

SCHEDULE OF ROOF RELEASE RATES					
DRAINAGE AREA ID	DRAIN TYPE	# DRAINS	5 YEAR HEAD (m)	100 YEAR HEAD (m)	100 YEAR RELEASE RATE (L/s)
ROOF-A	WATS R1100 ACCUTROL (25% OPEN)	2	0.10	0.14	1.82
ROOF-B	WATS R1100 ACCUTROL (25% OPEN)	1	0.06	0.10	0.80

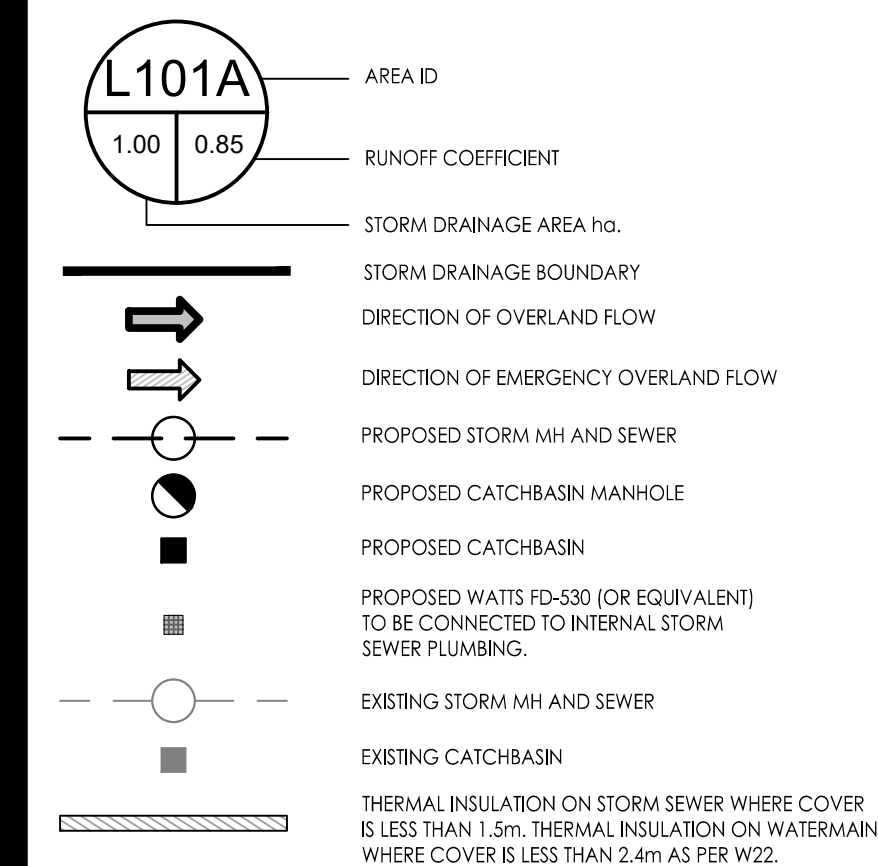


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Legend



Notes

1	ISSUED FOR REVIEW	DW	KJK	21.12.22
Revision		By	Appd.	YY.MM.DD

File Name:	160401680-D8	DW	KJK	DW	21.12.22
		Dwn.	Chkd.	Dgn.	YY.MM.DD

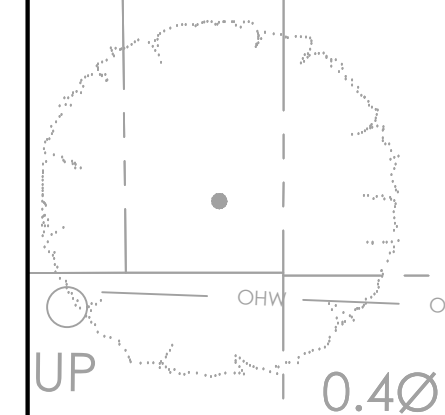
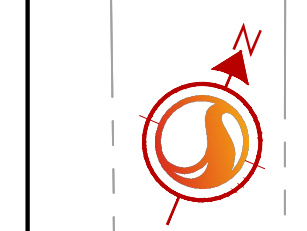
Permit-Seal

Client/Project  
VIKA LAND DEVELOPMENT GROUP INC.

NEW APARTMENT BUILDING  
138 FORWARD AVENUE  
OTTAWA, ONTARIO

Title  
STORM DRAINAGE PLAN

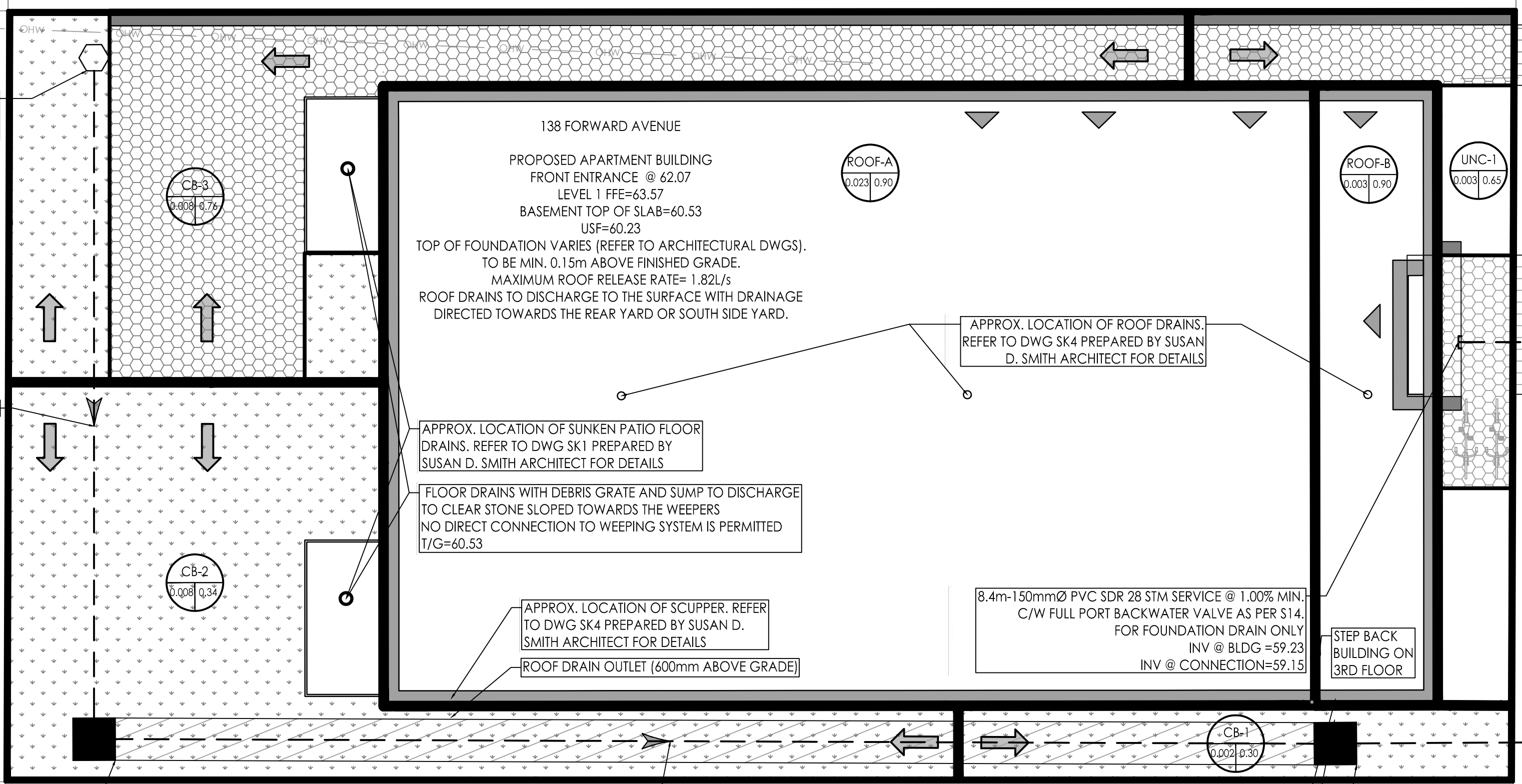
Project No.	Scale	
160401680	0 0.75 2.25 3.75m 1:75	
Drawing No.	Sheet	Revision
SD-1	5 of 5	1



CB-T  
T/G=61.78  
S.INV=60.78

12.9m-250mmØ SUBDRAIN @ 1.0% min.

CB-2  
T/G=61.70  
E.INV=60.32  
N.INV=60.65



138 FORWARD AVENUE  
PROPOSED APARTMENT BUILDING  
FRONT ENTRANCE @ 62.07  
LEVEL 1 FFE=63.57  
BASEMENT TOP OF SLAB=60.53  
USF=60.23  
TOP OF FOUNDATION VARIES (REFER TO ARCHITECTURAL DWGS).  
TO BE MIN. 0.15m ABOVE FINISHED GRADE.  
MAXIMUM ROOF RELEASE RATE= 1.82L/s  
ROOF DRAINS TO DISCHARGE TO THE SURFACE WITH DRAINAGE  
DIRECTED TOWARDS THE REAR YARD OR SOUTH SIDE YARD.

APPROX. LOCATION OF SUNKEN PATIO FLOOR  
DRAINS. REFER TO DWG SK1 PREPARED BY  
SUSAN D. SMITH ARCHITECT FOR DETAILS  
FLOOR DRAINS WITH DEBRIS GRATE AND SUMP TO DISCHARGE  
TO CLEAR STONE SLOPED TOWARDS THE WEEPERS  
NO DIRECT CONNECTION TO WEEPING SYSTEM IS PERMITTED  
T/G=60.53

APPROX. LOCATION OF SCUPPER. REFER  
TO DWG SK4 PREPARED BY SUSAN D.  
SMITH ARCHITECT FOR DETAILS  
ROOF DRAIN OUTLET (600mm ABOVE GRADE)

8.4m-150mmØ PVC SDR 28 STM SERVICE @ 1.00% MIN.  
C/W FULL PORT BACKWATER VALVE AS PER S14.  
FOR FOUNDATION DRAIN ONLY  
INV @ BLDG=59.23  
INV @ CONNECTION=59.15

CB-1  
T/G=61.93  
E.INV=60.02  
W.INV=60.08

10.5m-200mmØ CB LEAD @ 1.00% min.  
INV. @ CONNECTION=59.08

No. 134  
1 1/2 Storey  
Stone and Vinyl  
Sided Dwelling  
(Foundation Noted)

Vinyl Siding

No. 142  
2 1/2 Storey  
Wood Sided Dwelling  
(Foundation Noted)

EX. DEPRESSED CURB AND SIDEWALK TO BE REMOVED  
AND REINSTATED AS PER SC1.1 AND SC2 TO MATCH EX.  
CURB AND SIDEWALK HEIGHT  
APPROX. LENGTH=±17m  
APPROX. AREA=±37m²

FORWARD AVENUE