

DEPRESSED CURB VEHICLE ACCESS Chain link Fence Vb K 86 - FRONT SETBACK 3.0 m (tbd) _ RVF) DETACHED V TP ^VPRIVÅTE REAR YÅRDS FOR ^V PRIVATE REAR YARDS FOR ^VPRIVATE REAR YARDS ₽OR SEMI-DETACHED HOUSES SEMI-DETACHED HOUSES SEMI-DETACHED HOUSES V ____6000 - REFER TO LANDSCAPING GG 10 WASTE SHED 22.4 m² R (GMP) 6 * TYPE A 2600 OUTDOOR PARKING 18 SPACES \rightarrow 74.90m GARAGE GARAGE ENTRANCE ENTRANCE GARAGE GARAGE ENTRANCE ENTRANCE GARAGE ▏▋ CONCRETE RETAINING WALLS Ĕ₩) LESS THAN 1000mm HIGH **-/-***-- LANDSCAPED STEPS NOTE: GUARD RAILS AT 1070 MM 76.34m MIN WHERE LEVEL DIFFERENCE **GREATER THAN 600MM** \checkmark (SEE A200) BLOCK B NEW PROPOSED 10 STACK HOMES /v v \checkmark 10 UNITS BUILDING AREA: 360 m² GROSS AREA: 1440 m² UPPER 5000 mm RESTRICTION ZONE FOR HYDRO LINES y 76.95m ↓ ↓ ↓ / ____ / ____ -/*///// 8004 - FRONT SETBACK 3.0 m _6`` 8004 4556 1500 - EXISTING HYDRO LINES 2000 mm RESTRICTION ZONE FOR HYDRO LINES PRIMARY PRIMARY PRIMARY PEDESTRIAN PEDESTRIAN PEDESTRIAN ACCESS ACCESS ACCESS

LEGEND SURFACES

> > w., w.,

L_____ LINES

— •

_____ X---X---X -OHW-OHW-

VEGETATION

SYMBOLS

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UP____ FH⊥ −(

> X $\bigcirc \neg \Box$ \bigcirc

imesXX.XXm

XX.XXm

PARKING 5200 ᡎᡗ᠇ᢩ <u>۲ 5800</u> ም ጋ ጊ

5800 <u>ُ</u>بُو ا

SITE CONTEXT



PROPOSED GRASS

RIVEF	RSTONE
CONC	RETE PAVERS
POUR	ED CONCRETE
ASPH.	ALT PAVING
PROP	OSED NEW BUILDING
0010	

CONCRETE RETAINING WALL EXISTING BUILDING TO BE DEMOLISHED

PROPERTY LINE

SETBACK LINE EXISTING FENCE NEW FENCE

OVERHEAD WIRES

TREE: EXISTING TO REMAIN

EXISTING TO BE REMOVED

TRFF NEW PROPOSED

SHRUB: NEW PROPOSED

DIRECTIONAL ARROWS

BUILDING ACCESS

BUILDING EGRESS

SIAMESE CONNECTION

UTILITY POLE

FIRE HYDRANT

CATCH BASIN / MANHOLE

DEPRESSED CURB

LANDSCAPE LIGHT

LIGHT POLE

WALL MOUNTED LIGHT

EXISTING GRADE ELEVATION

PROPOSED GRADE ELEVATION

LOT CORNERS

BIKE PARKING H: HORIZONTAL 0.6M x 1.8M V: VERTICAL 0.5M x 1.5M S: STACKED 0.37M x 1.8M

CAR PARKING R: RESIDENTIAL V: VISITOR

BF PARKING R: RESIDENTIAL V: VISITOR

BF PARKING (TYPE A) R: RESIDENTIAL V: VISITOR

BF PARKING (TYPE B) R: RESIDENTIAL V: VISITOR

GENERAL NOTES

NOTE-A : ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS AND SPECIFICATIONS, INCLUDING OTHER CONSULTANTS DRAWINGS AND SPECIFICATIONS. ANY DISCREPANCIES BETWEEN DRAWINGS WILL BE REPORTED TO THE PROJECT LEAD IMMEDIATELY FOR CLARIFICATION PRIOR TO COMMENCING ANY CONSTRUCTION.

NOTE-B: ALL GENERAL SITE INFORMATION AND CONDITIONS HAVE BEEN COMPILED FROM EXISTING PLANS AND SURVEYS.

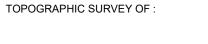
NOTE-C: CONTRACTOR IS RESPONSIBLE TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ALL ERRORS AND / OR OMISSIONS TO THE ARCHITECT.

NOTE-D : REFER TO LANDSCAPE PLAN FOR ALL EXTERIOR LANDSCAPING. NOTE-E :

• DO NOT SCALE DRAWINGS.

NOTE-F: ALL CONTRACTORS MUST COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS.

SURVEY INFO





PROJECT INFORMATION SITE SUMMARY

ADDRESS

SITE AREA

LOT AREA

LOT WIDTH

PROPOSED ZONING

PROPOSED USE

ZONING SUMMARY

MAX. BUILDING HEIGHT

MAX. PARAPET HEIGHT

- CORNER SIDE YARD

- INTERIOR SIDE YARD

Above max. building

- FRONT YARD

- REAR YARD

- ADDITIONAL REQ

MIN LANDSCAPED AREA

SET BACKS :

BUILDING AREA

6001-6005 RENAUD, OTTAWA, ON R4Z 4598.69 m² RESIDENTIAL

720.00 m² <u>REQUIRED</u> PROPOSED N/A 2913.14 m² N/A 76.12 m

18.00 m 12.02 m N/A N/A

3.00 m 5.39 m 3.00 m*(min.)* N/A

3.00 m/ 6.00m 3.14 m (17.52 m) 6.00 m

N/A N/A 30% OF LOT 35% (1021.6 m2)

VEHICULAR PARKING REQUIRED MIN PARKING SPACES 24 MIN VISITOR PARKING SPACES 4

MIN ACCESSIBLE PRKG SPACES 1 (incl. in count)

BICYCLE PARKING REQUIRED MIN PARKING SPACES

WASTE CONTAINERS GARBAGE (0.231 y3 / unit) RECYCLING GMP (0.018 y³ / unit)

RECYCLING FIBRÈ (0.062 y³ / unit) 2 ORGANICS (L) AMENITY AREA

PRIVATE COMMUNAL

BUILDING SUMMARY

GROUND

LEVEL 2

LEVEL 3

UNITS SEMI-BASEMENT 20

PROPOSED 24(10 int)

8 REQUIRED

240

REQUIRED 60.00 m²

<u>GFA - OBC</u> 420.00 m²

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PROJECT TEAM / ÉQUIPE DU PROJET :





1.9	SPC REVISION	23-10-06
1.8	ISSUED FOR SPC	23-06-27
1.7	ISSUED FOR SPC	23-04-28
1.6	ISSUED FOR SPC	23-04-05
1.4	ISSUED FOR 66%	23-02-24
1.3	City discussion	22-11-16
1.2	City discussion	22-10-27
1.1	Issued for 33%	22-10-12
1.0	SITE PLAN	22-10-11
revision	description	date

PROJECT NAME / NO

6001-60

SITE PLAN

DRAWING INFORMATION / INFORMATION DU DESSIN 22170 PROJECT NO. / NO. DE PROJET : 2023-06-27 DATE : DRAWN BY / DESSINÉ PAR : E.T. L.G. REVIEWED BY / VÉRIFIÉ PAR : As indicated SCALE / ÉCHELLE : PROJECT PHASE / PHASE DU PROJET : DWG NO. / NO. DESSIN : A050 1.9^ă

#18659

PROPOSED PROPOSED PROPOSED

60.00 m² 151.00 m² BALCONIES 107.00 m² EXTERIOR

313.00 m² 361.00 m² 321.00 m²

DRAWING NAME / NO



discussion	22-10-2			
ed for 33%	22-10-1			
E PLAN	22-10-1			
description	date			
OME DU PROJET :				
05 Renaud				
US Renauu				
OM DU DESSIN :				

