



22170 6001-6005 Renaud

RELEASE 1 - ISSUED FOR 66%
2024-04-10

Version 1 .0

The submittal of 66% marks the beginning of advanced coordination between all disciplines.

CONTENTS

SHEET LIST	
SHEET #	TITLE
A000	LEGENDS AND ABBREVIATIONS
A001	PROJECT DATA
A005	INTERIOR ASSEMBLIES
A050	SITE PLAN
A100.1	BLOCK-A- SEMI BASEMENT FLOOR PLAN
A101	BLOCK-A- GROUND FLOOR PLAN
A102	BLOCK-A- 2nd FLOOR PLAN
A103	BLOCK-A- 3rd FLOOR PLAN
A110	BLOCK-A- ROOF PLAN
A200	BLOCK-A-PROPOSED EAST AND WEST ELEVATION
A201	BLOCK-A-PROPOSED NORTH ELEVATION
A202	BLOCK-A-PROPOSED SOUTH ELEVATION
A300	GENERAL CROSS SECTION
A301	CROSS SECTION
A600.1	REFLECTED CEILING PLAN - SEMI BASEMENT FLOOR
A601	REFLECTED CEILING PLAN - GROUND FLOOR
A602	REFLECTED CEILING PLAN - SECOND FLOOR
A603	REFLECTED CEILING PLAN- THIRD FLOOR

NOT FOR CONSTRUCTION / PAS
POUR CONSTRUCTION

ROSSMANN
— ARCHITECTURE —
88 Saint-Joseph Boulevard,
Gatineau QC J8Y 3W5
819-600-1555

This document and all information herein is confidential and the intellectual property of Rossmann Architecture Inc. It is disclosed in confidence on terms that it will not be disclosed to any third party, used, sold, loaned, licensed, or reproduced in whole or in any part in any manner or form for manufacturing, tendering or for any other purpose without the written permission of Rossmann Architecture Inc. The copyright is retained by Rossmann Architecture Inc.

Ce document, ainsi que tous informations contenues à l'intérieur, est la propriété de Rossmann Architecture Inc. Il est divulgué en confidence sous les termes qu'il ne sera pas divulgué à aucun tiers partie, utilisé, vendu, prêt, licencié ou reproduit en son entier ou en partie d'aucune manière pour la manufacture, soumission ou pour autres fins sans la permission écrite de Rossmann Architecture Inc. Le droit d'auteur est retenu par Rossmann Architecture Inc.



1.4	ISSUED FOR 66%	23-02-24
1.2	City discussion	22-10-27
1.1	Issued for 33%	22-10-12
revision	description	date

6001-6005 Renaud

DRAWING NAME / NOM DU DESSIN :
LEGENDS AND ABBREVIATIONS

DRAWING INFORMATION / INFORMATION DU DESSIN :

PROJECT NO. / NO. DE PROJET :	22170
DATE :	2023-02-24
DRAWN BY / DESSINÉ PAR :	E.T
REVIEWED BY / VÉRIFIÉ PAR :	L.G
SCALE / ÉCHELLE :	1 : 1
PROJECT PHASE / PHASE DU PROJET :	1
DWG NO. / NO. DESSIN :	A000

REVISION NO. / NO. DE RÉVISION :	1.4
----------------------------------	------------

ELEMENT TAGS

DOOR TAG

Unit area: 1,200 R²

Unit description: 2 BED

Unit number: 101

Unit type: TYPE A1

WALL TAG

Unit area: 1,200 R²

Unit description: 2 BED

Unit number: 101

Unit type: TYPE A1

DETAIL COMPONENT TAG

Unit area: 1,200 R²

Unit description: 2 BED

Unit number: 101

Unit type: TYPE A1

UNIT TAG

Unit area: 1,200 R²

Unit description: 2 BED

Unit number: 101

Unit type: TYPE A1

SPACE TAG

Space name: BEDROOM

Space code: U03

Space dimensions: 0'0" x 0'0"

GENERAL ANNOTATION

GRID MARKER

Grid name: AA

Grid line: AA

ELEVATION MARKER

Level line: 99000 (99.9 m)

Elevation (mm from sea level): Level 99

Level name: Level 99

ELEVATION MARKER VARIATION

Level line: Level 00

Level name: Level 00

ELEVATION MARKER

View direction: A000

Drawing reference number: A000

Sheet reference number: A000

SECTION MARKER

Drawing reference number: A000

Sheet reference number: A000

View direction and extents: A000

CALLOUT MARKER

Drawing Reference Number: A000

Sheet Reference Number: A000

View extents: A000

SECTION MARKER

Points to True North

DETAIL COMPONENTS

SEAL AIR-BARRIER AND VAPOUR-BARRIER WITH TRANSITION MEMBRANE (01)

FILL CAVITY WITH LOW DENSITY SPRAY FOAM INSULATION (02)

CONTINUOUS CAULKING ON BACKER ROD (03)

FIRE CAULKING (04)

GYPSUM BOARD, 16mm TYPE 'X' (05)

GYPSUM BOARD, 13mm TYPE 'X' (06)

19mm PLYWOOD (07)

WEEP HOLE (08)

STRUCTURAL ANGLE IRON (09)

SELF SUPPORTING ANGLE IRON (10)

RIM JOIST (11)

FLASHING (12)

FINISHED GRADE (13)

LINE STYLES

VAPOUR BARRIER

AIR BARRIER

TRANSITION MEMBRANE

VAPOUR AIR BARRIER

WATERPROOFING MEMBRANE

ABV: Above	BSMT: Basement	CAB: Cabinet	DP: Dampproofing	FOC: Face of Concrete	GA: Gage, Gauge	KD: Kiln Dried	NOM: Nominal	RAD: Radius	TEL: Telephone
ACOUS: Acoustical	BM: Beam	CALC: Calculation	DTL: Detail	FOF: Face of Finish	GAL: Gallon	KIT: Kitchen	N: North	REF: Reference	TEMP: Tempered
ADDL: Additional	BVL: Beveled	CD: Cabinet Door	DIA: Diameter	FOM: Face of Masonry	GL: Glass, Glazing	LB: Pound	NIC: Not in Contract	RFL: Reflect(ed), (ive), (or)	TK: Tight Knot
ADH: Adhesive	BTUM: Bituminous	CG: Corner Guard	DIM: Dimension	FOS: Face of Sluds	GLB: Glue	LAM: Laminat(e)d	NTS: Not To Scale	REFR: Ref	T&G: Tongue and Groove
ADJ: Adjustable	BLK: Block	CIP: Cast-In-Place (Concrete)	DW: Dishwasher	FOW: Face of Wall	GI: Galvanized	LAV: Lavatory	NO, # Number	REG: Register	TOT: Top of
AF: Above Finish Floor	BLKG: Blocking	CL: Centerline	DIV: Division	FBI: Fiberboard	IR: Iron	LH: Left Hand	O: Non-Operable Window Section	REQD: Required	TOW: Top of Concrete
AGG: Aggregate	CO: Clean Out	CO: Clean Out	DR: Door	FCB: Fiber Cement Board	GLBK: Glass Block	L: Length	OBS: Obscure	RA: Return Air	TB: Towel Bar
AHJ: Authority Having Jurisdiction (Building Department)	BLDV: Boulevard	CONTR: Contract (or)	DS: Downspout	FGL: Fiberglass	GLB: Glue	LOA: Length Overall	OC: On Center	REV: Revision	T: Tread
APX: Approximate	BTW: Between	COORD: Coordinate	DRWR: Drawer	FFE: Finished Floor Elevation	Laminated Beam	LT: Light	OP: Opaque	R: Riser	TS: Tubular Steel
APT: Apartment	BD: Board	CIP: cast-in-place	DT: Drain Tile	FA: Fire Alarm	GT: Grout	LL: Live Load	OSB: Orientated Strand Board	RD: Rod	TYP: Typical
ARCH: Architect (architectural)	BOT: Bottom	CLK: Caulking	DWG: Drawing	FE: Fire Extinguisher	GRD: Grade, Grading	LVL: Laminated Veneer Lumber	OD: Outside Diameter	R&S: Rod and Shelf	UL: Underwriters Laboratory
ASPH: Asphalt	BLDG: Building	CAS: Casement	D: Nail Size	FPL: Fireplace	GWB: Gypsum Wall Board	LVR: Louver	OD: Outside Diameter	RM: Room	UNO: Unfinished
AUTO: Automatic	BUR: Built Up Roofing	CB: Catch Basin	EW: Each Way	FLSH: Flashing	MFR: Manufacturer	MED: Medium	OD: Outside Diameter	RO: Rough Opening	UNO: Unless Noted Otherwise
AVR: Average	B/O: By Others	CLG: Ceiling	E: East	FLR: Floor	MO: Masonry Opening	MDF: Medium Density Fiberboard	OD: Outside Diameter	UNO: Unless Noted Otherwise	
AWN: Awning	BR: Bedroom	CT: Ceramic Tile	EL: Elevation	FLOR: Fluorescent	MAX: Maximum	MDO: Medium Density Overlay	OD: Outside Diameter		
		CIR: Circle	ELEV: Elevation	FT: Foot, Feet	MAS: Masonry	PLT: Plate	OD: Outside Diameter		
		CLR: Clear	EQ: Equal	FTG: Footing	MECH: Mechanic(al)	PLYWD: Plywood	OD: Outside Diameter		
		COL: Column	EQP: Equipment	FND: Foundation	MC: Medicine Cabinet	PCF: Pounds Per Cubic Foot	OD: Outside Diameter		
		CONC: Concrete	EXCV: Excavate	FRM: Fram(d), (ing)	MED: Medium	PLF: Pounds Per Linear Foot	OD: Outside Diameter		
		CMU: Concrete Masonry Unit	EXH: Exhaust	FBO: Furnished by Others	MDF: Medium Density Fiberboard	PSF: Pounds Per Square Foot	OD: Outside Diameter		
		CONST: CONSTRUCTION	EXIST: Existing	FUR: Furred	MDO: Medium Density Overlay	PSI: Pounds Per Square Inch	OD: Outside Diameter		
		CONT: Continuous	EXT: Exterior		MD: Member	PBF: Prefabricated	OD: Outside Diameter		
		CJT: Control Joint			MMB: Membrane	PRF: Preformed	OD: Outside Diameter		
		CORR: Corrugated			MTL: Metal	PT: Pressure Treated	OD: Outside Diameter		
		CUFFT: Cubic Foot			MIN: Minimum	PL: Property Line	OD: Outside Diameter		
		CUYD: Cubic Yard			MIR: Mirror	PH: Toilet Paper Hanger	OD: Outside Diameter		
					MOD: Module	QTY: Quantity	OD: Outside Diameter		
					MLD: Moulding	QT: Quarry Tile	OD: Outside Diameter		
					MLB: Micro Laminat(e) Beam		OD: Outside Diameter		
					IN: Inch		OD: Outside Diameter		
					INCL: Include		OD: Outside Diameter		
					ID: Inside Diameter		OD: Outside Diameter		
					INT: Interior		OD: Outside Diameter		
					INV: Invert		OD: Outside Diameter		
					JNT: Joint		OD: Outside Diameter		
					JST: Joist		OD: Outside Diameter		

BLOCK A BOMA RESIDENTIAL AREA (BLOCK B IDENTICAL)			
Name	Level	Area Ft	Area m2
UNIT A-1	SEMI-BASEMENT	918 ft²	85 m²
UNIT A-1 (2ND)	GROUND LEVEL	693 ft²	64 m²
		1611 ft²	150 m²
UNIT A-2	SEMI-BASEMENT	892 ft²	83 m²
UNIT A-2 (2ND)	GROUND LEVEL	667 ft²	62 m²
		1559 ft²	145 m²
UNIT A-3	SEMI-BASEMENT	892 ft²	83 m²
UNIT A-3 (2ND)	GROUND LEVEL	667 ft²	62 m²
		1559 ft²	145 m²
UNIT A-4	SEMI-BASEMENT	892 ft²	83 m²
UNIT A-4 (2ND)	GROUND LEVEL	667 ft²	62 m²
		1559 ft²	145 m²
UNIT A-5	SEMI-BASEMENT	922 ft²	86 m²
UNIT A-5 (2ND)	GROUND LEVEL	678 ft²	63 m²
		1600 ft²	149 m²
UNIT A-6	2ND FLOOR - CEILING PLAN	793 ft²	74 m²
UNIT A-6 (2ND)	3RD FLOOR - CEILING PLAN	704 ft²	65 m²
		1497 ft²	139 m²
UNIT A-7	2ND FLOOR - CEILING PLAN	768 ft²	71 m²
UNIT A-7 (2ND)	3RD FLOOR - CEILING PLAN	684 ft²	64 m²
		1452 ft²	135 m²
UNIT A-8	2ND FLOOR - CEILING PLAN	768 ft²	71 m²
UNIT A-8 (2ND)	3RD FLOOR - CEILING PLAN	684 ft²	64 m²
		1452 ft²	135 m²
UNIT A-9	2ND FLOOR - CEILING PLAN	768 ft²	71 m²
UNIT A-9 (2ND)	3RD FLOOR - CEILING PLAN	684 ft²	64 m²
		1452 ft²	135 m²
UNIT A-10	2ND FLOOR - CEILING PLAN	768 ft²	71 m²
UNIT A-10 (2ND)	3RD FLOOR - CEILING PLAN	704 ft²	65 m²
		1491 ft²	139 m²
		15232 ft²	1415 m²

BLOCK A BOMA RESIDENTIAL AREA LEVELS (BLOCK B IDENTICAL)			
Level	Area Ft	Area m2	
SEMI-BASEMENT	4516 ft²	420 m²	
GROUND LEVEL	3372 ft²	313 m²	
2ND FLOOR - CEILING PLAN	3883 ft²	361 m²	
3RD FLOOR - CEILING PLAN	3460 ft²	321 m²	
	15232 ft²	1415 m²	

ONTARIO BUILDING CODE (OBC) CONFORMITY MATRIX PARTS 3 AND 9							OBC REFERENCES			
1	Project Description: 2 Stacked homes construction 20 units (10 each building) On Renaud RD, Orleans, OTTAWA, ON			New:	YES	Part 11: NO		Part 3: NO	Part 9: YES	
				Addition:	NO				2.1.1	
				Alteration:	NO					
				Change of use:	NO				9.10.1.3	
2	MAJOR OCCUPANCY(S)							3.1.2.1.(1)	9.10.2	
3	Building Area (m2): (PER BLOCK)	Existing:	0.00	New:	360.00	Total:	360.00	1.1.3.2	1.1.3.2	
4	Gross Area (m2): (PER BLOCK)	Existing:	0.00	New:	1040.00	Total:	1040.00	1.1.3.2	1.1.3.2	
5	Number of Storeys:	Above grade:	3	Below grade:	1			3.2.1.1 et 1.1.3.2	2.1.1.3	
6	Height of Building (m):		12.81m (15max)	3 STOREYS					2.1.1.3	
7	Number of Streets/Access Routes:		1					3.2.2.10 & 3.2.5.5		
8	Building Classification:		C					3.2.2.20-83	9.10.4	
9	Sprinkler System Proposed:		Not required					3.2.2.20-83, 3.2.1.5, 3.2.2.17	9.10.8	
10	Standpipe required:		NO					3.2.9		
11	Fire Alarm required:		NO					3.2.4	9.10.18.2	
12	Water Service/Supply is Adequate:		YES					3.2.5.7, 3.2.5.8		
13	High Building:		NO					3.2.6		
14	Permitted Construction:		All types					3.2.2.20-83	9.10.6	
14	Actual Construction:		Combustible							
15	Mezzanine(s) Area (m2):		n/a					3.2.1.1.(3)-(8)	9.10.4.1	
16	Occupant load based on:		building design					3.1.1.6, 3.1.17	9.9.1.3	
	Basement 1:	Occupancy:	0	Load:	2 Persons / BED		x2 for building B. These numbers only reflect building A			
	Level 1:	Occupancy:	20 (PER BLOCK)	Load:	2 Persons / BED					
	Level 2:	Occupancy:	0	Load:	2 Persons / BED					
	Level 3:	Occupancy:	30 (PER BLOCK)	Load:	2 Persons / BED					
17	Barrier-free Design:		NO	Explain:	9.5.2.2.(2)			3.8	9.5.2	
18	Hazardous Substances:		NO					3.3.1.2.(1) et 3.3.1.19(1)	9.10.1.3	
19	REQUIRED FIRE RESISTANCE RATING (FRR)							3.2.2.20-83 et 3.2.1.4	9.10.8, 9.10.9	
	Horizontal Assemblies FRR (Hours)			Listed Design No. or Description (SG-2)						
	Floors: combustible	Hours:	0.75	Table 9.10.8.1						
	Roof: combustible	Hours:	n/a	Table 9.10.8.1						
	Mezzani... combustible	Hours:	0.75	Table 9.10.8.1						
	FRR of Supporting Members			Listed Design No. or Description (SG-2)						
	Floors: combustible	Hours:	0.75	9.10.8.3.						
	Roof: combustible	Hours:	n/a							
	Mezzani... combustible	Hours:	0.75	9.10.8.3.						
20	SPATIAL SEPARATION - CONSTRUCTION OF EXTERIOR WALLS							3.2.3	9.10.14, 9.10.15	
	Wall	Area of EBF (m2)	L.D. (m)	L/H or H/L	Permitted Max. % of...	Proposed % of Openings	FRR	Listed Design or...	Non-comb....	Non-comb....
	North	tbd	10+	3:1 to 10:1	100%	tbd	N/A		combustible	combustible
	East	tbd	3.5	3:1 to 10:1	tbd	tbd	N/A		combustible	combustible
	South	tbd	10+	3:1 to 10:1	100%	tbd	N/A		combustible	combustible
	West	tbd	3.9	3:1 to 10:1	tbd	tbd	N/A		combustible	combustible
21	EXIT REQUIREMENTS							3.4.2.1, 3.4.3.5, 3.4.6.16	9.9, 9.9.8.2, 9.9.9.	
	Level	Minimum number of exists...	Minimum corridor...	Minimum ramp...	Minimum stair width	Minimum door opening...	Maximum distance of...	Maximum exit distance	Pushbar...	
	all	1	900mm	900mm	900mm	900mm	n/a	n/a	NO	

NOT FOR CONSTRUCTION /
PAS POUR CONSTRUCTION

This document and all information herein is confidential and the intellectual property of Rossmann Architecture Inc. It is disclosed in confidence on terms that it will not be disclosed to any third party, used, sold, loaned, licensed, or reproduced in whole or in any part in any manner or form for manufacturing, rendering or for any other purpose without the written permission of Rossmann Architecture Inc. The copyright is retained by Rossmann Architecture Inc.

Ce document, ainsi que tous renseignements contenus à l'intérieur, est la propriété de Rossmann Architecture Inc. Il est divulgué en confiance sous les termes qu'il ne sera pas divulgué à aucun tiers, utilisé, vendu, prêté, licencié ou reproduit en son entier ou en partie d'aucune manière pour la manufacture, soumission ou pour autres fins sans la permission écrite de Rossmann Architecture Inc. Le droit d'auteur est retenu par Rossmann Architecture Inc.

PROJECT TEAM / ÉQUIPE DU PROJET :

KEY PLAN / PLAN CLÉ :



CLIENT :



revision	description	date
1.4	ISSUED FOR 66%	23-02-24
1.2	City discussion	22-10-27
1.1	Issued for 33%	22-10-12

PROJECT NAME / NOM DU PROJET :

6001-6005 Renaud

DRAWING NAME / NOM DU DESSIN :

PROJECT DATA

DRAWING INFORMATION /
INFORMATION DU DESSIN :

PROJECT NO. / NO. DE PROJET : **22170**
DATE : **06/10/22**
DRAWN BY / DESSINÉ PAR : **E.T**
REVIEWED BY / VÉRIFIÉ PAR : **L.G**
SCALE / ÉCHELLE :
PROJECT PHASE / PHASE DU PROJET : **1**
DWG NO. / NO. DESSIN :

A001

REVISION NO. / NO. DE RÉVISION :

1.4

NOT FOR CONSTRUCTION /
PAS POUR CONSTRUCTION

This document and all information herein is confidential and the intellectual property of Rossmann Architecture Inc. It is disclosed in confidence on terms that it will not be disclosed to any third party, used, sold, loaned, licensed, or reproduced in whole or in any part in any manner or form for manufacturing, tendering or for any other purpose without the written permission of Rossmann Architecture Inc. The copyright is retained by Rossmann Architecture Inc.

Ce document, ainsi que tous renseignements contenus a l'intérieur, est la propriété de Rossmann Architecture Inc. Il est divulgué en confidence sous les termes qu'il ne sera pas divulgué a aucun tiers, utilisé, vendu, prêté, licencié ou reproduit en son entier ou en partie d'aucune manière pour la manufacture, soumission ou pour autres fins sans la permission écrite de Rossmann Architecture Inc. Le droit d'auteur est retenu par Rossmann Architecture Inc.

PROJECT TEAM / ÉQUIPE DU PROJET :

NOTE-A :
• ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS AND SPECIFICATIONS, INCLUDING OTHER CONSULTANTS DRAWINGS AND SPECIFICATIONS. ANY DISCREPANCIES BETWEEN DRAWINGS WILL BE REPORTED TO THE PROJECT LEAD IMMEDIATELY FOR CLARIFICATION PRIOR TO COMMENCING ANY CONSTRUCTION.

NOTE-B :
• ALL GENERAL SITE INFORMATION AND CONDITIONS HAVE BEEN COMPILED FROM EXISTING PLANS AND SURVEYS.

NOTE-C :
• CONTRACTOR IS RESPONSIBLE TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ALL ERRORS AND / OR OMISSIONS TO THE ARCHITECT.

NOTE-D :
• REFER TO LANDSCAPE PLAN FOR ALL EXTERIOR LANDSCAPING.

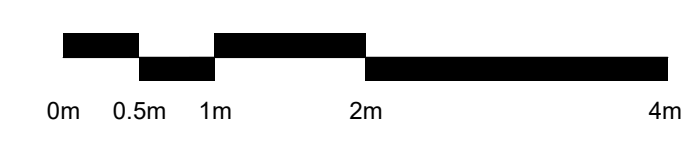
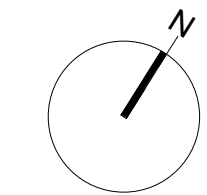
NOTE-E :
• DO NOT SCALE DRAWINGS.

NOTE-F :
• ALL CONTRACTORS MUST COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS.

GENERAL NOTES

SURVEY INFO

TOPOGRAPHIC SURVEY OF :



PROJECT INFORMATION

SITE SUMMARY

ADDRESS	6001-6005 RENAUD, OTTAWA, ON
PROPOSED ZONING	RAZ
SITE AREA	4598.69 m ²
PROPOSED USE	RESIDENTIAL
BUILDING AREA	720.00 m ²

ZONING SUMMARY

	REQUIRED	PROPOSED
LOT AREA	N/A	2913.14 m ²
LOT WIDTH	N/A	76.12 m
MAX. BUILDING HEIGHT	15.00 m	12.02 m
MAX. PARAPET HEIGHT	N/A	N/A
SET BACKS :		
- FRONT YARD	3.00 m	5.39 m
- CORNER SIDE YARD	3.00 m (min.)	N/A
- INTERIOR SIDE YARD	3.00 m / 6.00 m	3.14 m
- REAR YARD	6.00 m	17.52 m
- ADDITIONAL REQ	N/A	N/A
MIN LANDSCAPED AREA	30% OF LOT	35% (1021.6 m ²)

VEHICULAR PARKING

	REQUIRED	PROPOSED
MIN PARKING SPACES	24	24 (10 int)
MIN VISITOR PARKING SPACES	4	4
MIN ACCESSIBLE PRKG SPACES (incl. in count)	1	1

BICYCLE PARKING

	REQUIRED	PROPOSED
MIN PARKING SPACES	5	8

WASTE CONTAINERS

	REQUIRED	PROPOSED
GARBAGE (0.231 y ³ / unit)	5	6
RECYCLING (GMP) (0.018 y ³ / unit)	2	2
RECYCLING FIBRE (0.062 y ³ / unit)	2	2
ORGANICS (L)	240	240

AMENITY AREA

	REQUIRED	PROPOSED
PRIVATE	60.00 m ²	151.00 m ² BALCONIES
COMMUNAL	60.00 m ²	107.00 m ² EXTERIOR

BUILDING SUMMARY

	UNITS	GFA - GRC
SEMI-BASEMENT	20	420.00 m ²
GROUND		313.00 m ²
LEVEL 2		361.00 m ²
LEVEL 3	20	321.00 m ²

SITE CONTEXT



LEGEND

- PROPOSED GRASS
- RIVERSTONE
- CONCRETE PAVERS
- POURED CONCRETE
- ASPHALT PAVING
- PROPOSED NEW BUILDING
- CONCRETE RETAINING WALL
- EXISTING BUILDING TO BE DEMOLISHED

LINES

- PROPERTY LINE
- SETBACK LINE
- EXISTING FENCE
- NEW FENCE
- OVERHEAD WIRES

VEGETATION

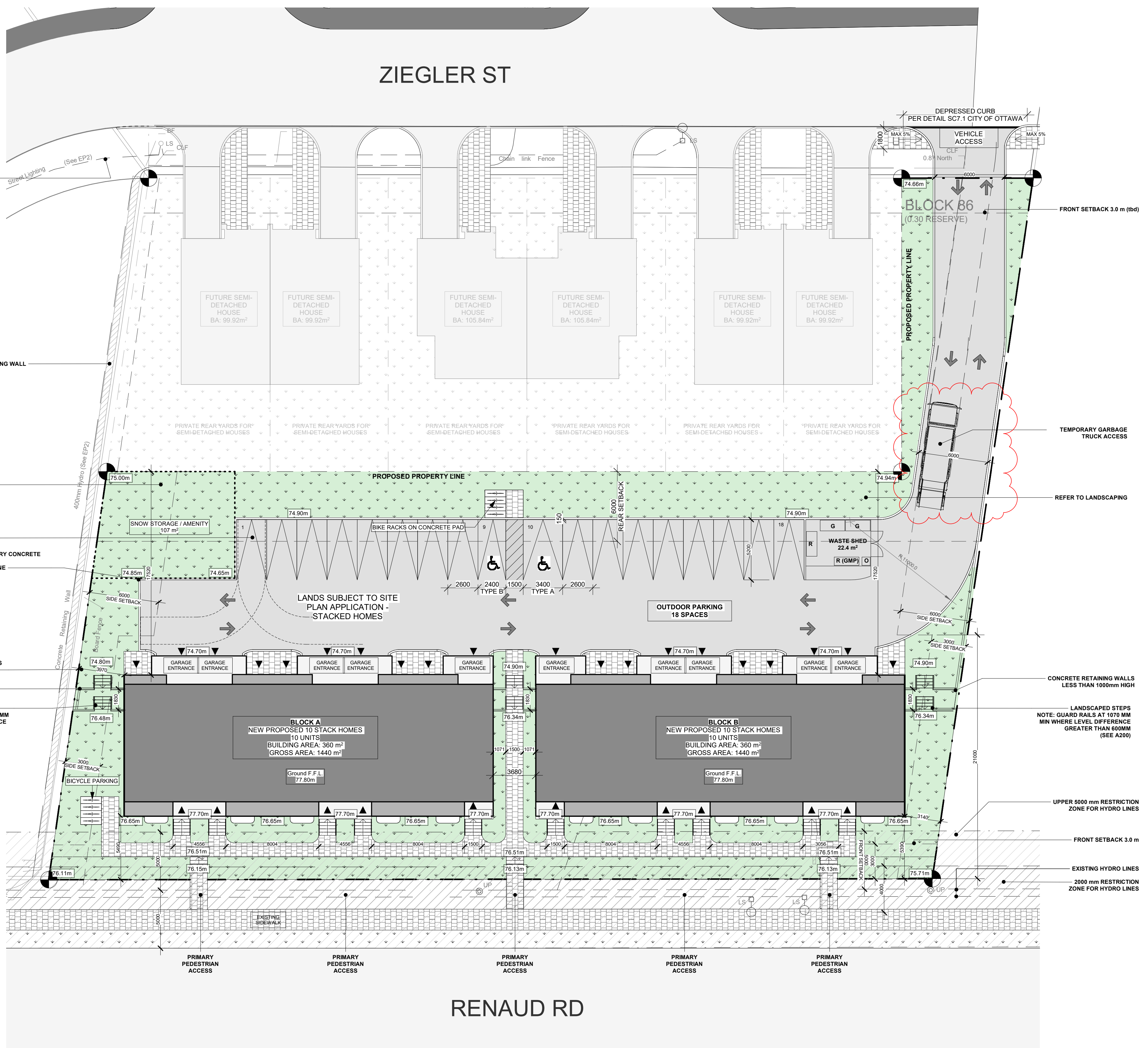
- TREE: EXISTING TO REMAIN
- TREE: EXISTING TO BE REMOVED
- TREE: NEW PROPOSED
- SHRUB: NEW PROPOSED

SYMBOLS

- DIRECTIONAL ARROWS
- BUILDING ACCESS
- BUILDING EGRESS
- SIAMESE CONNECTION
- UTILITY POLE
- FIRE HYDRANT
- CATCH BASIN / MANHOLE
- DEPRESSED CURB
- LANDSCAPE LIGHT
- LIGHT POLE
- EXISTING GRADE ELEVATION
- PROPOSED GRADE ELEVATION
- LOT CORNERS

PARKING

- BIKE PARKING
- CAR PARKING
- R- RESIDENTIAL
- V- VISITOR
- BF PARKING (TYPE A)
- R- RESIDENTIAL
- V- VISITOR
- BF PARKING (TYPE B)
- R- RESIDENTIAL
- V- VISITOR



1 SITE PLAN
A050 1:200

KEY PLAN / PLAN CLÉ :



CLIENT :



revision	description	date
1.11	SPC REVISION	24-04-05
1.10	SPC REVISION	23-12-15
1.9	SPC REVISION	23-10-06
1.8	ISSUED FOR SPC	23-06-27
1.7	ISSUED FOR SPC	23-04-28
1.6	ISSUED FOR SPC	23-04-05
1.4	ISSUED FOR 66%	23-02-24
1.3	City discussion	22-11-16
1.2	City discussion	22-10-27
1.1	Issued for 33%	22-10-12
1.0	SITE PLAN	22-10-11

PROJECT NAME / NOME DU PROJET :

6001-6005 Renaud

DRAWING NAME / NOM DU DESSIN :

SITE PLAN

DRAWING INFORMATION / INFORMATION DU DESSIN :

PROJECT NO. / NO. DE PROJET : **22170**
DATE : **2023-06-27**
DRAWN BY / DESSINÉ PAR : **E.T.**
REVIEWED BY / VÉRIFIÉ PAR : **L.G.**
SCALE / ÉCHELLE : **As indicated**
PROJECT PHASE / PHASE DU PROJET : **1**
DWG NO. / NO. DESSIN : **A050**

REVISION NO. / NO. DE RÉVISION : **1.11**

NOT FOR CONSTRUCTION,
PAS POUR CONSTRUCTION

This document and all information herein is confidential and the intellectual property of Rossmann Architecture Inc. It is disclosed in confidence on terms that it will not be disclosed to any third party, used, sold, loaned, licensed, or reproduced in whole or in any part in any manner or form for manufacturing, tending or for any other purpose without the written permission of Rossmann Architecture Inc. The copyright is retained by Rossmann Architecture Inc.

Ce document, ainsi que tous renseignements contenus a l'intérieur, est la propriété de Rossmann Architecture Inc. Il est divulgué en confidence sous les termes qu'il ne sera pas divulgué a aucun tiers, utilisé, vendu, prêté, licencié ou reproduit en son entier ou en partie d'aucune manière pour la manufacture, soumission ou pour autres fins sans la permission écrite de Rossmann Architecture Inc. Le droit d'auteur est retenu par Rossmann Architecture Inc.

PROJECT TEAM / ÉQUIPE DU PROJET :

KEY PLAN / PLAN CLÉ :



CLIENT :



revision	description	date
1.4	ISSUED FOR 66%	23-02-24
1.2	City discussion	22-10-27
1.1	Issued for 33%	22-10-12

PROJECT NAME / NOM DU PROJET :

6001-6005 Renaud

DRAWING NAME / NOM DU DESSIN :

BLOCK-A- SEMI BASEMENT FLOOR PLAN

DRAWING INFORMATION / INFORMATION DU DESSIN :

PROJECT NO. / NO. DE PROJET : **22170**

DATE : **2023-02-24**

DRAWN BY / DESSINÉ PAR : **ET**

REVIEWED BY / VÉRIFIÉ PAR : **LG**

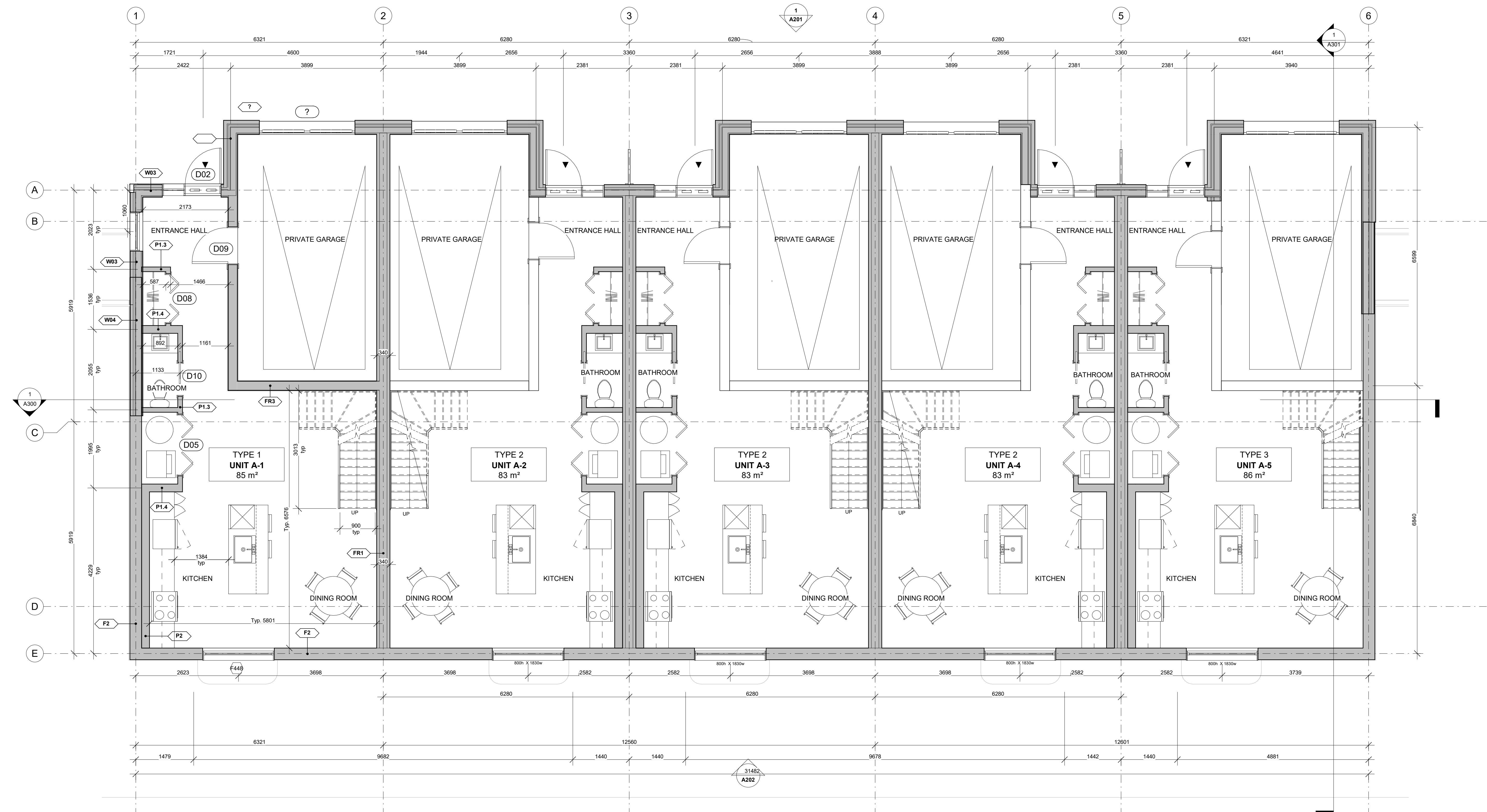
SCALE / ÉCHELLE : **1 : 50**

PROJECT PHASE / PHASE DU PROJET : **1**

DWG NO. / NO. DESSIN :

A100.1

REVISION NO. / NO. DE RÉVISION : **1.4**



1 BLOCK-A-SEMI BASEMENT FLOOR PLAN
A100.1 1 : 50

NOT FOR CONSTRUCTION,
PAS POUR CONSTRUCTION

This document and all information herein is confidential and the intellectual property of Rossmann Architecture Inc. It is disclosed in confidence on terms that it will not be disclosed to any third party, used, sold, loaned, licensed, or reproduced in whole or in any part in any manner or form for manufacturing, rendering or for any other purpose without the written permission of Rossmann Architecture Inc. The copyright is retained by Rossmann Architecture Inc.

Ce document, ainsi que tous renseignements contenus a l'intérieur, est la propriété de Rossmann Architecture Inc. Il est divulgué en confidence sous les termes qu'il ne sera pas divulgué a aucun tiers, utilisé, vendu, prêté, licencié ou reproduit en son entier ou en partie d'aucune manière pour la manufacture, soumission ou pour autres fins sans la permission écrite de Rossmann Architecture Inc. Le droit d'auteur est retenu par Rossmann Architecture Inc.

PROJECT TEAM / ÉQUIPE DU PROJET :

KEY PLAN / PLAN CLÉ :



CLIENT :



revision	description	date
1.4	ISSUED FOR 66%	23-02-24
1.2	City discussion	22-10-27
1.1	Issued for 33%	22-10-12

PROJECT NAME / NOM DU PROJET :

6001-6005 Renaud

DRAWING NAME / NOM DU DESSIN :

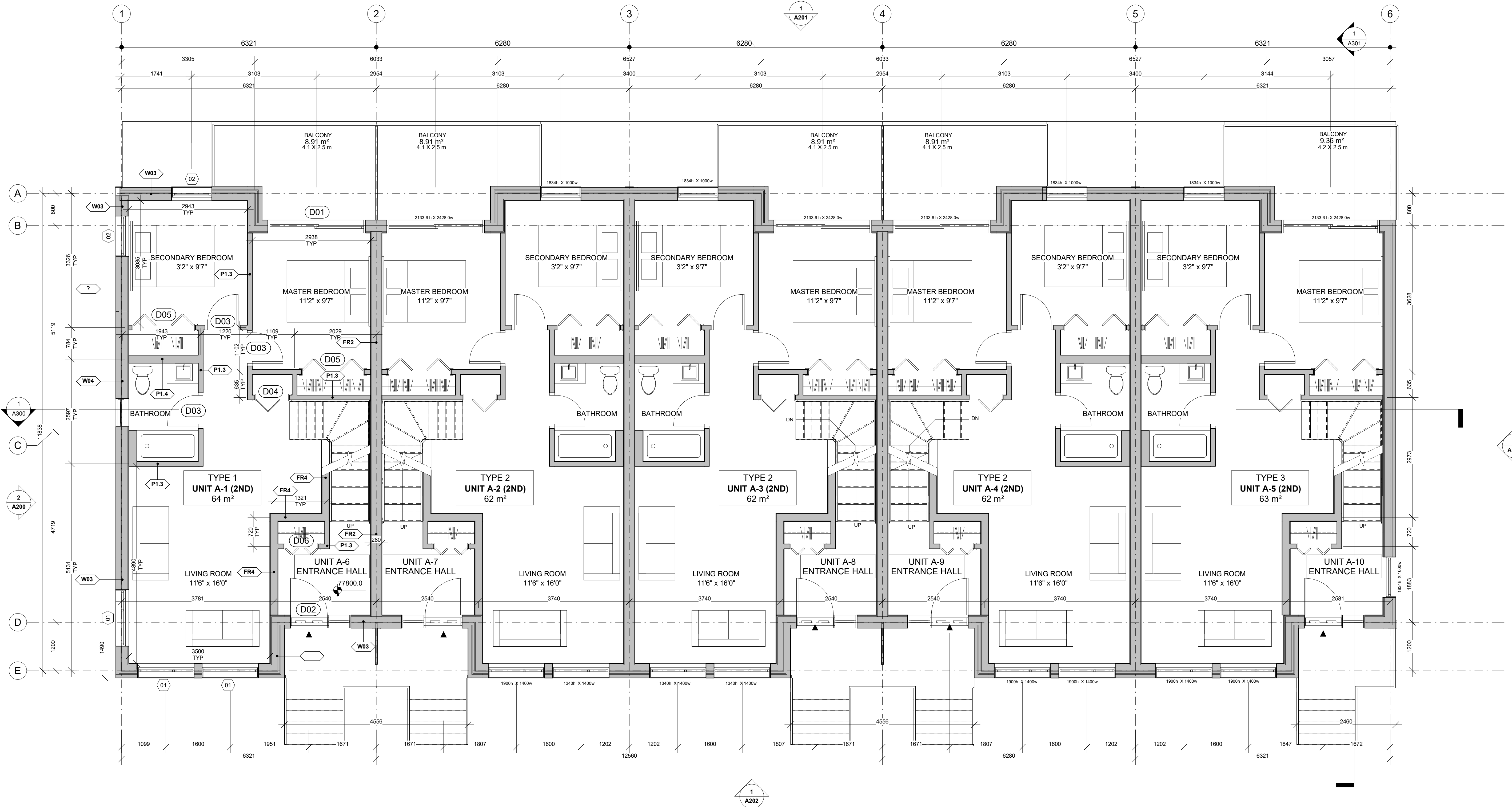
BLOCK-A- GROUND FLOOR PLAN

DRAWING INFORMATION / INFORMATION DU DESSIN :

PROJECT NO. / NO. DE PROJET : **22170**
DATE : **2023-02-24**
DRAWN BY / DESSINÉ PAR : **ET**
REVIEWED BY / VÉRIFIÉ PAR : **LG**
SCALE / ÉCHELLE : **1 : 50**
PROJECT PHASE / PHASE DU PROJET : **1**
DWG NO. / NO. DESSIN : **A101**

A101

REVISION NO. / NO. DE RÉVISION : **1.4**



1 BLOCK-A-GROUND FLOOR PLAN
A101 1 : 50

NOT FOR CONSTRUCTION,
PAS POUR CONSTRUCTION

This document and all information herein is confidential and the intellectual property of Rossmann Architecture Inc. It is disclosed in confidence on terms that it will not be disclosed to any third party, used, sold, loaned, licensed, or reproduced in whole or in any part in any manner or form for manufacturing, rendering or for any other purpose without the written permission of Rossmann Architecture Inc. The copyright is retained by Rossmann Architecture Inc.

Ce document, ainsi que tous renseignements contenus a l'intérieur, est la propriété de Rossmann Architecture Inc. Il est divulgué en confiance sous les termes qu'il ne sera pas divulgué a aucun tiers, utilisé, vendu, prêté, licencié ou reproduit en son entier ou en partie d'aucune manière pour la manufacture, soumission ou pour autres fins sans la permission écrite de Rossmann Architecture Inc. Le droit d'auteur est retenu par Rossmann Architecture Inc.

PROJECT TEAM / ÉQUIPE DU PROJET :

KEY PLAN / PLAN CLÉ :



CLIENT :



DINING ROOM

revision	description	date
1.4	ISSUED FOR 66%	23-02-24
1.2	City discussion	22-10-27
1.1	Issued for 33%	22-10-12

PROJECT NAME / NOM DU PROJET :

6001-6005 Renaud

DRAWING NAME / NOM DU DESSIN :

BLOCK-A- 2nd FLOOR PLAN

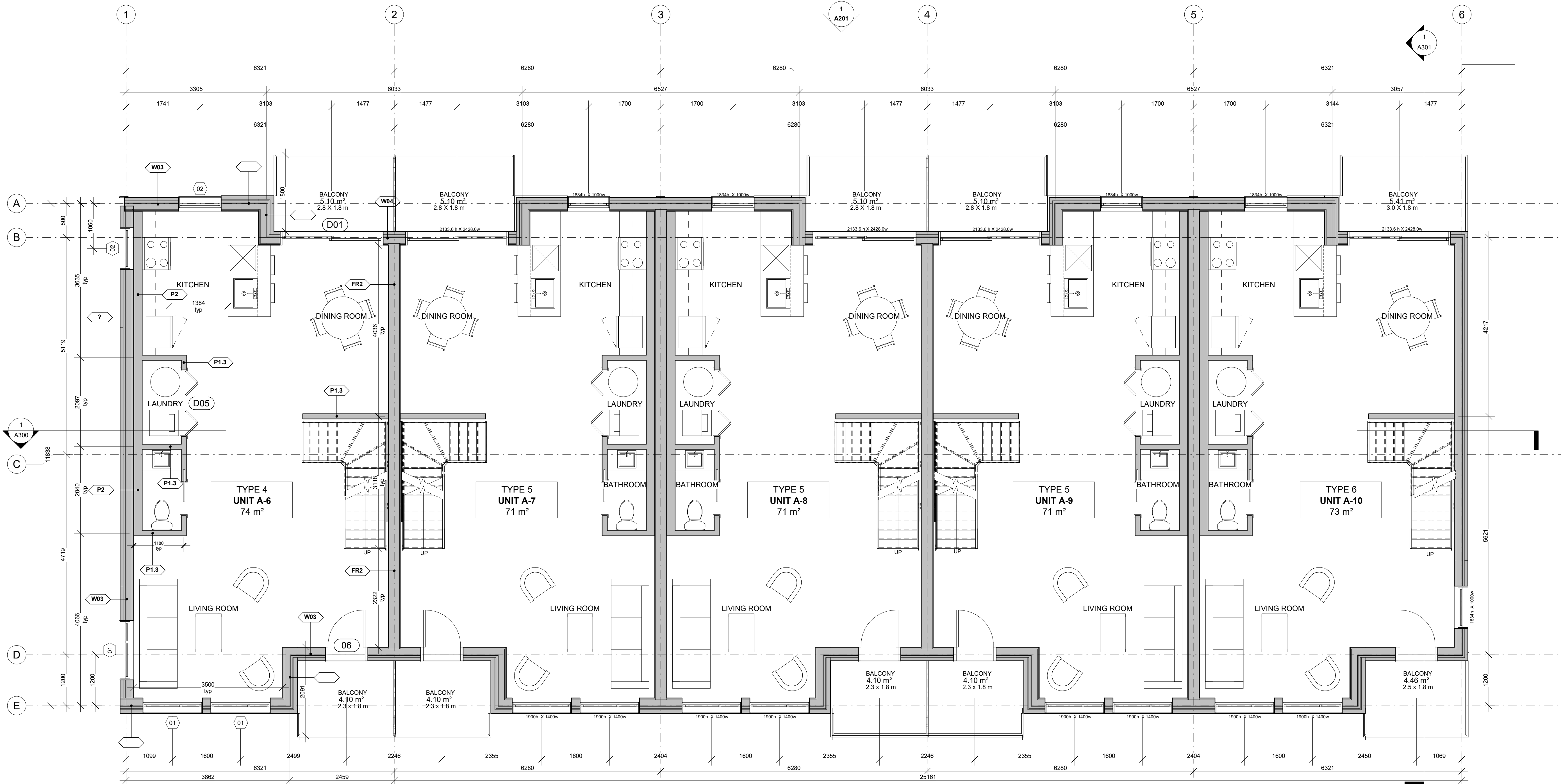
DRAWING INFORMATION / INFORMATION DU DESSIN :

PROJECT NO. / NO. DE PROJET : **22170**
DATE : **2023-02-24**
DRAWN BY / DESSINÉ PAR : **ET**
REVIEWED BY / VÉRIFIÉ PAR : **LG**
SCALE / ÉCHELLE : **1 : 50**
PROJECT PHASE / PHASE DU PROJET : **1**
DWG NO. / NO. DESSIN :

A102

REVISION NO. / NO. DE RÉVISION :

1.4



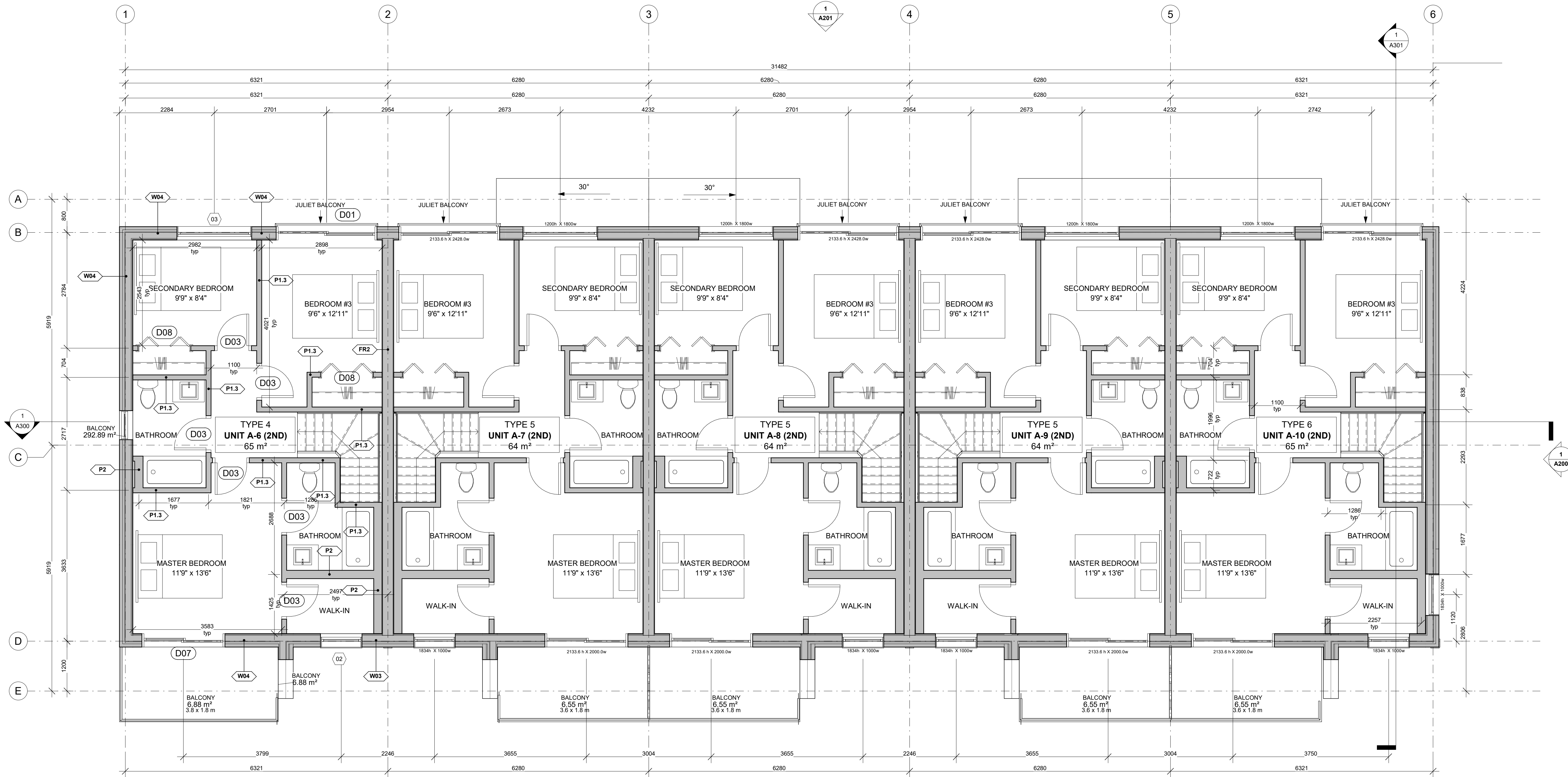
1 BLOCK-A-2nd FLOOR PLAN
A102 1 : 50

NOT FOR CONSTRUCTION,
PAS POUR CONSTRUCTION

This document and all information herein is confidential and the intellectual property of Rossmann Architecture Inc. It is disclosed in confidence on terms that it will not be disclosed to any third party, sold, loaned, licensed, or reproduced in whole or in any part in any manner or form for manufacturing, rendering or for any other purpose without the written permission of Rossmann Architecture Inc. The copyright is retained by Rossmann Architecture Inc.

Ce document, ainsi que tous renseignements contenus a l'intérieur, est la propriété de Rossmann Architecture Inc. Il est divulgué en confiance sous les termes qu'il ne sera pas divulgué a aucun tiers, utilisé, vendu, prêté, licencié ou reproduit en son entier ou en partie d'aucune manière pour la manufacture, soumission ou pour autres fins sans la permission écrite de Rossmann Architecture Inc. Le droit d'auteur est retenu par Rossmann Architecture Inc.

PROJECT TEAM / ÉQUIPE DU PROJET :



1 BLOCK-A-3rd FLOOR PLAN
A103 1:50

KEY PLAN / PLAN CLÉ :



CLIENT :



revision	description	date
1.4	ISSUED FOR 66%	23-02-24
1.2	City discussion	22-10-27
1.1	Issued for 33%	22-10-12

PROJECT NAME / NOM DU PROJET :

6001-6005 Renaud

DRAWING NAME / NOM DU DESSIN :

BLOCK-A- 3rd FLOOR PLAN

DRAWING INFORMATION / INFORMATION DU DESSIN :

PROJECT NO. / NO. DE PROJET : **22170**
DATE : **2023-02-24**
DRAWN BY / DESSINÉ PAR : **ET**
REVIEWED BY / VÉRIFIÉ PAR : **LG**
SCALE / ÉCHELLE : **1 : 50**
PROJECT PHASE / PHASE DU PROJET : **1**

DWG NO. / NO. DESSIN :

A103

REVISION NO. / NO. DE RÉVISION :

1.4

NOT FOR CONSTRUCTION /
PAS POUR CONSTRUCTION

This document and all information herein is confidential and the intellectual property of Rossmann Architecture Inc. It is disclosed in confidence on terms that it will not be disclosed to any third party, used, sold, loaned, licensed, or reproduced in whole or in any part in any manner or form for manufacturing, rendering or for any other purpose without the written permission of Rossmann Architecture Inc. The copyright is retained by Rossmann Architecture Inc.

Ce document, ainsi que tous renseignements contenus a l'intérieur, est la propriété de Rossmann Architecture Inc. Il est divulgué en confidence sous les termes qu'il ne sera pas divulgué a aucun tiers, utilisé, vendu, prêté, licencié ou reproduit en son entier ou en partie d'aucune manière pour la manufacture, soumission ou pour autres fins sans la permission écrite de Rossmann Architecture Inc. Le droit d'auteur est retenu par Rossmann Architecture Inc.

PROJECT TEAM / ÉQUIPE DU PROJET :

KEY PLAN / PLAN CLÉ :



CLIENT :



revision	description	date
1.4	ISSUED FOR 66%	23-02-24
1.2	City discussion	22-10-27
1.1	Issued for 33%	22-10-12

PROJECT NAME / NOM DU PROJET :

6001-6005 Renaud

DRAWING NAME / NOM DU DESSIN :

BLOCK-A- ROOF PLAN

DRAWING INFORMATION /
INFORMATION DU DESSIN :

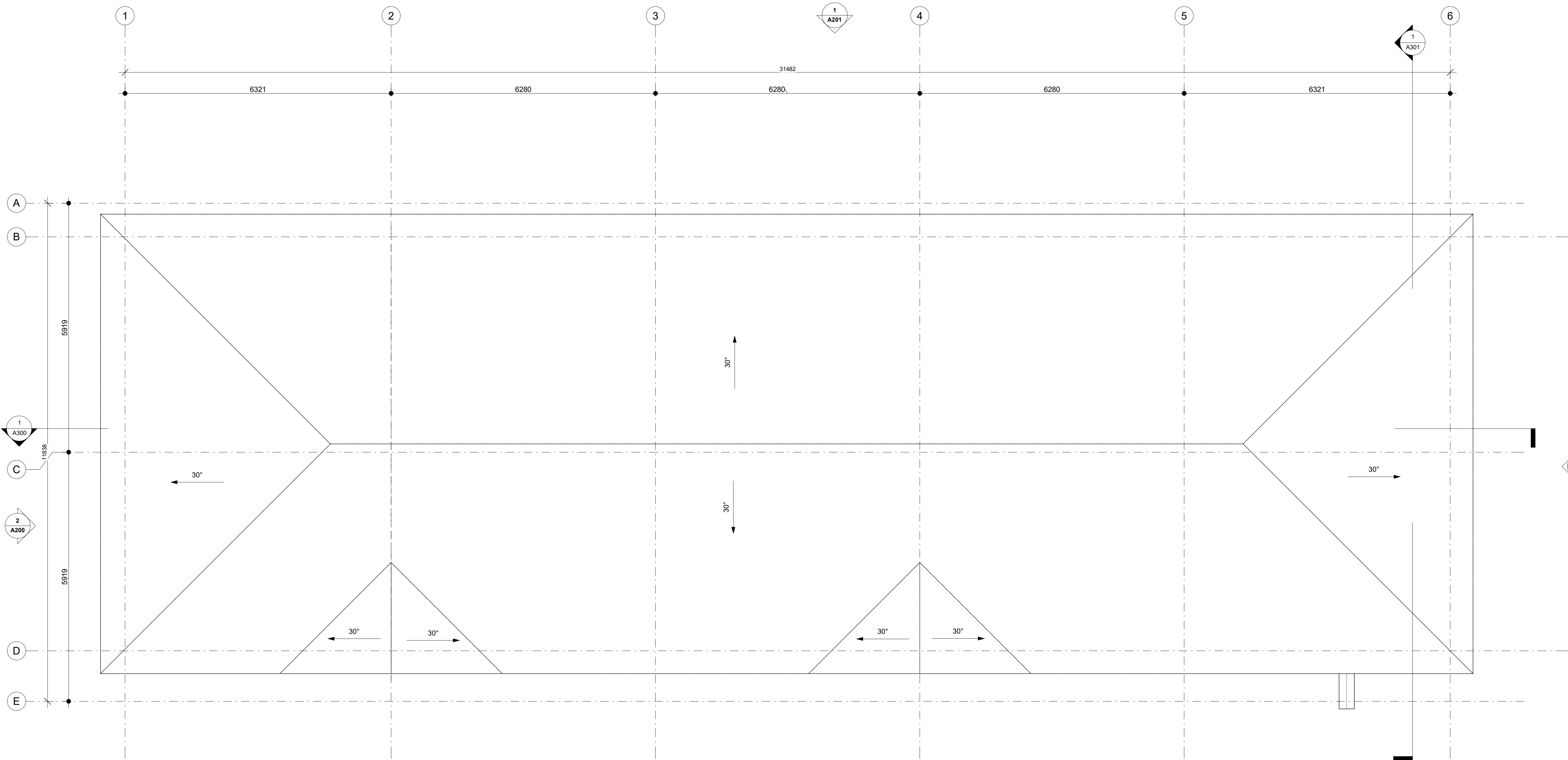
PROJECT NO. / NO. DE PROJET : **22170**
DATE : **2023-02-24**
DRAWN BY / DESSINÉ PAR : **ET**
REVIEWED BY / VÉRIFIÉ PAR : **LG**
SCALE / ÉCHELLE : **1 : 50**
PROJECT PHASE / PHASE DU PROJET : **1**

DWG NO. / NO. DESSIN :

A110

REVISION NO. / NO. DE RÉVISION :

1.4



1 BLOCK-A-ROOF PLAN
A110 1 : 50

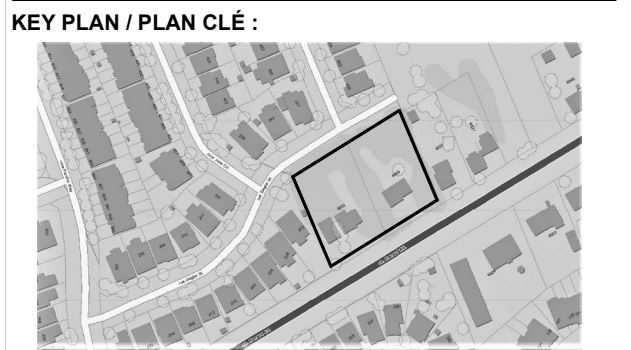
1
A202

NOT FOR CONSTRUCTION /
PAS POUR CONSTRUCTION

This document and all information herein is confidential and the intellectual property of Rossmann Architecture Inc. It is disclosed in confidence on terms that it will not be disclosed to any third party, used, sold, loaned, licensed, or reproduced in whole or in any part in any manner or form for manufacturing, rendering or for any other purpose without the written permission of Rossmann Architecture Inc. The copyright is retained by Rossmann Architecture Inc.

Ce document, ainsi que tous renseignements contenus à l'intérieur, est la propriété de Rossmann Architecture Inc. Il est divulgué en confiance sous les termes qu'il ne sera pas divulgué à aucun tiers, utilisé, vendu, prêté, licencié ou reproduit en son entier ou en partie d'aucune manière pour la manufacture, soumission ou pour autres fins sans la permission écrite de Rossmann Architecture Inc. Le droit d'auteur est retenu par Rossmann Architecture Inc.

PROJECT TEAM / ÉQUIPE DU PROJET :



revision	description	date
1.12	Cladding Change	24-04-10
1.8	ISSUED FOR SPC	23-06-27
1.7	ISSUED FOR SPC	23-04-28
1.4	ISSUED FOR 66%	23-02-24
1.2	City discussion	22-10-27
1.1	Issued for 33%	22-10-12

PROJECT NAME / NOM DU PROJET :

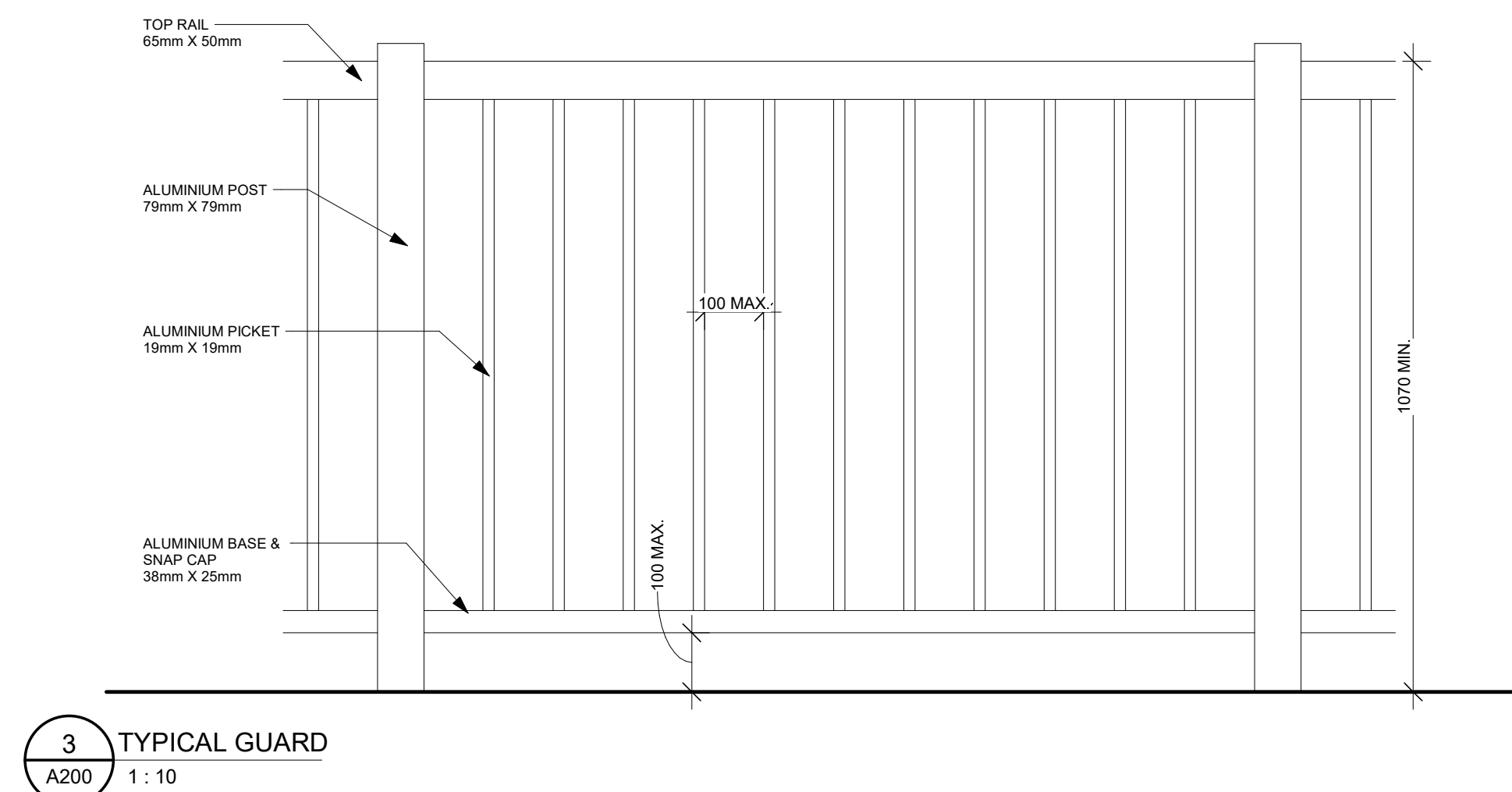
6001-6005 Renaud

DRAWING NAME / NOM DU DESSIN :
BLOCK-A-PROPOSED EAST AND WEST ELEVATION

DRAWING INFORMATION / INFORMATION DU DESSIN :

PROJECT NO. / NO. DE PROJET : **22170**
DATE : **2023-06-27**
DRAWN BY / DESSINÉ PAR : **ET**
REVIEWED BY / VÉRIFIÉ PAR : **LG**
SCALE / ÉCHELLE : **As indicated**
PROJECT PHASE / PHASE DU PROJET : **1**
DWG NO. / NO. DESSIN : **A200**

REVISION NO. / NO. DE RÉVISION : **1.12**



ENVELOPE MATERIAL LEGEND

	S-1 FIBRE CEMENT PANELS
	V-1 VINYLE CLADDING
	V-2 VINYLE CLADDING
	M-1 FIBRE CEMENT PANELS

Note 1 - exterior finish
Note 2 - unless otherwise indicated

NOT FOR CONSTRUCTION
PAS POUR CONSTRUCTION

This document and all information herein is confidential and the intellectual property of Rossmann Architecture Inc. It is disclosed in confidence on terms that it will not be disclosed to any third party, used, sold, loaned, licensed, or reproduced in whole or in any part in any manner or form for manufacturing, rendering or for any other purpose without the written permission of Rossmann Architecture Inc. The copyright is retained by Rossmann Architecture Inc.

Ce document, ainsi que tous renseignements contenus a l'intérieur, est la propriété de Rossmann Architecture Inc. Il est divulgué en confidence sous les termes qu'il ne sera pas divulgué a aucun tiers, utilisé, vendu, prêté, licencié ou reproduit en son entier ou en partie d'aucune manière pour la manufacture, soumission ou pour autres fins sans la permission écrite de Rossmann Architecture Inc. Le droit d'auteur est retenu par Rossmann Architecture Inc.

PROJECT TEAM / ÉQUIPE DU PROJET :

90775.0 (14.165 m)
TO ROOF

87280.0 (10.670 m)
ROOF

84280.0 (7.670 m)
3RD FLOOR - CEILING PLAN

81040.0 (4.430 m)
2ND FLOOR - CEILING PLAN

77800.0 (1.190 m)
GROUND LEVEL

76650.0 (0.040 m)
GRADE LEVEL SOUTH

75775.0 (-0.835 m)
GRADE AVERAGE

74950.0 (-1.660 m)
SEMI-BASEMENT

74900.0
GRADE LEVEL NORTH



KEY PLAN / PLAN CLÉ :



CLIENT :



revision	description	date
1.12	Cladding Change	24-04-10
1.7	ISSUED FOR SPC	23-04-28
1.4	ISSUED FOR 66%	23-02-24
1.2	City discussion	22-10-27
1.1	Issued for 33%	22-10-12

PROJECT NAME / NOM DU PROJET :

6001-6005 Renaud

DRAWING NAME / NOM DU DESSIN :

**BLOCK-A-PROPOSED
NORTH ELEVATION**

DRAWING INFORMATION /
INFORMATION DU DESSIN :

PROJECT NO. / NO. DE PROJET : **22170**
DATE : **2023-04-28**
DRAWN BY / DESSINÉ PAR : **ET**
REVIEWED BY / VÉRIFIÉ PAR : **LG**
SCALE / ÉCHELLE : **1 : 50**
PROJECT PHASE / PHASE DU PROJET : **1**
DWG NO. / NO. DESSIN : **A201**

REVISION NO. / NO. DE RÉVISION :

1.12

#18659

ENVELOPE MATERIAL LEGEND

S-1 FIBRE CEMENT PANELS

V-1 VINYLE CLADDING

V-2 VINYLE CLADDING

M-1 FIBRE CEMENT PANELS

Note 1 - exterior finish

Note 2 - unless otherwise indicated

1 BLOCK-A- PROPOSED NORTH ELEVATION
A201 1 : 50

NOT FOR CONSTRUCTION
PAS POUR CONSTRUCTION

This document and all information herein is confidential and the intellectual property of Rossmann Architecture Inc. It is disclosed in confidence on terms that it will not be disclosed to any third party, used, sold, loaned, licensed, or reproduced in whole or in any part in any manner or form for manufacturing, rendering or for any other purpose without the written permission of Rossmann Architecture Inc. The copyright is retained by Rossmann Architecture Inc.

Ce document, ainsi que tous renseignements contenus à l'intérieur, est la propriété de Rossmann Architecture Inc. Il est divulgué en confidence sous les termes qu'il ne sera pas divulgué à aucun tiers, utilisé, vendu, prêté, licencié ou reproduit en son entier ou en partie d'aucune manière pour la manufacture, soumission ou pour autres fins sans la permission écrite de Rossmann Architecture Inc. Le droit d'auteur est retenu par Rossmann Architecture Inc.

PROJECT TEAM / ÉQUIPE DU PROJET :



KEY PLAN / PLAN CLÉ :



CLIENT :



revision	description	date
1.12	Cladding Change	24-04-10
1.7	ISSUED FOR SPC	23-04-28
1.4	ISSUED FOR 66%	23-02-24
1.2	City discussion	22-10-27
1.1	Issued for 33%	22-10-12

PROJECT NAME / NOM DU PROJET :

6001-6005 Renaud

DRAWING NAME / NOM DU DESSIN :

BLOCK-A-PROPOSED SOUTH ELEVATION

DRAWING INFORMATION / INFORMATION DU DESSIN :

PROJECT NO. / NO. DE PROJET : **22170**
DATE : **2023-04-28**
DRAWN BY / DESSINÉ PAR : **ET**
REVIEWED BY / VÉRIFIÉ PAR : **LG**
SCALE / ÉCHELLE : **1 : 50**
PROJECT PHASE / PHASE DU PROJET : **1**
DWG NO. / NO. DESSIN : **A202**

REVISION NO. / NO. DE RÉVISION :

1.12

#18659

1 BLOCK-A- PROPOSED SOUTH ELEVATION
A202 1 : 50

ENVELOPE MATERIAL LEGEND

S-1 FIBRE CEMENT PANELS

V-1 VINYLE CLADDING

V-2 VINYLE CLADDING

M-1 FIBRE CEMENT PANELS

Note 1 - exterior finish

Note 2 - unless otherwise indicated

NOT FOR CONSTRUCTION
PAS POUR CONSTRUCTION

This document and all information herein is confidential and the intellectual property of Rossmann Architecture Inc. It is disclosed in confidence on terms that it will not be disclosed to any third party, used, sold, loaned, licensed, or reproduced in whole or in any part in any manner or form for manufacturing, rendering or for any other purpose without the written permission of Rossmann Architecture Inc. The copyright is retained by Rossmann Architecture Inc.

Ce document, ainsi que tous renseignements contenus a l'intérieur, est la propriété de Rossmann Architecture Inc. Il est divulgué en confiance sous les termes qu'il ne sera pas divulgué a aucun tiers, utilisé, vendu, prêté, licencié ou reproduit en son entier ou en partie d'aucune manière pour la manufacture, soumission ou pour autres fins sans la permission écrite de Rossmann Architecture Inc. Le droit d'auteur est retenu par Rossmann Architecture Inc.

PROJECT TEAM / ÉQUIPE DU PROJET :

KEY PLAN / PLAN CLÉ :



CLIENT :



revision	description	date
1.7	ISSUED FOR SPC	23-04-28
1.4	ISSUED FOR 66%	23-02-24
1.2	City discussion	22-10-27
1.1	Issued for 33%	22-10-12

PROJECT NAME / NOME DU PROJET :

6001-6005 Renaud

DRAWING NAME / NOM DU DESSIN :

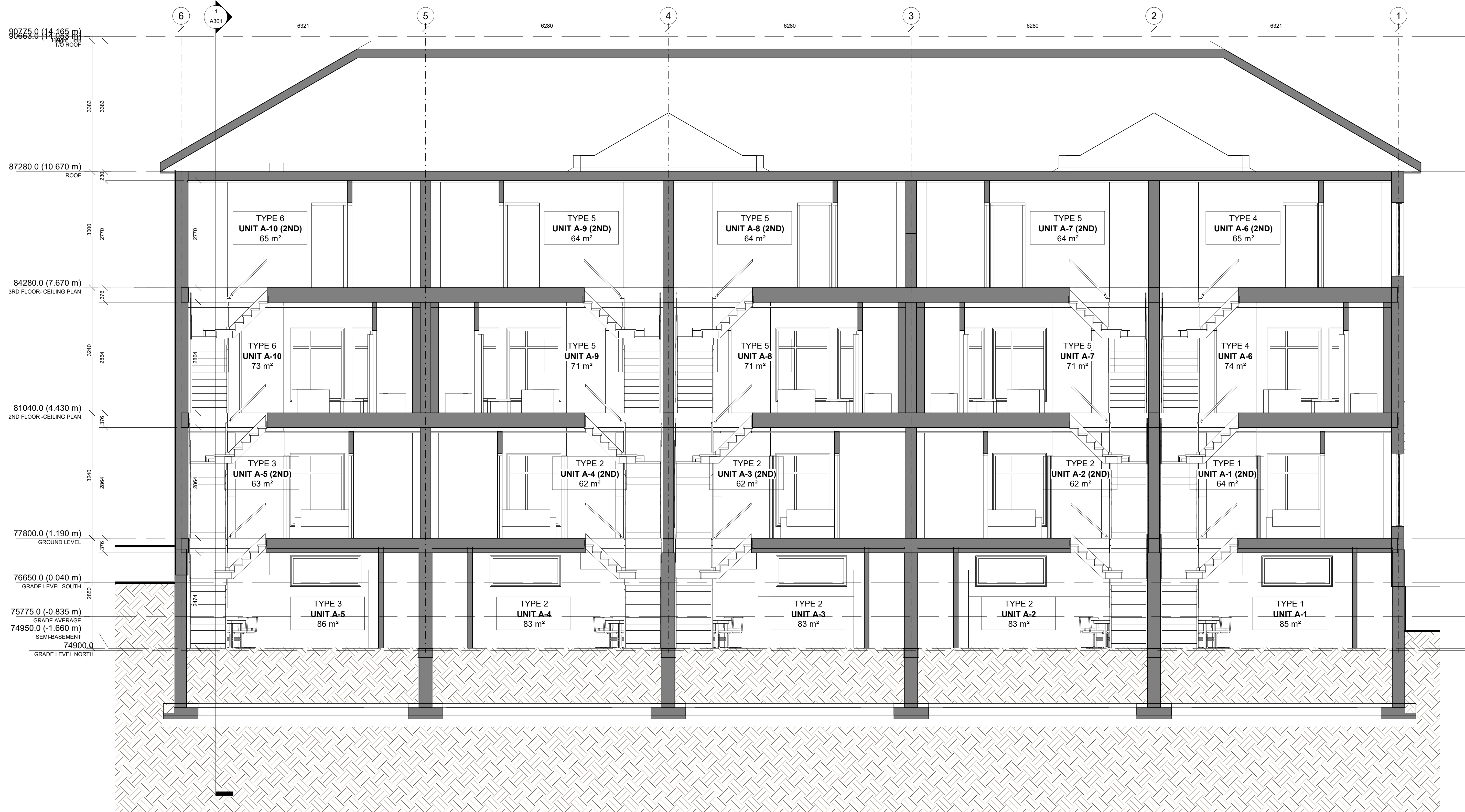
GENERAL CROSS SECTION

DRAWING INFORMATION / INFORMATION DU DESSIN :

PROJECT NO. / NO. DE PROJET :	22170
DATE :	2023-04-28
DRAWN BY / DESSINÉ PAR :	ET
REVIEWED BY / VÉRIFIÉ PAR :	LG
SCALE / ÉCHELLE :	1 : 50
PROJECT PHASE / PHASE DU PROJET :	1
DWG NO. / NO. DESSIN :	A300

REVISION NO. / NO. DE RÉVISION :

1.7



1 GENERAL CROSS SECTION
A300 1 : 50

NOT FOR CONSTRUCTION
PAS POUR CONSTRUCTION

This document and all information herein is confidential and the intellectual property of Rossmann Architecture Inc. It is disclosed in confidence on terms that it will not be disclosed to any third party, used, sold, loaned, licensed, or reproduced in whole or in any part in any manner or form for manufacturing, rendering or for any other purpose without the written permission of Rossmann Architecture Inc. The copyright is retained by Rossmann Architecture Inc.

Ce document, ainsi que toute information contenue à l'intérieur, est la propriété de Rossmann Architecture Inc. Il est divulgué en confiance sous les termes qu'il ne sera pas divulgué à aucun tiers, utilisé, vendu, prêté, licencié ou reproduit en son entier ou en partie d'aucune manière pour la manufacture, soumission ou pour autres fins sans la permission écrite de Rossmann Architecture Inc. Le droit d'auteur est retenu par Rossmann Architecture Inc.

PROJECT TEAM / ÉQUIPE DU PROJET :

KEY PLAN / PLAN CLÉ :



CLIENT :



revision	description	date
1.7	ISSUED FOR SPC	23-04-28
1.4	ISSUED FOR 66%	23-02-24
1.2	City discussion	22-10-27
1.1	Issued for 33%	22-10-12

PROJECT NAME / NOME DU PROJET :

6001-6005 Renaud

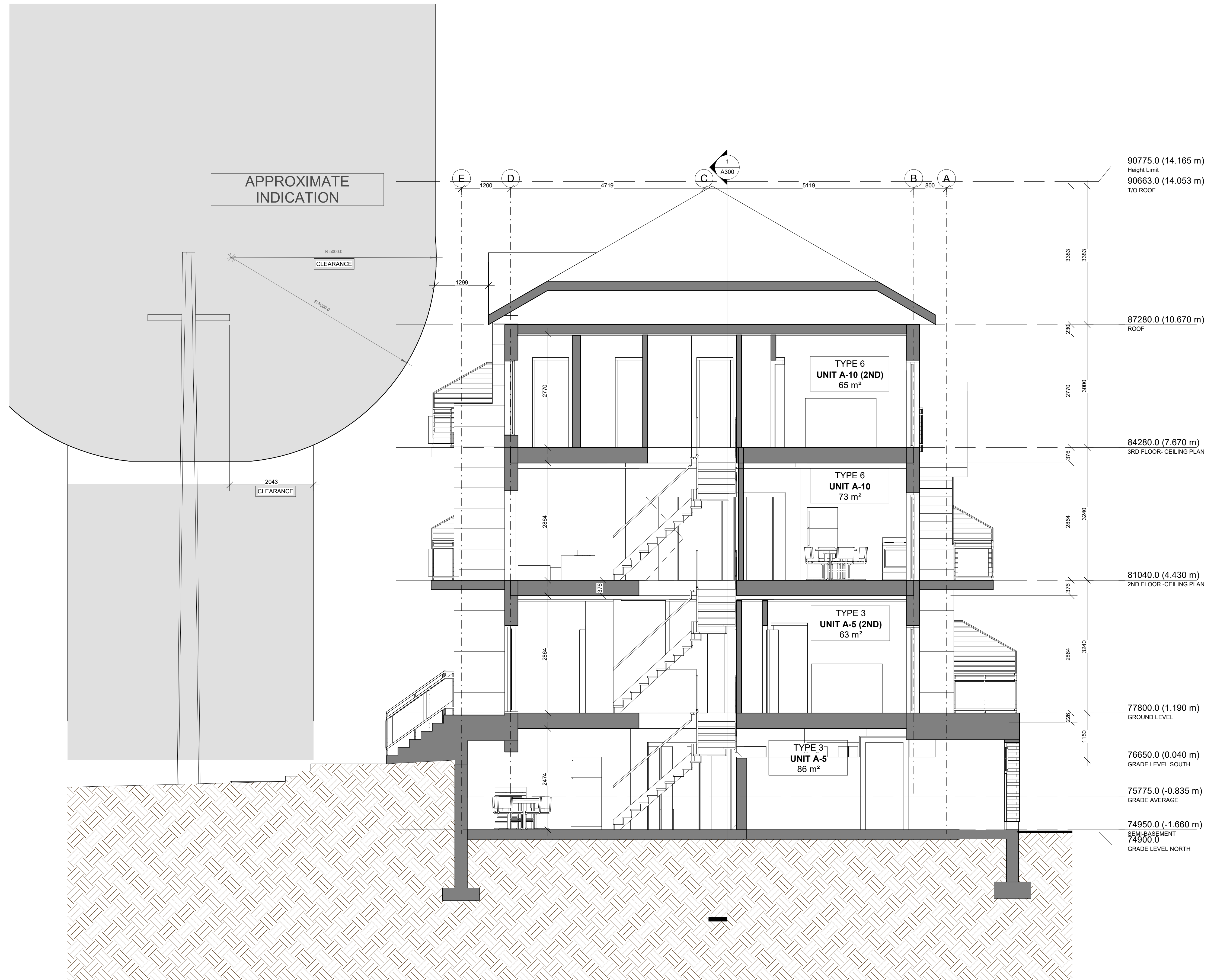
DRAWING NAME / NOM DU DESSIN :

CROSS SECTION

DRAWING INFORMATION / INFORMATION DU DESSIN :

PROJECT NO. / NO. DE PROJET :	22170
DATE :	2023-04-28
DRAWN BY / DESSINÉ PAR :	ET
REVIEWED BY / VÉRIFIÉ PAR :	LG
SCALE / ÉCHELLE :	1 : 50
PROJECT PHASE / PHASE DU PROJET :	1
DWG NO. / NO. DESSIN :	A301
REVISION NO. / NO. DE RÉVISION :	1.7

D07-1-221-0239
#18659



1 CROSS SECTION 1
A301 1 : 50

NOT FOR CONSTRUCTION,
PAS POUR CONSTRUCTION

This document and all information herein is confidential and the intellectual property of Rossmann Architecture Inc. It is disclosed in confidence on terms that it will not be disclosed to any third party, used, sold, loaned, licensed, or reproduced in whole or in any part in any manner or form for manufacturing, tendering or for any other purpose without the written permission of Rossmann Architecture Inc. The copyright is retained by Rossmann Architecture Inc.

Ce document, ainsi que tous informations contenues a l'intérieur, est la propriété de Rossmann Architecture Inc. Il est divulgué en confidence sous les termes qu'il ne sera pas divulgué a aucun tiers, utilisé, vendu, prêté, licencié ou reproduit en son entier ou en partie d'aucune manière pour la manufacture, soumission ou pour autres fins sans la permission écrite de Rossmann Architecture Inc. Le droit d'auteur est retenu par Rossmann Architecture Inc.

PROJECT TEAM / ÉQUIPE DU PROJET :

SYMBOLS LEGEND

- LINE OF LIGHT SWITCH MODELS
- ⊕ KITCHEN HOOD EXHAUST (SEE MECHANICS)
- § STANDARD HEIGHT LIGHT SWITCH
- ☒ BATHROOM FAN (SEE MECHANICS FOR TYPE)

SPECIFIC NOTES

- ① NOTE 1: CENTER THE UNIT ON THE ROOMSPACE.
- ② NOTE 2: EXHAUST FAN TO THE OUTSIDE, IN COORDINATION WITH MECHANICAL.
- ③ NOTE 3: FIXTURE INSTALLED ON TOP OF THE MIRROR.

GENERAL NOTES

NOTE 1: ALL ELECTRICAL AND LIGHTING FIXTURES PROPOSED ON THE DRAWING ARE TO BE USED FOR DESIGN PURPOSES ONLY. THE CONTRACTOR AND ELECTRICIAN ARE RESPONSIBLE FOR COMPLIANCE WITH LOCAL CODES.

NOTE 2: SUPPLY AND INSTALL NEW RECEPTACLES, SWITCHES, DIMMERS, LIGHTING FIXTURES AND ELECTRICAL EQUIPMENT AS REQUIRED BY CODE.

NOTE 3: ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST REQUIREMENTS OF APPLICABLE CODES AND AUTHORITIES. THE ELECTRICIAN SHALL INDICATE IF LAYOUT CHANGES ARE REQUIRED BASED ON SITE CONDITIONS, CODES AND PROPOSED ITEMS.

NOTE 4: COORDINATE WITH MECHANICAL, ELECTRICAL AND ARCHITECTURAL ARCHITECTURAL SERVICES AS REQUIRED.

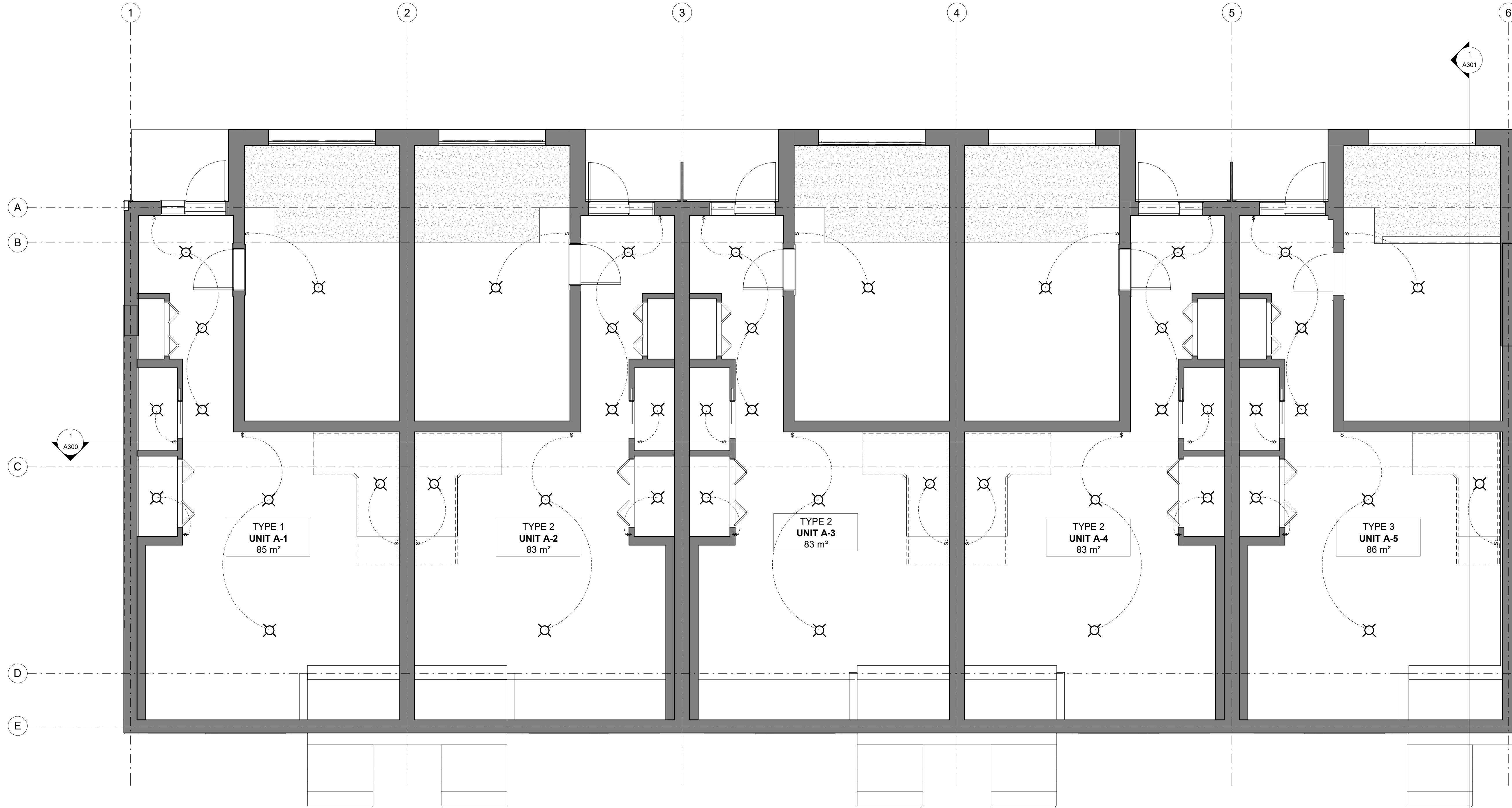
NOTE 5: ALL VANITY WALL SCONES MUST BE IN THE CENTER OF THE SINK.

NOTE 6: ALL DRAWINGS MUST BE READ IN CONJUNCTION REFER TO THE LIGHTING BILL OF MATERIALS TABLE BASED ON PHOTOMETRIC STUDIES IN THE APPENDIX FOR PROPOSED FIXTURES.

REFLECTIVE CEILING LEGEND

- ☐ DRYWALL CEILING
- ☐ APPARENT STRUCTURE
- EL-XXXX CEILING ELEVATION

NOTE: REFLECTED CEILING DRAWINGS MUST BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS INCLUDING MECHANICAL AND ELECTRICAL DRAWINGS. THE ARCHITECT MUST BE INFORMED IMMEDIATELY OF ANY INCONSISTENCIES OR OMISSIONS.



1 SEMI-BASEMENT FLOOR-CEILING PLAN
A600.1 1:50



CLIENT :

1.4	ISSUED FOR 66%	23-02-24
revision	description	date

PROJECT NAME / NOM DU PROJET :
6001-6005 Renaud

DRAWING NAME / NOM DU DESSIN :
**REFLECTED CEILING PLAN
-SEMI BASEMENT FLOOR**

DRAWING INFORMATION / INFORMATION DU DESSIN :

PROJECT NO. / NO. DE PROJET :	22170
DATE :	2023-02-24
DRAWN BY / DESSINÉ PAR :	RZ
REVIEWED BY / VÉRIFIÉ PAR :	LG
SCALE / ÉCHELLE :	As indicated
PROJECT PHASE / PHASE DU PROJET :	1
DWG NO. / NO. DESSIN :	A600.1

REVISION NO. / NO. DE RÉVISION :	1.4
----------------------------------	------------

NOT FOR CONSTRUCTION /
PAS POUR CONSTRUCTION

This document and all information herein is confidential and the intellectual property of Rossmann Architecture Inc. It is disclosed in confidence on terms that it will not be disclosed to any third party, used, sold, loaned, licensed, or reproduced in whole or in any part in any manner or form for manufacturing, tendering or for any other purpose without the written permission of Rossmann Architecture Inc. The copyright is retained by Rossmann Architecture Inc.

Ce document, ainsi que tous renseignements contenus à l'intérieur, est la propriété de Rossmann Architecture Inc. Il est divulgué en confidence sous les termes qu'il ne sera pas divulgué à aucun tiers, utilisé, vendu, prêté, licencié ou reproduit en son entier ou en partie d'aucune manière pour la manufacture, soumission ou pour autres fins sans la permission écrite de Rossmann Architecture Inc. Le droit d'auteur est retenu par Rossmann Architecture Inc.

PROJECT TEAM / ÉQUIPE DU PROJET :

SYMBOLS LEGEND

-----	LINE OF LIGHT SWITCH MODELS	⊕	KITCHEN HOOD EXHAUST (SEE MECHANICS)
§	STANDARD HEIGHT LIGHT SWITCH		
⊞	BATHROOM FAN (SEE MECHANICS FOR TYPE)		

SPECIFIC NOTES

①	NOTE 1: CENTER THE UNIT ON THE ROOM/SPACE.	③	NOTE 3: FIXTURE INSTALLED ON TOP OF THE MIRROR.
②	NOTE 2: EXHAUST FAN TO THE OUTSIDE, IN COORDINATION WITH MECHANICAL.		

GENERAL NOTES

NOTE 1: ALL ELECTRICAL AND LIGHTING FIXTURES PROPOSED ON THE DRAWING ARE TO BE USED FOR DESIGN PURPOSES ONLY. THE CONTRACTOR AND ELECTRICIAN ARE RESPONSIBLE FOR COMPLIANCE WITH LOCAL CODES.

NOTE 2: SUPPLY AND INSTALL NEW RECEPTACLES, SWITCHES, DIMMERS, LIGHTING FIXTURES AND ELECTRICAL EQUIPMENT AS REQUIRED BY CODE.

NOTE 3: ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST REQUIREMENTS OF APPLICABLE CODES AND AUTHORITIES. THE ELECTRICIAN SHALL INDICATE IF LAYOUT CHANGES ARE REQUIRED BASED ON SITE CONDITIONS, CODES AND PROPOSED ITEMS.

NOTE 4: COORDINATE WITH MECHANICAL, ELECTRICAL AND ARCHITECTURAL ARCHITECTURAL SERVICES AS REQUIRED.

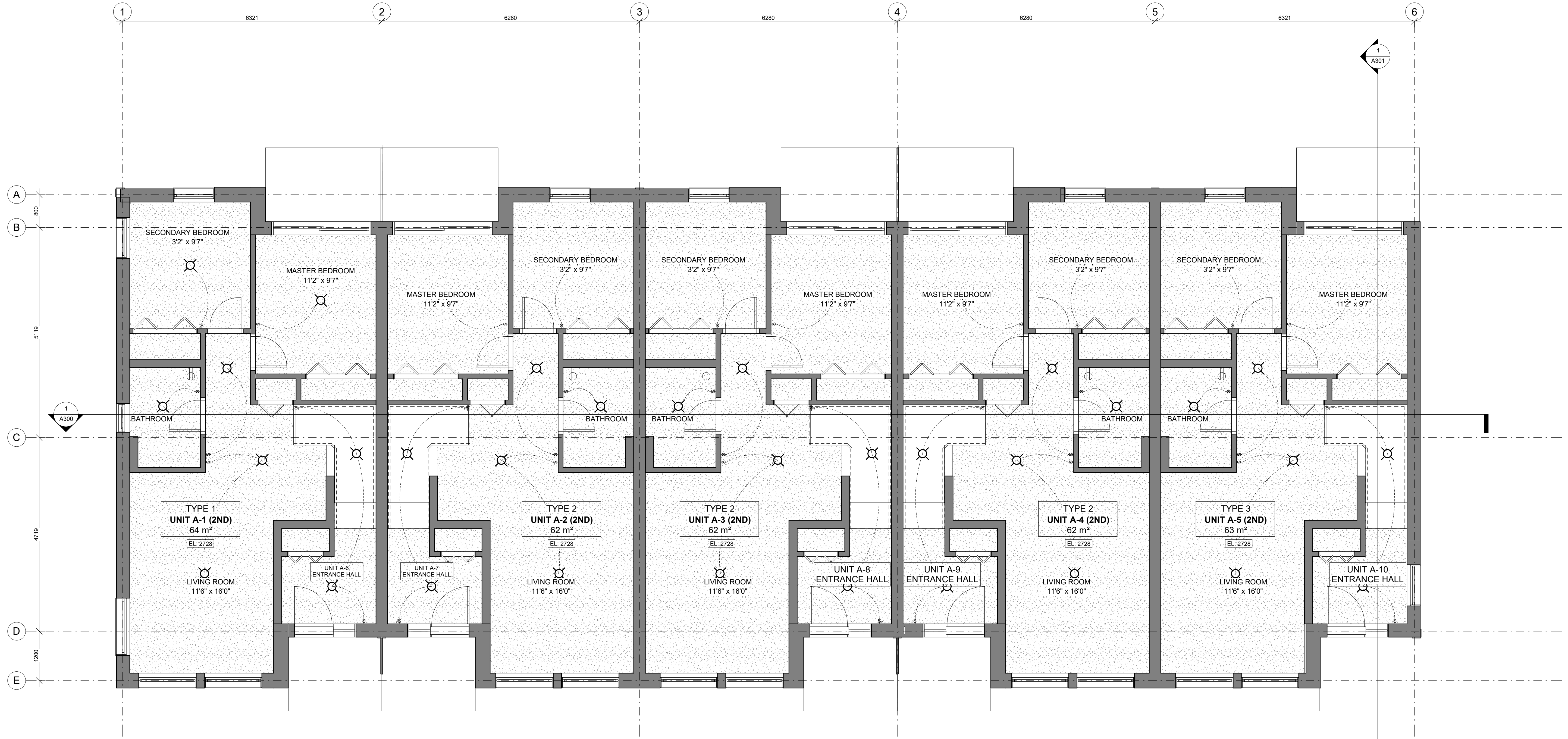
NOTE 5: ALL VANITY WALL SCONES MUST BE IN THE CENTER OF THE SINK.

NOTE 6: ALL DRAWINGS MUST BE READ IN CONJUNCTION REFER TO THE LIGHTING BILL OF MATERIALS TABLE BASED ON PHOTOMETRIC STUDIES IN THE APPENDIX FOR PROPOSED FIXTURES.

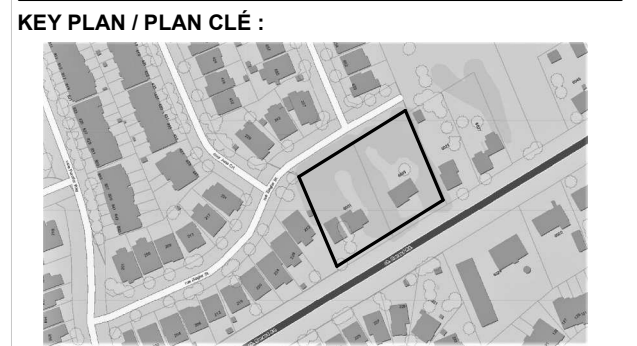
REFLECTIVE CEILING LEGEND

▨	DRYWALL CEILING	▩	APPARENT STRUCTURE
EL-XXXX	CEILING ELEVATION		

NOTE: REFLECTED CEILING DRAWINGS MUST BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS INCLUDING MECHANICAL AND ELECTRICAL DRAWINGS. THE ARCHITECT MUST BE INFORMED IMMEDIATELY OF ANY INCONSISTENCIES OR OMISSIONS.



1 GROUND FLOOR- CEILING PLAN
A601 1: 50



1.4	ISSUED FOR 66%	23-02-24
revision	description	date

PROJECT NAME / NOM DU PROJET :

6001-6005 Renaud

DRAWING NAME / NOM DU DESSIN :
REFLECTED CEILING PLAN - GROUND FLOOR

DRAWING INFORMATION / INFORMATION DU DESSIN :

PROJECT NO. / NO. DE PROJET :	22170
DATE :	2023-02-24
DRAWN BY / DESSINÉ PAR :	R.Z.
REVIEWED BY / VÉRIFIÉ PAR :	LG
SCALE / ÉCHELLE :	As indicated
PROJECT PHASE / PHASE DU PROJET :	1
DWG NO. / NO. DESSIN :	A601

REVISION NO. / NO. DE RÉVISION :	1.4
----------------------------------	------------

NOT FOR CONSTRUCTION,
PAS POUR CONSTRUCTION

This document and all information herein is confidential and the intellectual property of Rossmann Architecture Inc. It is disclosed in confidence on terms that it will not be disclosed to any third party, used, loaned, licensed, or reproduced in whole or in any part in any manner or form for manufacturing, tendering or for any other purpose without the written permission of Rossmann Architecture Inc. The copyright is retained by Rossmann Architecture Inc.

Ce document, ainsi que tous renseignements contenus a l'intérieur, est la propriété de Rossmann Architecture Inc. Il est divulgué en confidence sous les termes qu'il ne sera pas divulgué a aucun tiers, utilisé, prêté, licencié ou reproduit en son entier ou en partie d'aucune manière pour la manufacture, soumission ou pour autres fins sans la permission écrite de Rossmann Architecture Inc. Le droit d'auteur est retenu par Rossmann Architecture Inc.

PROJECT TEAM / ÉQUIPE DU PROJET :

SYMBOLS LEGEND

-----	LINE OF LIGHT SWITCH MODELS	⊕	KITCHEN HOOD EXHAUST (SEE MECHANICS)
⊕	STANDARD HEIGHT LIGHT SWITCH		
⊕	BATHROOM FAN (SEE MECHANICS FOR TYPE)		

SPECIFIC NOTES

①	NOTE 1: CENTER THE UNIT ON THE ROOMSPACE.	③	NOTE 3: FIXTURE INSTALLED ON TOP OF THE MIRROR.
②	NOTE 2: EXHAUST FAN TO THE OUTSIDE, IN COORDINATION WITH MECHANICAL.		

GENERAL NOTES

NOTE 1: ALL ELECTRICAL AND LIGHTING FIXTURES PROPOSED ON THE DRAWING ARE TO BE USED FOR DESIGN PURPOSES ONLY. THE CONTRACTOR AND ELECTRICIAN ARE RESPONSIBLE FOR COMPLIANCE WITH LOCAL CODES.

NOTE 2: SUPPLY AND INSTALL NEW RECEPTACLES, SWITCHES, DIMMERS, LIGHTING FIXTURES AND ELECTRICAL EQUIPMENT AS REQUIRED BY CODE.

NOTE 3: ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST REQUIREMENTS OF APPLICABLE CODES AND AUTHORITIES. THE ELECTRICIAN SHALL INDICATE IF LAYOUT CHANGES ARE REQUIRED BASED ON SITE CONDITIONS, CODES AND PROPOSED ITEMS.

NOTE 4: COORDINATE WITH MECHANICAL, ELECTRICAL AND ARCHITECTURAL ARCHITECTURAL SERVICES AS REQUIRED.

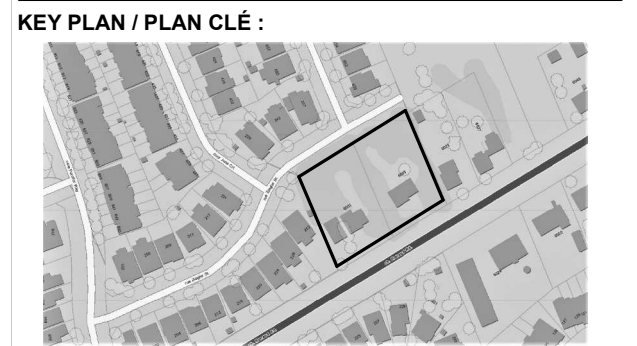
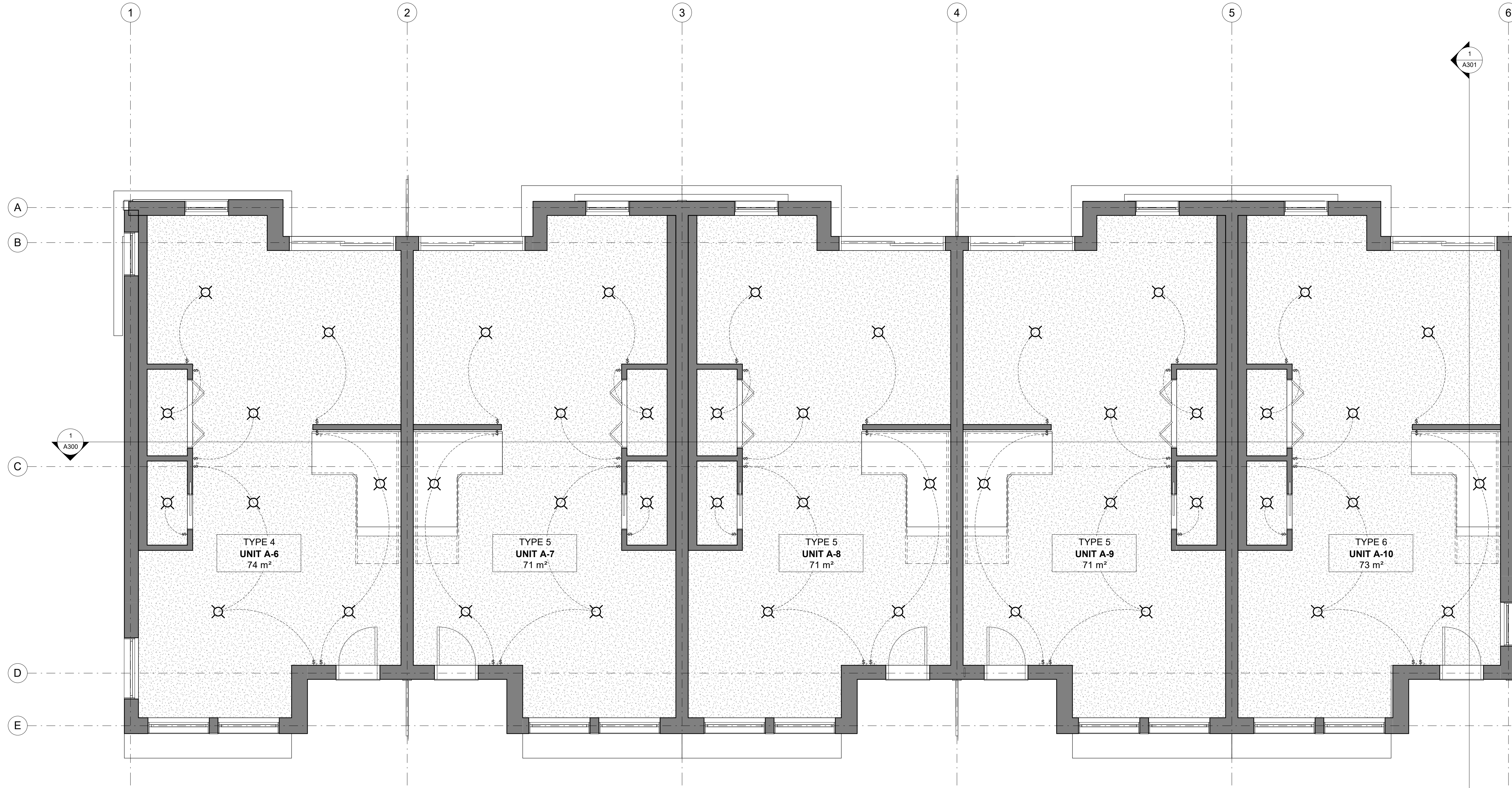
NOTE 5: ALL VANITY WALL SCONES MUST BE IN THE CENTER OF THE SINK.

NOTE 6: ALL DRAWINGS MUST BE READ IN CONJUNCTION REFER TO THE LIGHTING BILL OF MATERIALS TABLE BASED ON PHOTOMETRIC STUDIES IN THE APPENDIX FOR PROPOSED FIXTURES.

REFLECTIVE CEILING LEGEND

⊕	DRYWALL CEILING	⊕	APPARENT STRUCTURE
EL-XXXX	CEILING ELEVATION		

NOTE: REFLECTED CEILING DRAWINGS MUST BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS INCLUDING MECHANICAL AND ELECTRICAL DRAWINGS. THE ARCHITECT MUST BE INFORMED IMMEDIATELY OF ANY INCONSISTENCIES OR OMISSIONS.



1 2ND FLOOR -CEILING PLAN
A602 1 : 50

1.4	ISSUED FOR 66%	23-02-24
revision	description	date

PROJECT NAME / NOME DU PROJET :

6001-6005 Renaud

DRAWING NAME / NOM DU DESSIN :
**REFLECTED CEILING PLAN
-SECOND FLOOR**

DRAWING INFORMATION / INFORMATION DU DESSIN :

PROJECT NO. / NO. DE PROJET :	22170
DATE :	2023-02-24
DRAWN BY / DESSINÉ PAR :	R.Z.
REVIEWED BY / VÉRIFIÉ PAR :	LG
SCALE / ÉCHELLE :	As indicated
PROJECT PHASE / PHASE DU PROJET :	1
DWG NO. / NO. DESSIN :	A602

REVISION NO. / NO. DE RÉVISION :	1.4
----------------------------------	------------

SYMBOLS LEGEND	
---	LINE OF LIGHT SWITCH MODELS
⊞	STANDARD HEIGHT LIGHT SWITCH
⊞	BATHROOM FAN (SEE MECHANICS FOR TYPE)
⊞	KITCHEN HOOD EXHAUST (SEE MECHANICS)

SPECIFIC NOTES	
①	NOTE 1: CENTER THE UNIT ON THE ROOMSPACE.
②	NOTE 2: EXHAUST FAN TO THE OUTSIDE, IN COORDINATION WITH MECHANICAL.
③	NOTE 3: FIXTURE INSTALLED ON TOP OF THE MIRROR.

GENERAL NOTES

NOTE 1: ALL ELECTRICAL AND LIGHTING FIXTURES PROPOSED ON THE DRAWING ARE TO BE USED FOR DESIGN PURPOSES ONLY. THE CONTRACTOR AND ELECTRICIAN ARE RESPONSIBLE FOR COMPLIANCE WITH LOCAL CODES.

NOTE 2: SUPPLY AND INSTALL NEW RECEPTACLES, SWITCHES, DIMMERS, LIGHTING FIXTURES AND ELECTRICAL EQUIPMENT AS REQUIRED BY CODE.

NOTE 3: ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST REQUIREMENTS OF APPLICABLE CODES AND AUTHORITIES. THE ELECTRICIAN SHALL INDICATE IF LAYOUT CHANGES ARE REQUIRED BASED ON SITE CONDITIONS, CODES AND PROPOSED ITEMS.

NOTE 4: COORDINATE WITH MECHANICAL, ELECTRICAL AND ARCHITECTURAL ARCHITECTURAL SERVICES AS REQUIRED.

NOTE 5: ALL VANITY WALL SCONES MUST BE IN THE CENTER OF THE SINK.

NOTE 6: ALL DRAWINGS MUST BE READ IN CONJUNCTION REFER TO THE LIGHTING BILL OF MATERIALS TABLE BASED ON PHOTOMETRIC STUDIES IN THE APPENDIX FOR PROPOSED FIXTURES.

REFLECTIVE CEILING LEGEND	
⊞	DRYWALL CEILING
⊞	APPARENT STRUCTURE
EL-XXXX	CEILING ELEVATION

NOTE: REFLECTED CEILING DRAWINGS MUST BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS INCLUDING MECHANICAL AND ELECTRICAL DRAWINGS. THE ARCHITECT MUST BE INFORMED IMMEDIATELY OF ANY INCONSISTENCIES OR OMISSIONS.

NOT FOR CONSTRUCTION,
PAS POUR CONSTRUCTION

This document and all information herein is confidential and the intellectual property of Rossmann Architecture Inc. It is disclosed in confidence on terms that it will not be disclosed to any third party, used, sold, loaned, licensed, or reproduced in whole or in any part in any manner or form for manufacturing, tending or for any other purpose without the written permission of Rossmann Architecture Inc. The copyright is retained by Rossmann Architecture Inc.

Ce document, ainsi que tous informations contenues a l'intérieur, est la propriété de Rossmann Architecture Inc. Il est divulgué en confidence sous les termes qu'il ne sera pas divulgué a aucun tierce partie, utilisé, vendu, prêté, licencié ou reproduit en son entier ou en partie d'aucune maniere pour la manufacture, soumission ou pour autres fins sans la permission écrite de Rossmann Architecture Inc. Le droit d'auteur est retenu par Rossmann Architecture Inc.

PROJECT TEAM / ÉQUIPE DU PROJET :

