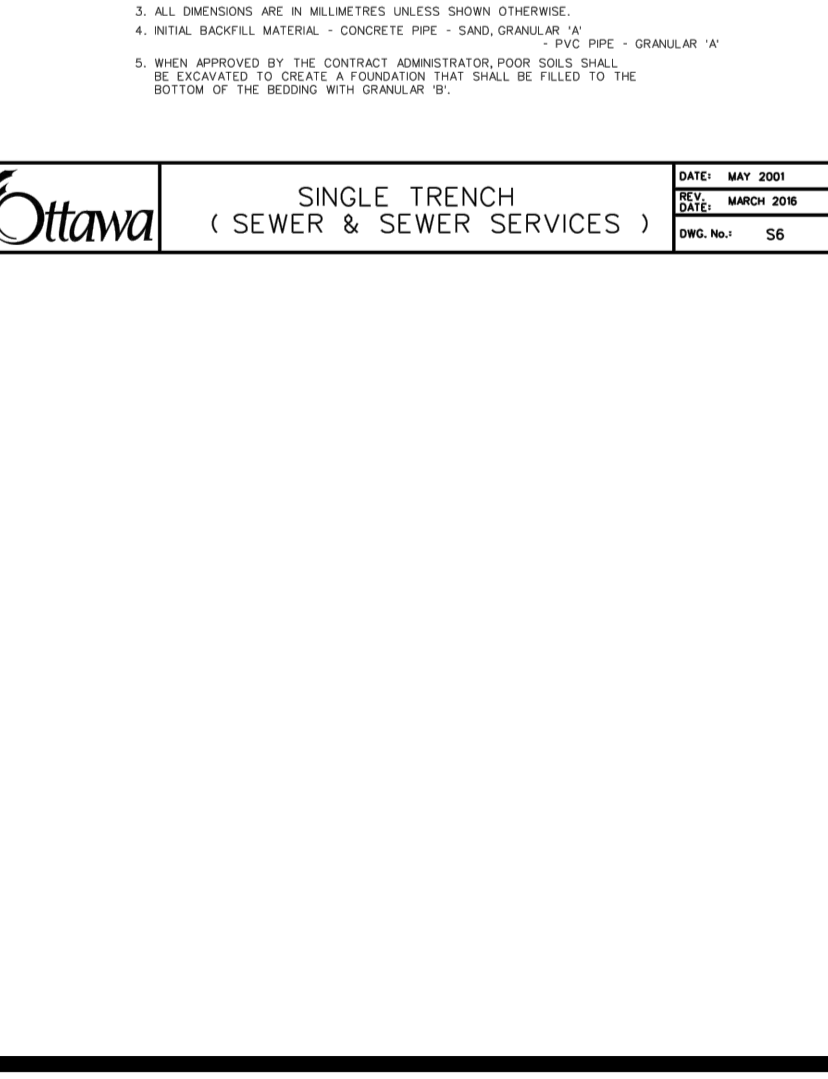
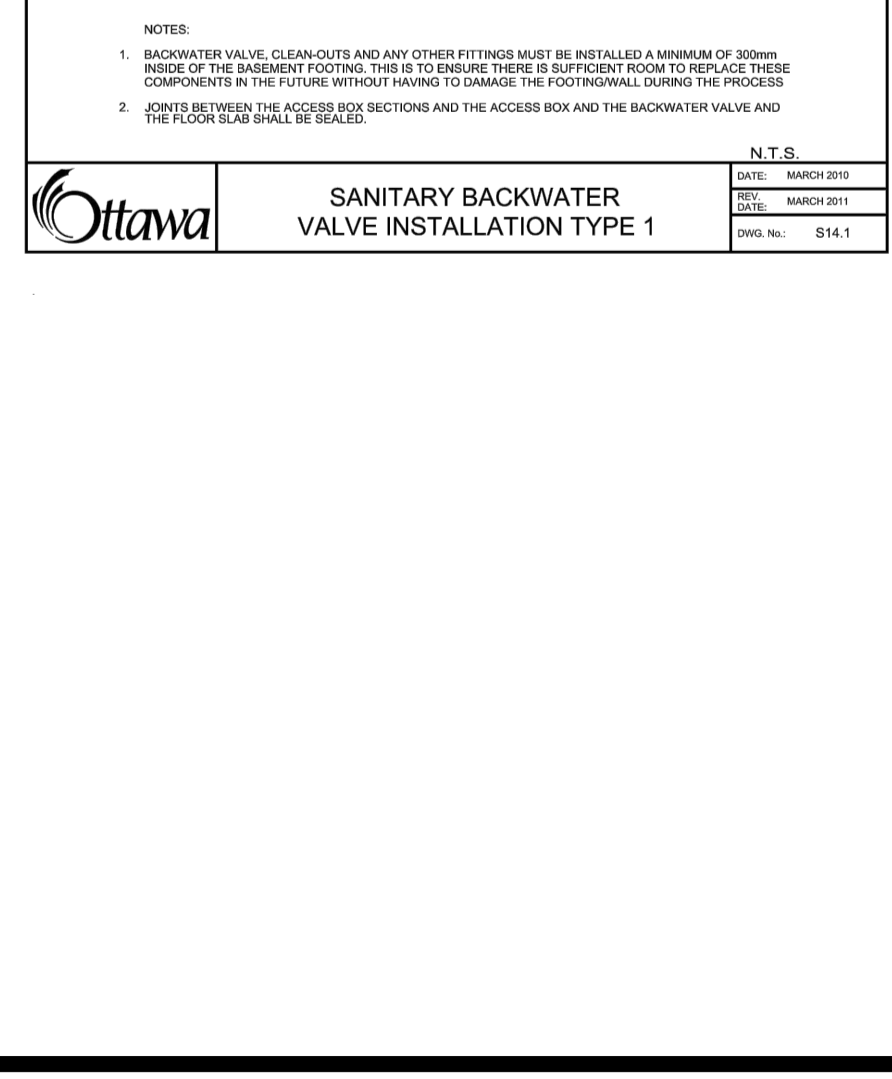
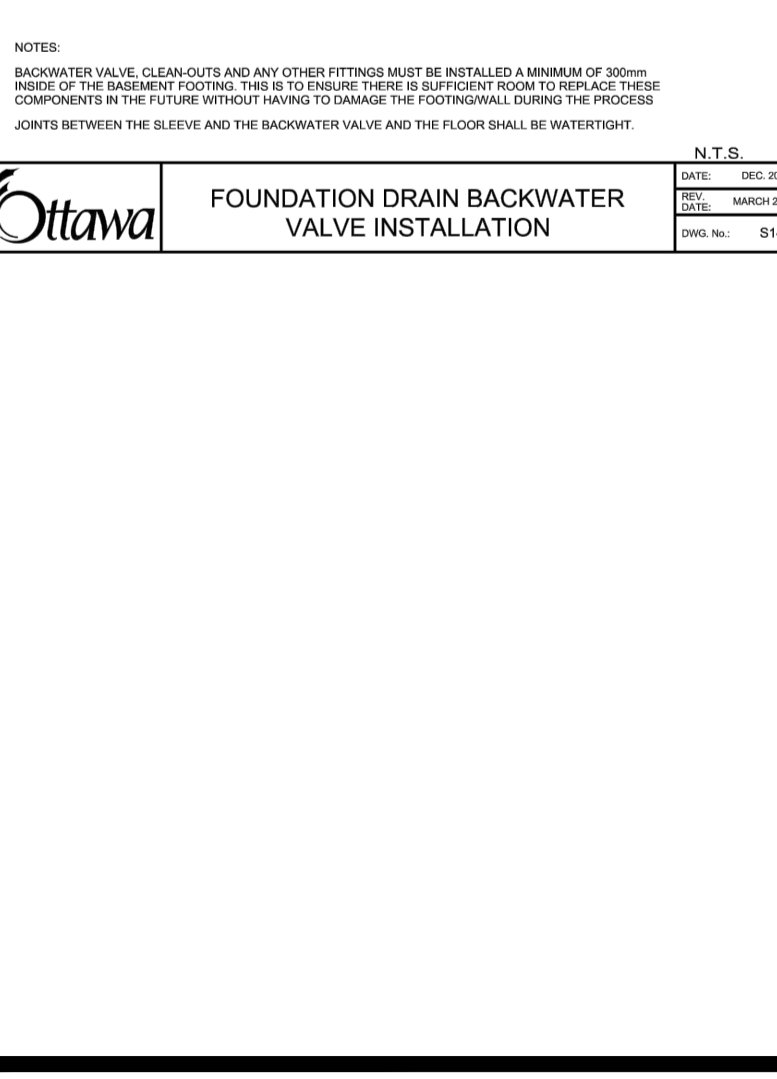
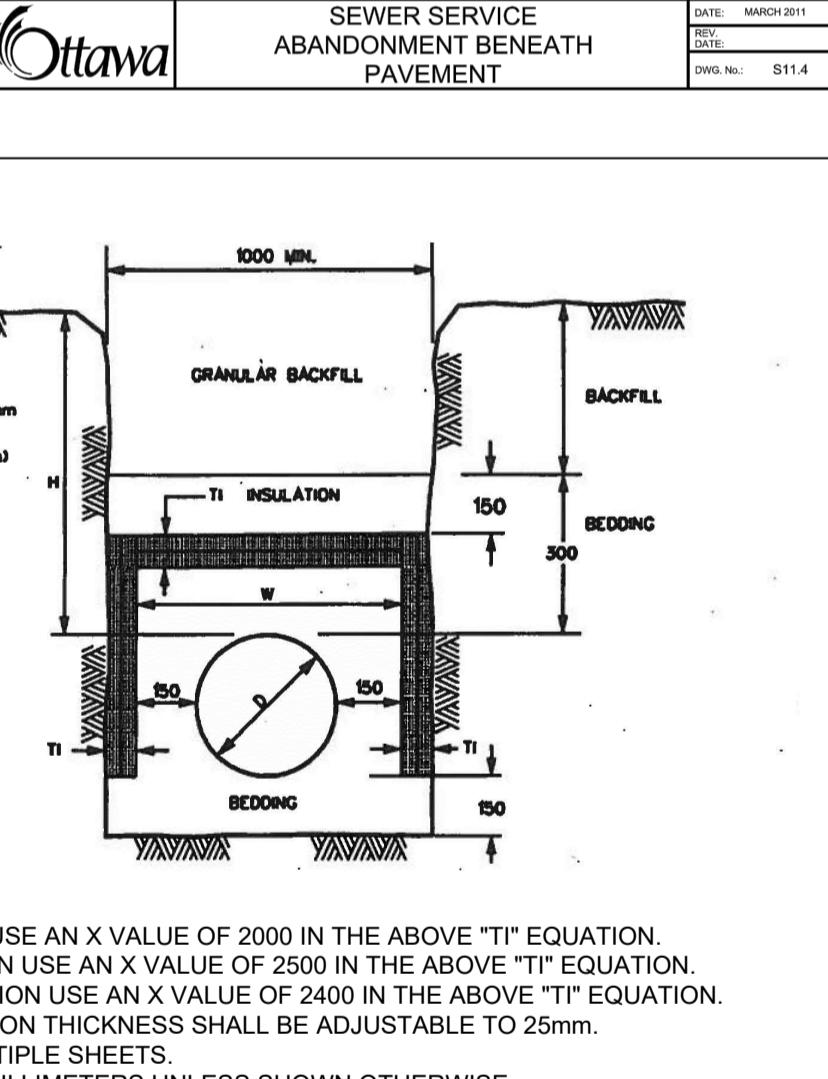
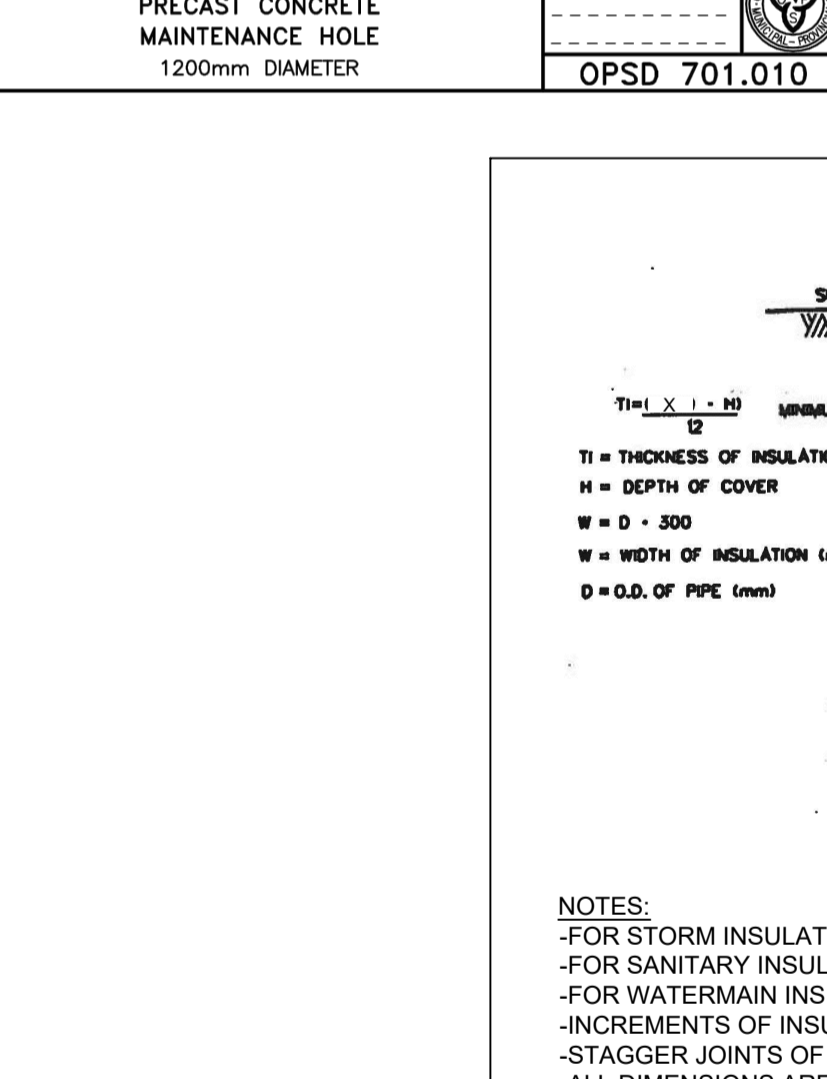
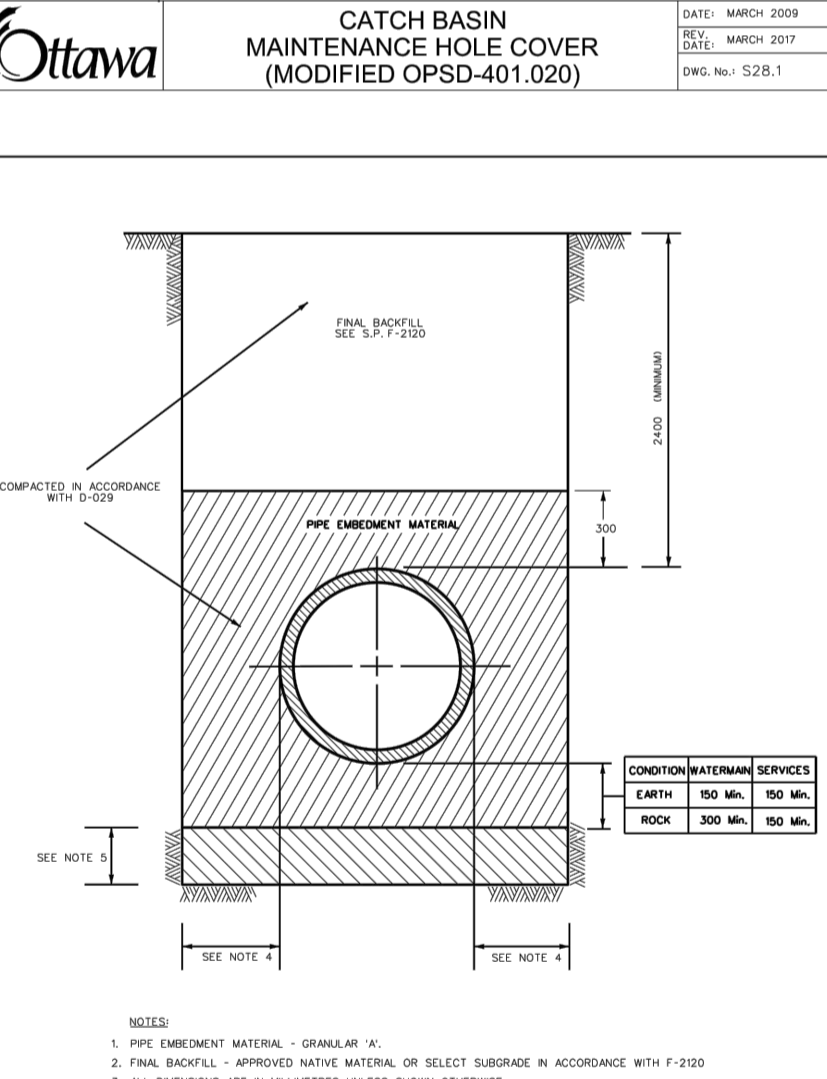
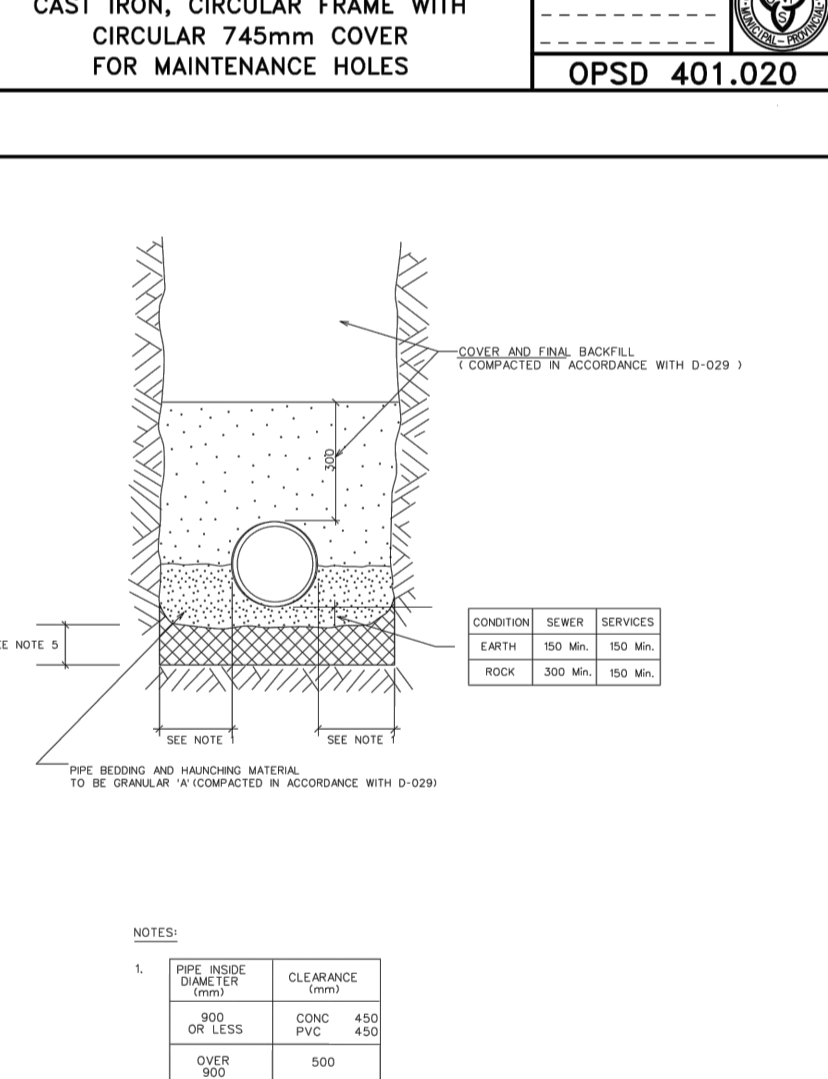
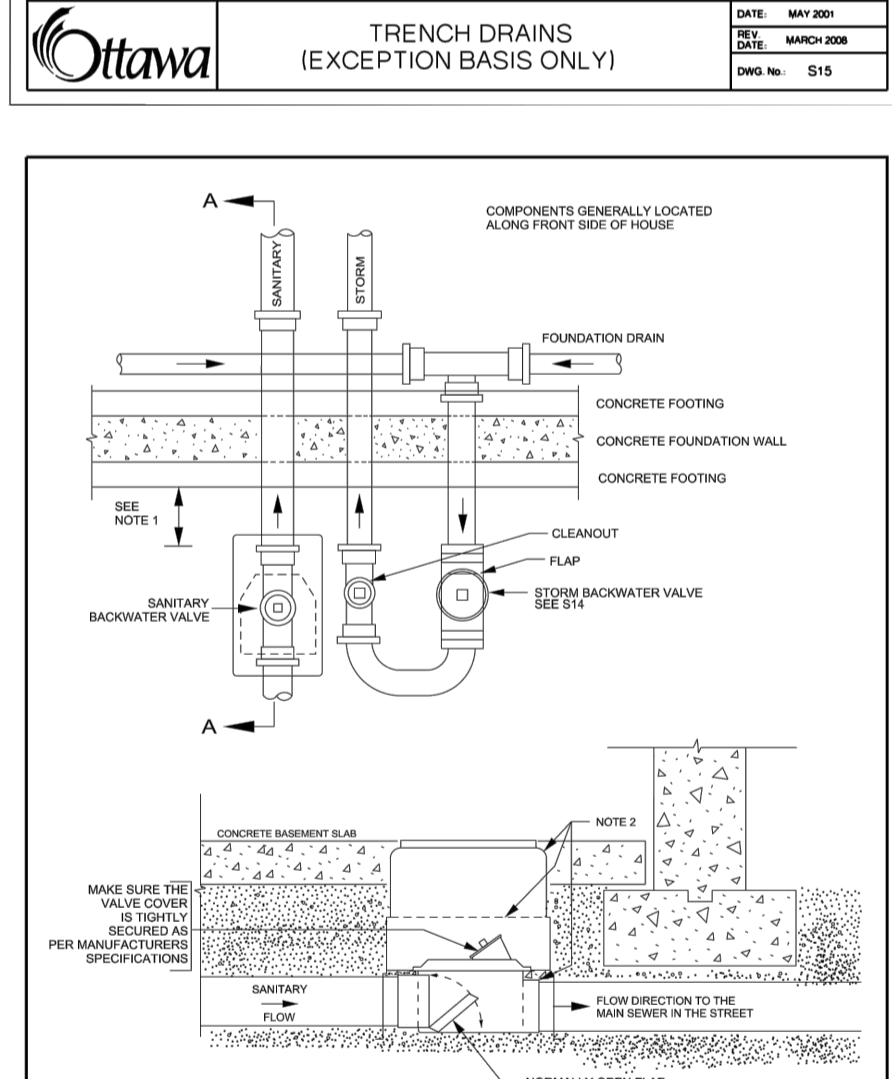
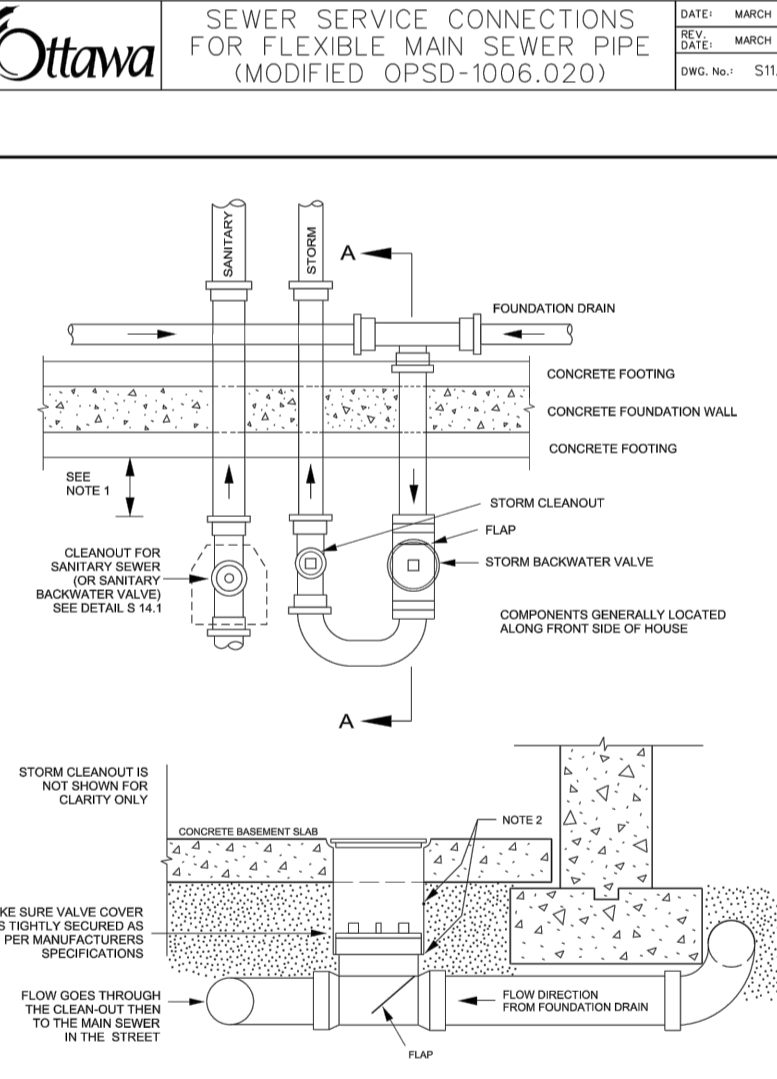
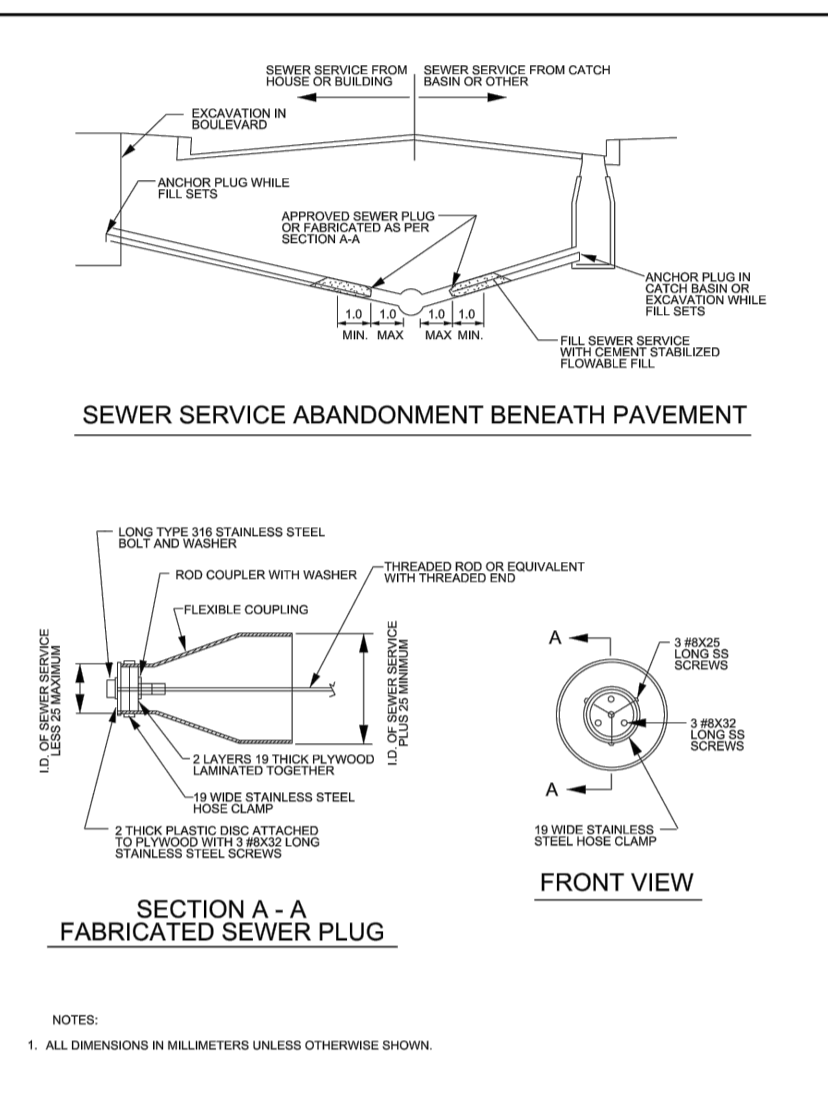
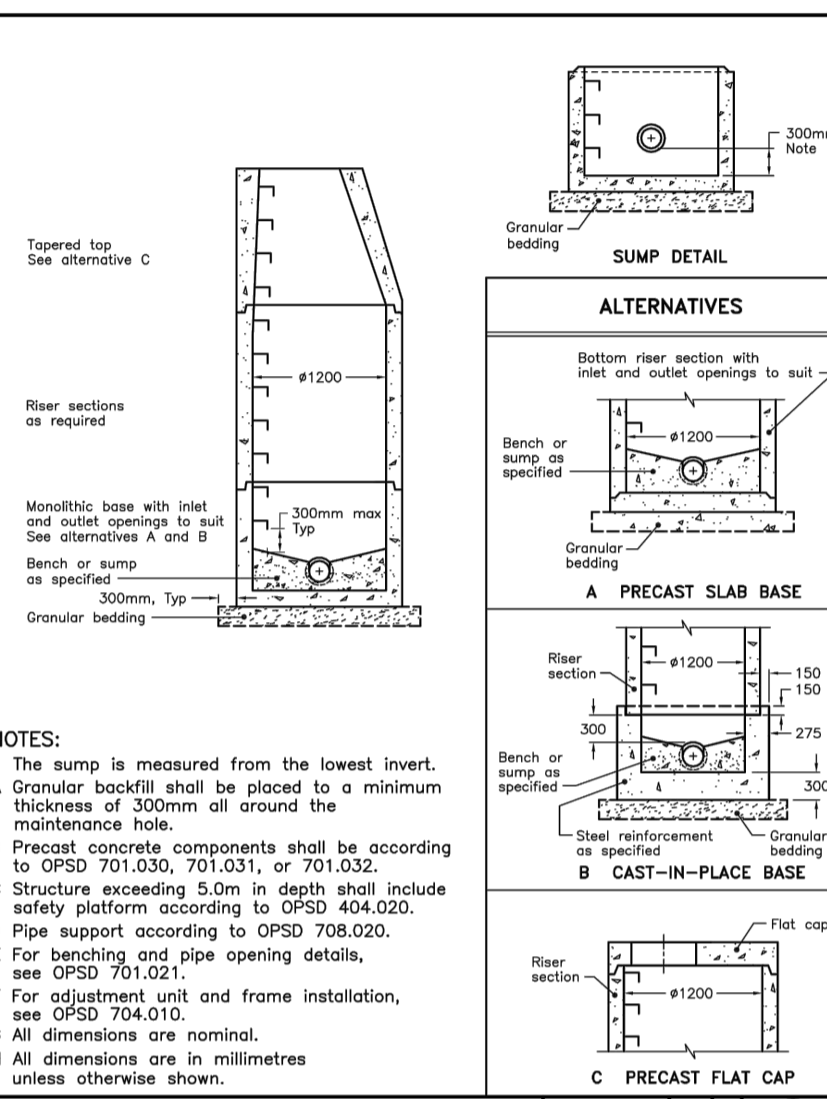
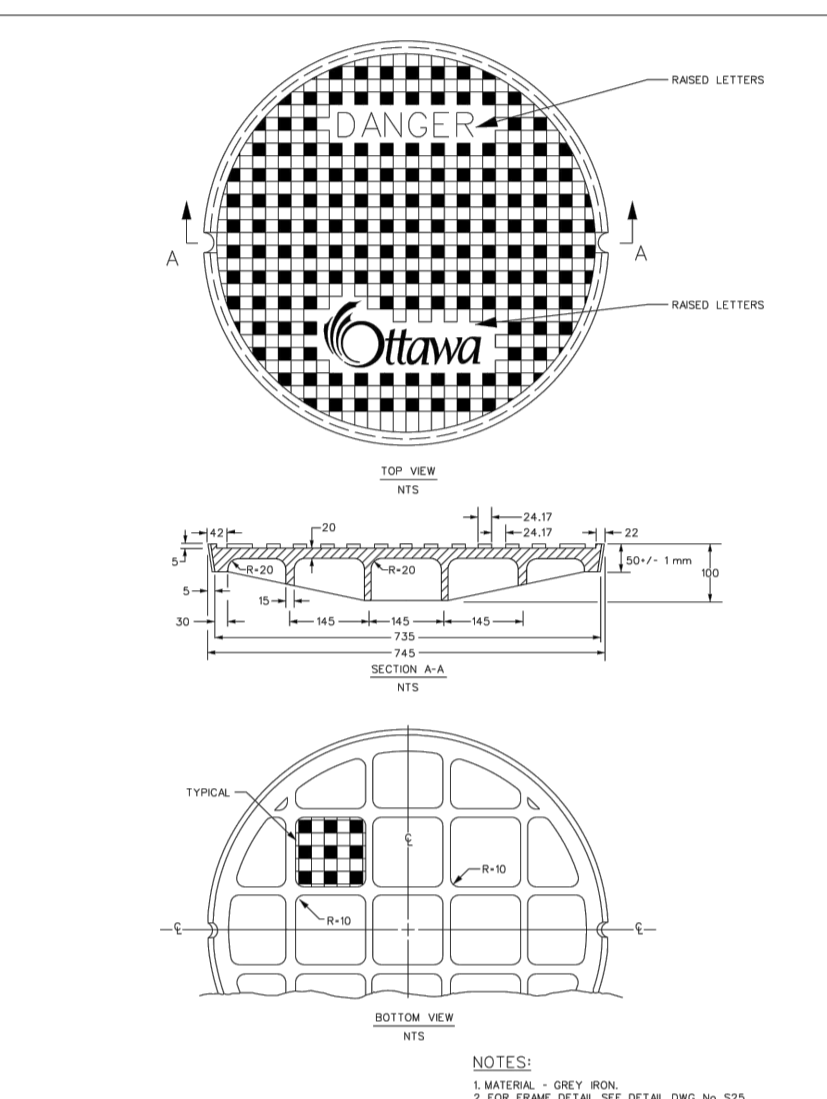
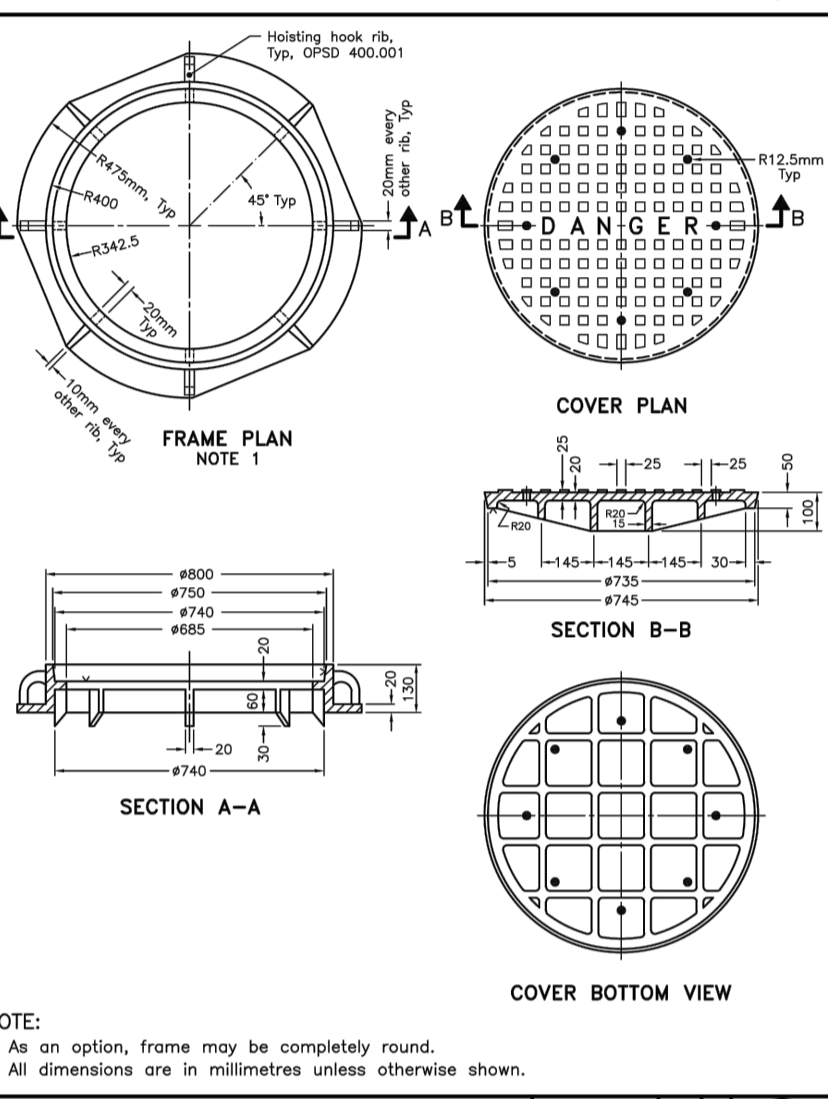
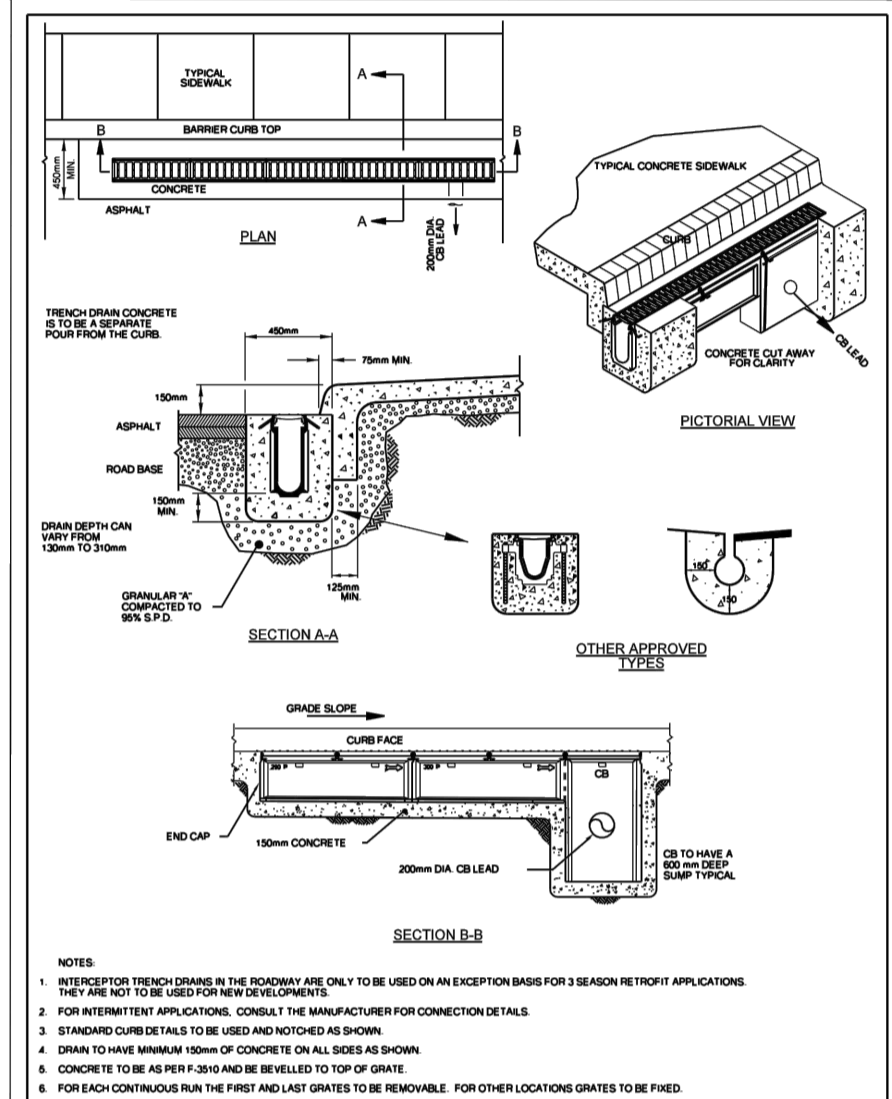
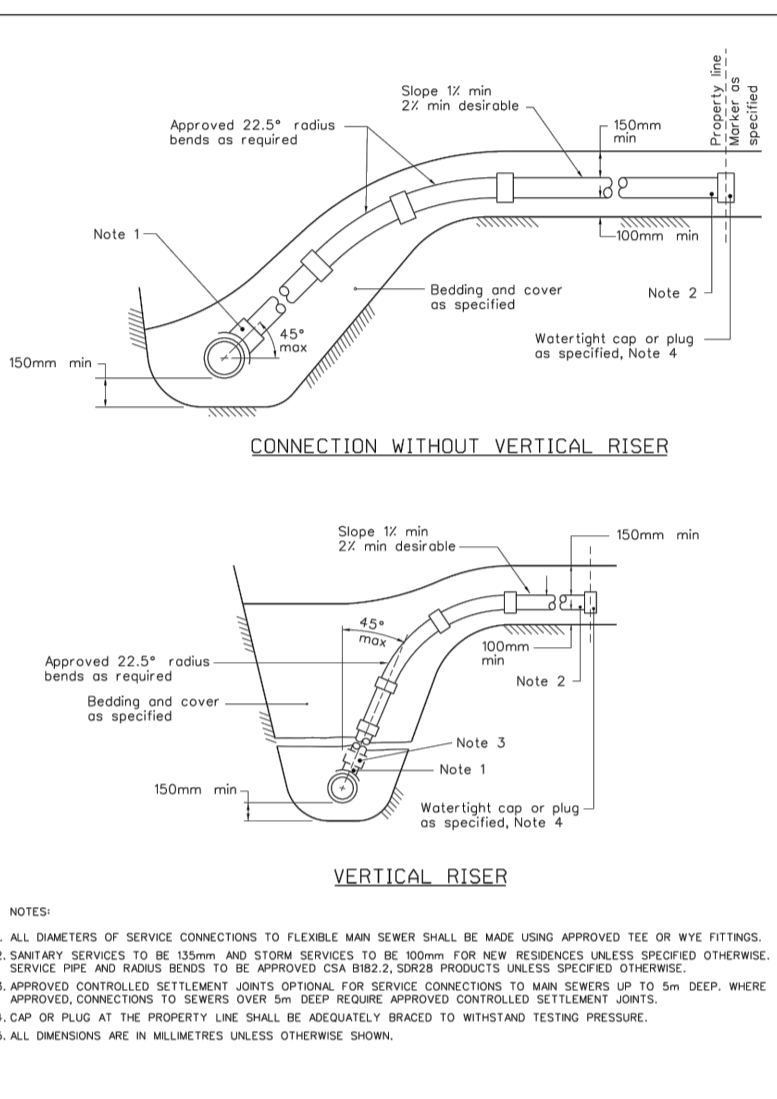
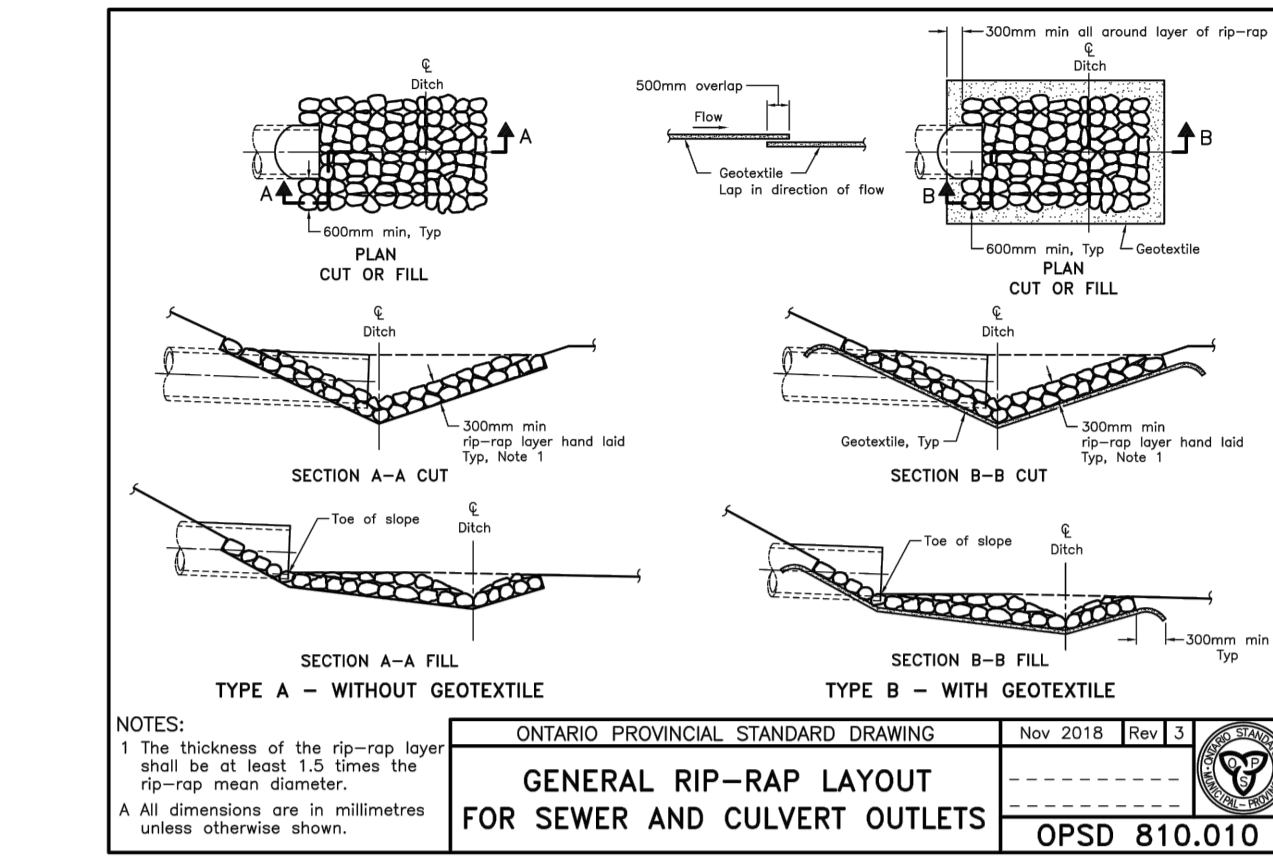
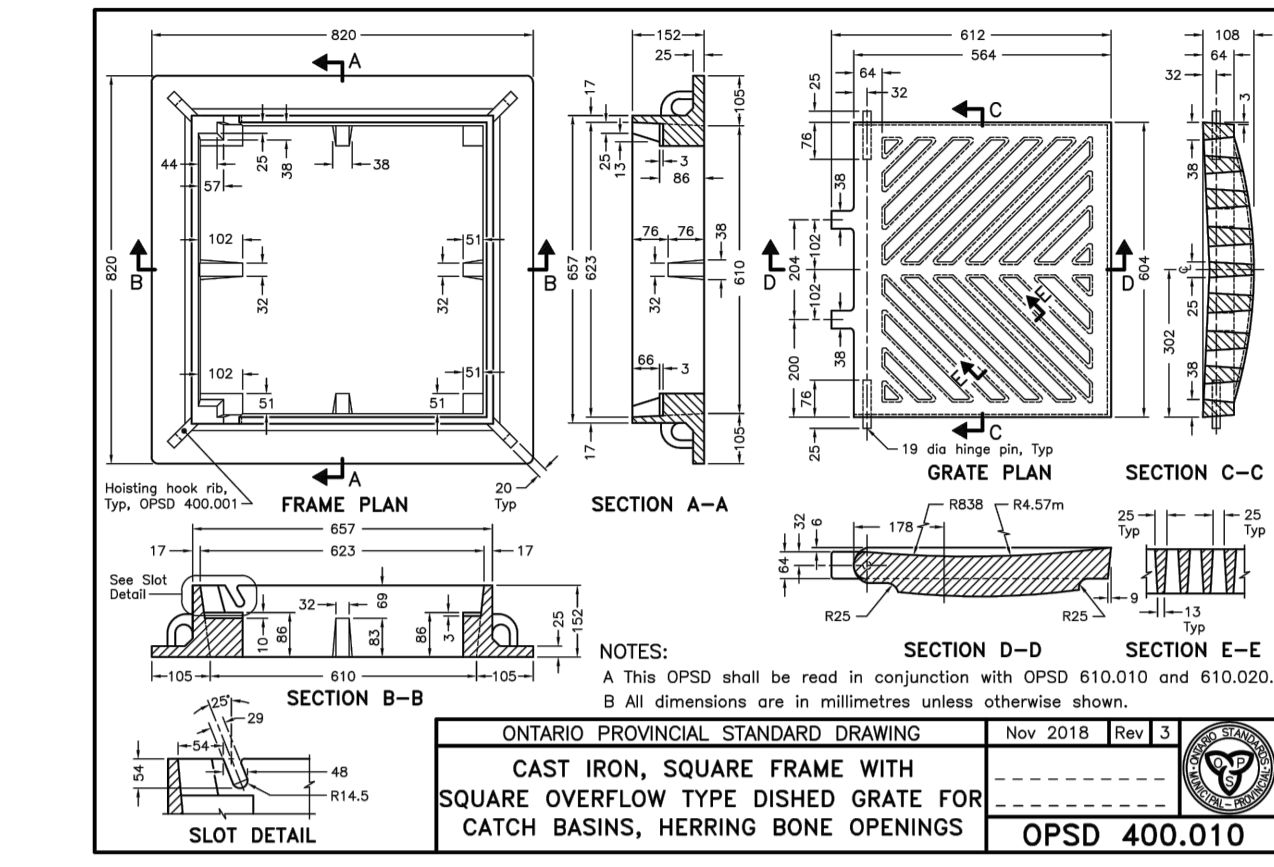
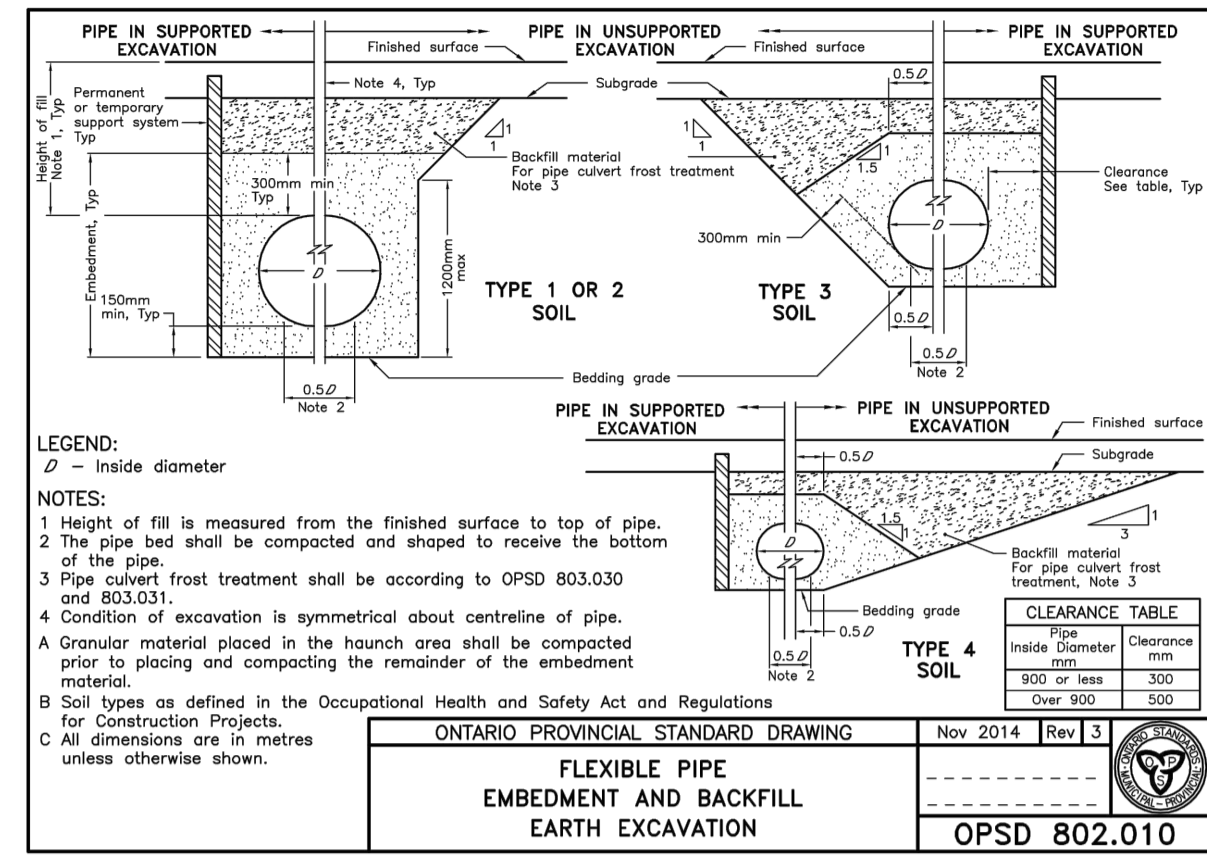
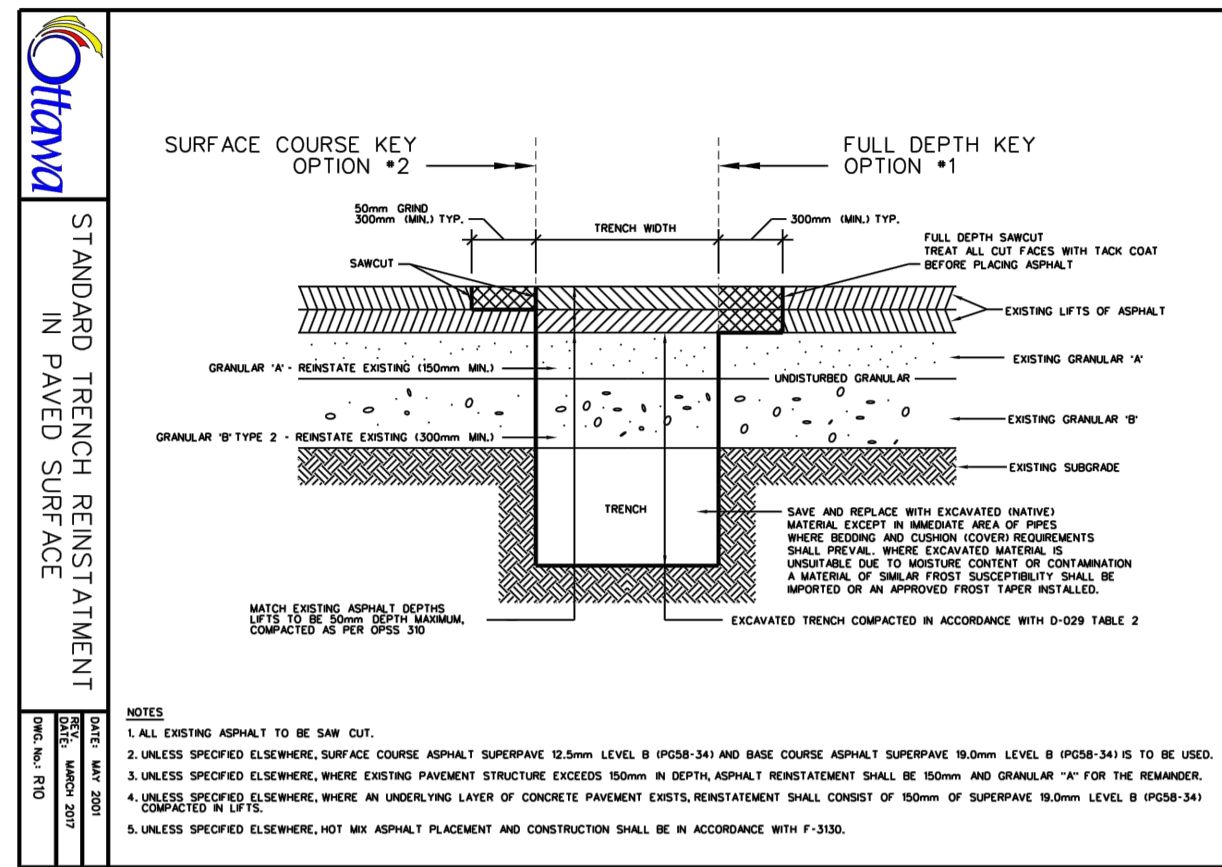
DESIGNED BY: A.S. DRAWN BY: A.S. APPROVED BY: V.J.

PROJECT: **PROPOSED 9-STORY MULTI USE BUILDING
 1509 MERIVALE ROAD, OTTAWA, ON.**

DRAWING TITLE: **POST-DEVELOPMENT
 WATERSHED PLAN**

PROJECT NO: 200255 DATE: JUNE, 2021

C702



USE AND INTERPRETATION OF DRAWINGS

GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION ARE PART OF THE CONTRACT DOCUMENTS AND DESCRIBE USE AND INTENT OF THE DRAWING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR THE WORK.

UNAUTHORIZED CHANGES:

IN THE EVENT THE CLIENT, THE CLIENT'S CONTRACTORS OR SUBCONTRACTORS, OR ANYONE FOR WHOM THE CLIENT IS LEGALLY LIABLE MAKES OR PERMITS TO BE MADE ANY CHANGES TO THE DRAWINGS WITHOUT THE WRITTEN APPROVAL OF THE ENGINEER, THE CLIENT ASSUMES FULL RESPONSIBILITY FOR THE RESULTS OF SUCH CHANGES. THEREFORE THE CLIENT AGREES TO WAIVE ANY CLAIM AGAINST THE ENGINEER FOR ANY LIABILITY ARISING DIRECTLY OR INDIRECTLY FROM SUCH UNAUTHORIZED CHANGES.

IN ADDITION, THE CLIENT AGREES TO THE FULLEST EXTENT PERMITTED BY LAW, TO INDEMNIFY AND HOLD HARMLESS THE ENGINEER FROM ANY DAMAGES, LIABILITIES OR COSTS, INCLUDING REASONABLE ATTORNEY'S FEES AND COSTS OF DEFENSE, ARISING FROM SUCH CHANGES.

EXISTING SERVICES AND UTILITIES SHOWN ON THESE DRAWINGS ARE TAKEN FROM THE BEST AVAILABLE RECORDS, BUT MAY NOT BE COMPLETE OR UP TO DATE. CONTRACTOR SHALL VERIFY IN FIELD FOR LOCATION AND ELEVATION OF PIPES AND CHECK WITH THE UTILITY COMPANIES BEFORE DIGGING OR PERFORMING WORK.

CONTRACTOR IS ADVISED TO COLLECT INFORMATION ON SOIL CONDITIONS BEFORE START OF CONSTRUCTION.

THE ENGINEER WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS, SPECIFICATIONS AND THE NOTICES INTENT TO CONVEY, OR FOR PROBLEMS WHICH ARISE FROM OTHER FAILURE TO OBTAIN AND FOLLOW THE ENGINEER'S GUIDANCE WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES OR CONFLICTS WHICH ARE ALEAD.

CONTRACTOR TO VERIFY ALL DIMENSIONS AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES BEFORE WORK COMMENCES. DO NOT SCALE DRAWINGS.

ISSUED FOR MUNICIPAL APPROVAL A.S. 23 DEC 2021

NO. REVISIONS BY DATE

PROFESSIONAL ENGINEER
V. JOHNSON
100510576
Dec 23, 2021
PROVINCE OF ONTARIO

NOT AUTHENTIC UNLESS SIGNED AND DATED

CLIENT

KATASA GROUP

DESIGNED BY: A.S. **DRAWN BY:** A.S. **APPROVED BY:** V.J.

PROJECT

PROPOSED 9-STORY MULTI USE BUILDING 1509 MERIVALE ROAD, OTTAWA, ON.

DRAWING TITLE

CONSTRUCTION DETAIL PLAN

PROJECT NO. 200255
DATE JUNE, 2021

C901