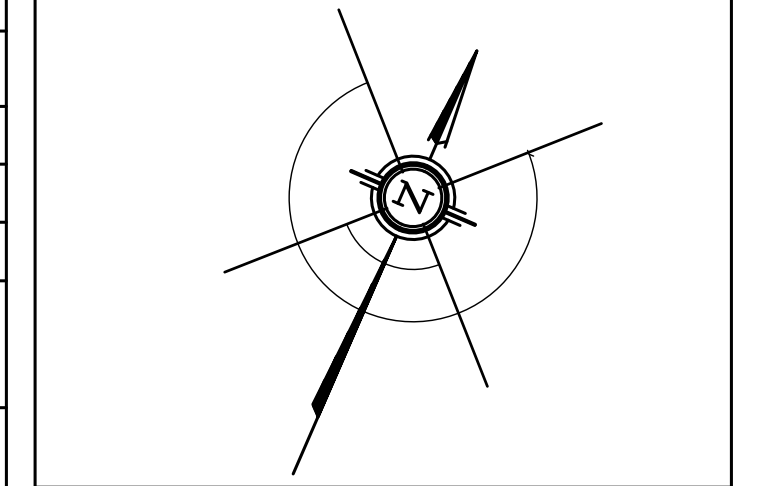


client:  
**JAMIATUL MUSLEMEEN  
 OF OTTAWA CARLETON**  
 3990 OLD RICHMOND  
 ROAD

project:  
**PROPOSED  
 RESIDENTIAL BUILDING**  
 4000 OLD RICHMOND  
 ROAD

	R4Z ZONING	
	REQUIREMENT	PROPOSED
LOT WIDTH	18 M	30.37 M
LOT AREA	450 M <sup>2</sup>	2,396 M <sup>2</sup>
FRONT YARD SETBACK end note 5	3 M	8.64 M
REAR YARD SETBACK end note 6 & 8	THE MINIMUM REQUIRED REAR YARD SETBACK IS 1M.	2.93 M
INTERIOR SIDE YARD SETBACK end note 6	1.5 M (FOR HEIGHT LESS THAN 11 M), 3 M FOR HEIGHT GREATER THAN 11), 6M AFTER 21M FROM FRONT LOT LINE	2.5 M RELIEF REQUESTED
CORNER SIDE YARD SETBACK	N/A	N/A
MAXIMUM HEIGHT AVERAGE GRADE (100.11NW+99.97SW+100.16SE+99.68SW)/4=99.98	14.5 M	11 M
PERMITTED PROJECTIONS INTO REQUIRED YARDS - BALCONIES, MAX. PROJECTION	2 METERS, BUT NO CLOSER THAN 1 METER FROM ANY LOT LINE	0.21 M
PERMITTED PROJECTIONS INTO REQUIRED YARDS - CANOPIES AND AWNINGS	A DISTANCE EQUAL TO 1/2 THE DEPTH OF A FRONT, REAR OR CORNER SIDE YARD BUT NOT CLOSER THAN 0.6 M TO A LOT LINE.	2.43 M
AMENITY AREA	6 M <sup>2</sup> PER DWELLING UNIT = 6 X 49 = 294 M <sup>2</sup> COMMUNAL AMENITY AREA = A MINIMUM OF 50% OF THE REQUIRED TOTAL AMENITY AREA	353 M <sup>2</sup> INCLUDING BALCONIES AND 177.25 SQ.M COMMUNAL (SOUTH SIDE AND REAR = 65% REQ'D COMMUNAL)
SOFT LANDSCAPING, Schedule 342, Section 139(1)	40% OF FRONT YARD, 263.2m <sup>2</sup> x 40%= 105.28m <sup>2</sup>	107.5m <sup>2</sup> = 41%
LANDSCAPING, Section 161(8)	30% OF LOT AREA	947.9 SQ.M. / 2,396=40%
LANDSCAPE BUFFER		NA



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NO.	REVISION	DATE
05	ISSUED FOR REVIEW	07/11/2024
04	ISSUED FOR REVIEW	08/21/2023
03	ISSUED FOR ZONING AMENDMENT	03/08/2022
02	ISSUED FOR COORDINATION	11/05/2021
01	ISSUED FOR PRELIMINARY DESIGN REVIEW	10/22/2020

NOTE:  
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BUILDING	CATEGORY	RATE	PARKING REQUIREMENTS	
			REQUIRED	PROVIDED
EXISTING MOSQUE	REGULAR	10/100m <sup>2</sup>	165	166
	ACCESSIBLE		5 (EXISTING)	
	BICYCLE PARKING		10	
LOW RISE APARTMENT RESIDENTIAL AREA C: Suburban Zoning By-law no. 2008-250 & Accessibility Design Standards	TENANT	1.2 PER DWELLING	1.2 X 49 = 58.8	35
	VISITOR	0.2 PER DWELLING	0.2 X 49 = 9.8	5
	ACCESSIBLE	3	2	2
	TOTAL		70.6	42
STACKED TOWNHOUSE	BICYCLE PARKING	5 PER UNIT	0.5 X 49 = 24.5	26
	TENANT	1.2 PER DWELLING	1.2 X 6 = 7.2	7
	VISITOR	0.2 PER DWELLING	0.2 X 6 = 1.2	1
TOTAL		8.4	8	
BICYCLE PARKING	5 PER UNIT	0.5 X 6 = 3	4	

PROJECT TITLE:  
**ZONING AMENDMENT  
 4000 OLD RICHMOND ROAD**

DRAWING TITLE:  
**SITE PLAN  
 ZONING INFORMATION**

PROJECT START DATE:  
 APRIL, 2019

DRAWN BY:  
 ZK & SS

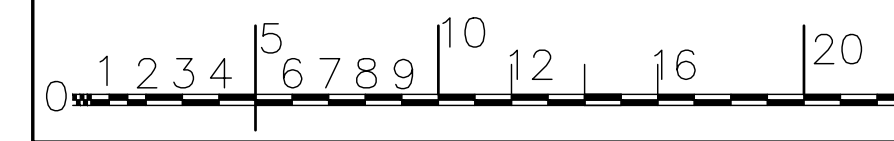
AS NOTED

JOB No.:  
 1917

REVIEWED BY:

SHEET No.:

LEGAL DESCRIPTION  
 TOPOGRAPHIC PLAN OF SURVEY OF PART OF LOTS 32 AND 33  
 CONCESSION 5 (Rideau Front) TOWNSHIP OF NEPEAN  
 NOW IN CITY OF OTTAWA  
 SURVEY INFORMATION SHOWN ON THIS DRAWING IS TAKEN FROM  
 SURVEY DRAWING PREPARED BY: PAUL A. RIDDELL LTD.  
 ONTARIO AND CANADA LAND SURVEYORS. PHONE 1-613-225-6518

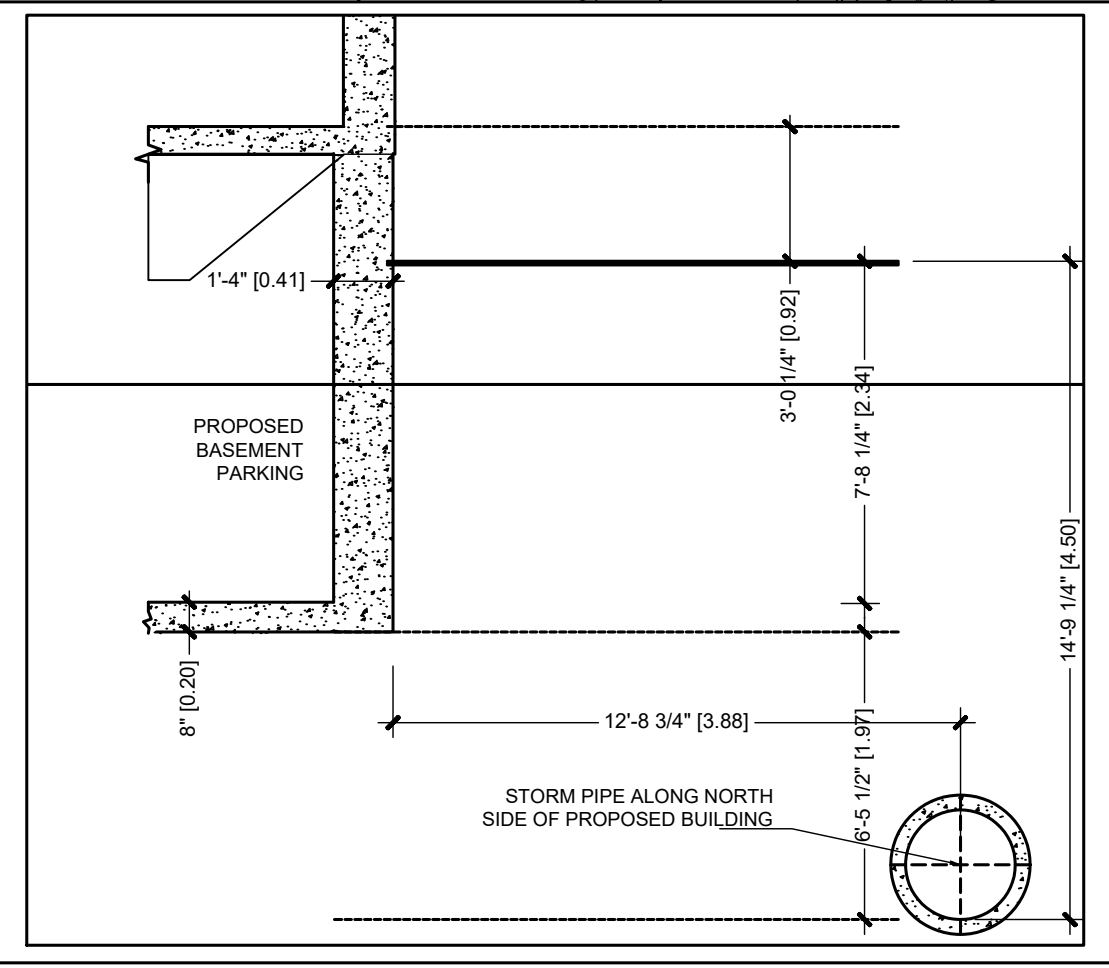


**2 SITE PLAN**  
 SP 1:200



**A. Jamri Omar Mosque 3990 Old Richmond Rd**  
**B. 4000 Old Richmond Rd**  
**C. 572 Moodie Dr.**

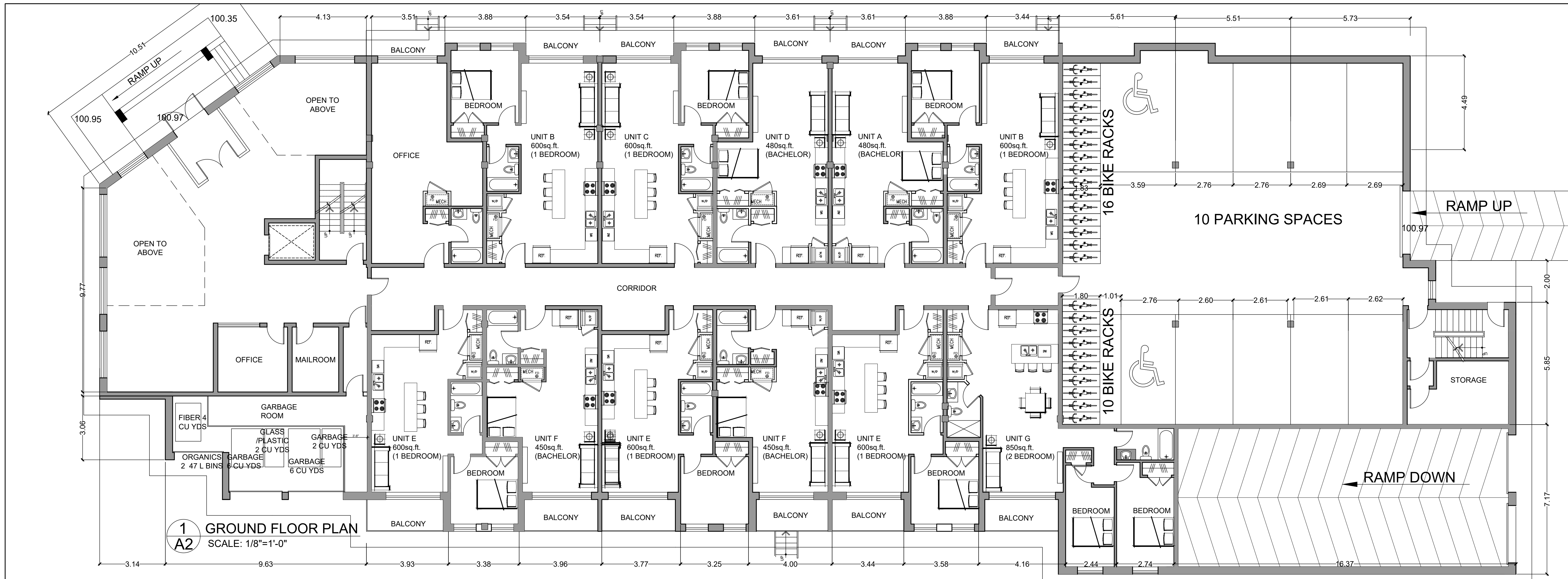
**0 LOCATION MAP**  
 SP Scale: NTS



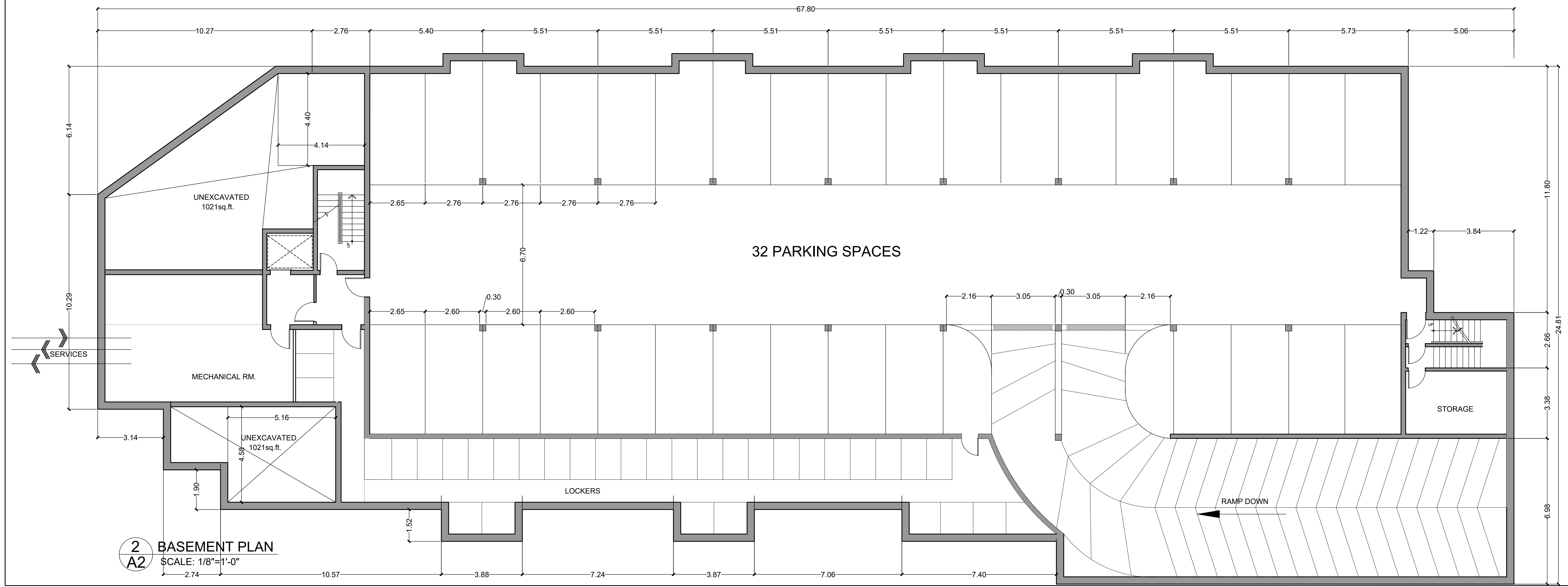
**3 SECTION AT GARAGE**  
 SP Scale: 1:50

FLOOR	UNIT TYPE	TWO BEDROOM UNIT	ONE BEDROOM UNIT	BACHELOR UNIT	LIVING AREA
1ST FLOOR		1	6	4	646.9 m <sup>2</sup> / 6963.5 ft <sup>2</sup>
2ND FLOOR		1	10	8	1105.8 m <sup>2</sup> / 11902.7 ft <sup>2</sup>
3RD FLOOR		1	10	8	1105.8 m <sup>2</sup> / 11902.7 ft <sup>2</sup>
TOTAL : 49		3	26	20	2858.5 m <sup>2</sup> / 30768.9 ft <sup>2</sup>

**SP**



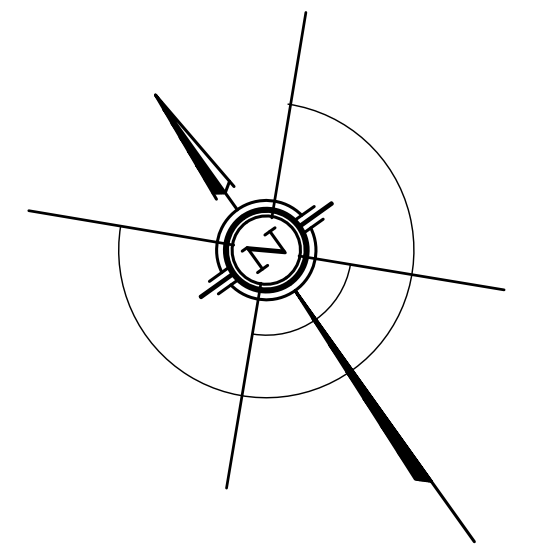
**1 GROUND FLOOR PLAN**  
SCALE: 1/8"=1'-0"



**2 BASEMENT PLAN**  
SCALE: 1/8"=1'-0"

client  
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3990 OLD RICHMOND  
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4000 OLD RICHMOND  
ROAD



10		
09		
08		
07		
06	REISSUED FOR ZONING AMENDMENT	01/17/2025
05	ISSUED FOR REVIEW	10/17/2024
04	ISSUED FOR REVIEW	01/26/2024
03	ISSUED FOR ZONING AMENDMENT	03/08/2022
02	ISSUED FOR COORDINATION	11/05/2021
01	ISSUED FOR PRELIMINARY DESIGN REVIEW	10/22/2020
NO.	REVISION	DATE

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PROJECT TITLE:  
ZONING AMENDMENT  
4000 OLD RICHMOND ROAD

DRAWING TITLE:  
FLOOR PLANS

PROJECT START DATE:  
APRIL, 2019

AS NOTED

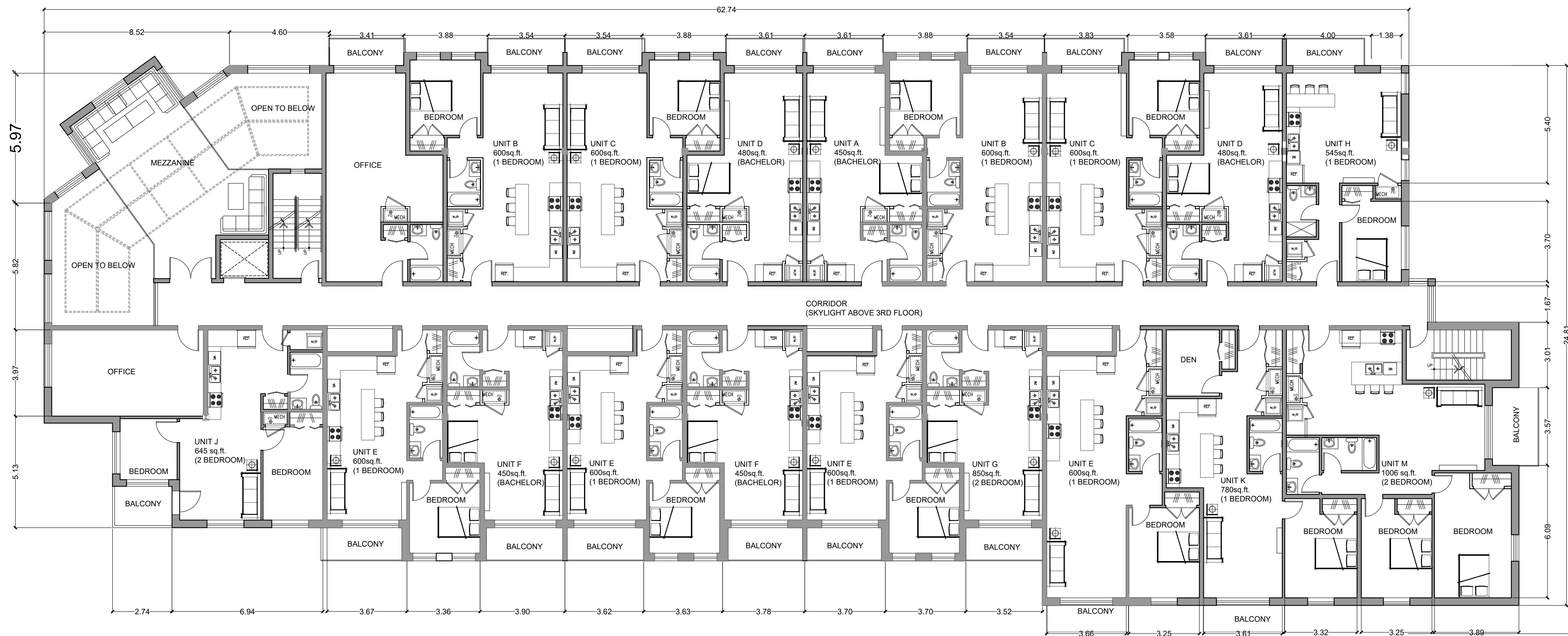
REVIEWED BY:

DRAWN BY:  
ZK & SS

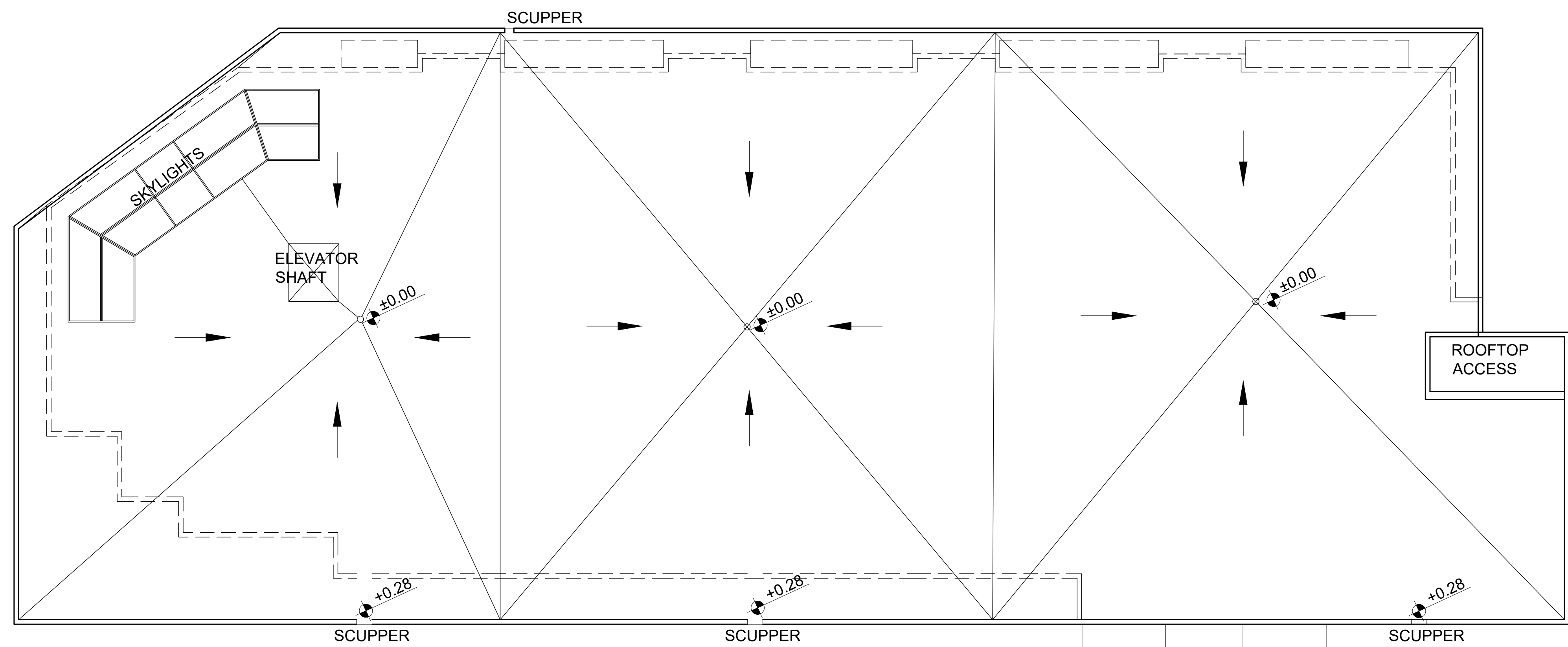
JOB No.:  
1917

SHEET No.:

**A1**



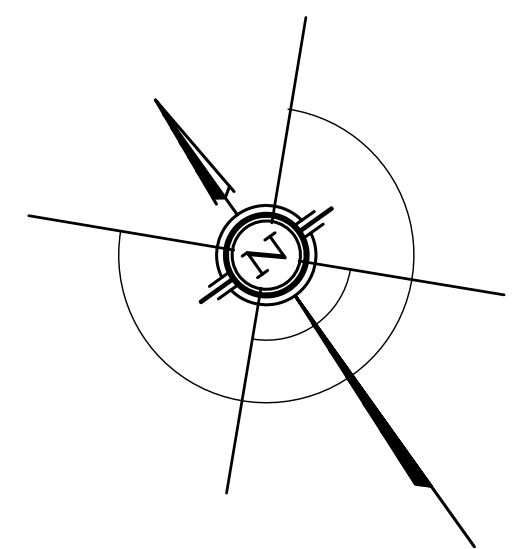
**1** 2ND, 3RD FLOOR PLAN  
**A2** SCALE: 1/8"=1'-0"



**2** ROOF PLAN  
**A2** SCALE: 1/8"=1'-0"

client  
 JAMIATUL MUSLEMEEN  
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10		
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07		
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PROJECT TITLE:  
 ZONING AMENDMENT  
 4000 OLD RICHMOND ROAD

DRAWING TITLE:  
 FLOOR PLANS

PROJECT START DATE:  
 APRIL, 2019

AS NOTED

REVIEWED BY:

DRAWN BY:  
 ZK & SS

JOB No.:  
 1917

SHEET No.:

**A2**

D07-12-21-0234

