

NOT FOR CONSTRUCTION /  
PAS POUR CONSTRUCTION

This document and all information herein is confidential and the intellectual property of Rossmann Architecture Inc. It is disclosed in confidence on terms that it will not be disclosed to any third party, used, sold, loaned, licensed, or reproduced in whole or in any part in any manner or form for manufacturing, tendering or for any other purpose without the written permission of Rossmann Architecture Inc. The copyright is retained by Rossmann Architecture Inc.

NOTE-A :  
ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS AND SPECIFICATIONS, INCLUDING OTHER CONSULTANTS DRAWINGS AND SPECIFICATIONS. ANY DISCREPANCIES BETWEEN DRAWINGS WILL BE REPORTED TO THE PROJECT LEAD IMMEDIATELY FOR CLARIFICATION PRIOR TO COMMENCING ANY CONSTRUCTION.

NOTE-B :  
ALL GENERAL SITE INFORMATION AND CONDITIONS HAVE BEEN COMPILED FROM EXISTING PLANS AND SURVEYS.

NOTE-C :  
CONTRACTOR IS RESPONSIBLE TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ALL ERRORS AND / OR OMISSIONS TO THE ARCHITECT.

NOTE-D :  
REFER TO LANDSCAPE PLAN FOR ALL EXTERIOR LANDSCAPING.

NOTE-E :  
DO NOT SCALE DRAWINGS.

NOTE-F :  
ALL CONTRACTORS MUST COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS.

**PROJECT TEAM / ÉQUIPE DU PROJET :**

CLIENT :  
**Landric HOMES**



**PROJECT INFORMATION**

**SITE SUMMARY**

ADDRESS	6001-6005 RENAUD, OTTAWA, ON
PROPOSED ZONING	RAZ
SITE AREA	4598.69 m <sup>2</sup>
PROPOSED USE	RESIDENTIAL
BUILDING AREA	720.00 m <sup>2</sup>

**ZONING SUMMARY**

	REQUIRED	PROPOSED
LOT AREA	N/A	2913.14 m <sup>2</sup>
LOT WIDTH	N/A	76.12 m
MAX. BUILDING HEIGHT	15.00 m	12.02 m
MAX. PARAPET HEIGHT	N/A	N/A

**SET BACKS :**

	FRONT YARD	REAR YARD
- FRONT YARD	3.00 m	5.39 m
- CORNER SIDE YARD	3.00 m (min.)	N/A
- INTERIOR SIDE YARD	3.00 m / 6.00m	3.14 m
- REAR YARD	6.00 m	17.52 m

**VEHICULAR PARKING**

	REQUIRED	PROPOSED
MIN PARKING SPACES	24	24 (10 int)
MIN VISITOR PARKING SPACES	4	4
MIN ACCESSIBLE PRKG SPACES (incl. in count)	1	1

**WASTE CONTAINERS**

	REQUIRED	PROPOSED
GARBAGE (0.231 y <sup>3</sup> / unit)	5	6
RECYCLING (GMP) (0.018 y <sup>3</sup> / unit)	2	2
RECYCLING FIBRE (0.062 y <sup>3</sup> / unit)	2	2
ORGANICS (L)	240	240

**AMENITY AREA**

	REQUIRED	PROPOSED
PRIVATE	60.00 m <sup>2</sup>	151.00 m <sup>2</sup> BALCONIES
COMMUNAL	60.00 m <sup>2</sup>	107.00 m <sup>2</sup> EXTERIOR

**BUILDING SUMMARY**

	UNITS	GFA - ORG
SEMI-BASEMENT	20	420.00 m <sup>2</sup>
GROUND		313.00 m <sup>2</sup>
LEVEL 2		361.00 m <sup>2</sup>
LEVEL 3	20	321.00 m <sup>2</sup>

**SITE CONTEXT**



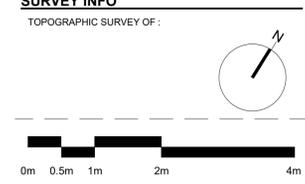
**LEGEND**

- SURFACES**
- PROPOSED GRASS
  - RIVERSTONE
  - CONCRETE PAVERS
  - POURED CONCRETE
  - ASPHALT PAVING
  - PROPOSED NEW BUILDING
  - CONCRETE RETAINING WALL
  - EXISTING BUILDING TO BE DEMOLISHED
- LINES**
- PROPERTY LINE
  - SETBACK LINE
  - EXISTING FENCE
  - NEW FENCE
  - OVERHEAD WIRES
- VEGETATION**
- TREE: EXISTING TO REMAIN
  - TREE: EXISTING TO BE REMOVED
  - TREE: NEW PROPOSED
  - SHRUB: NEW PROPOSED
- SYMBOLS**
- DIRECTIONAL ARROWS
  - BUILDING ACCESS
  - BUILDING EGRESS
  - SIAMESE CONNECTION
  - UTILITY POLE
  - FIRE HYDRANT
  - CATCH BASIN / MANHOLE
  - DEPRESSED CURB
  - LANDSCAPE LIGHT
  - LIGHT POLE
  - EXISTING GRADE ELEVATION
  - PROPOSED GRADE ELEVATION
  - LOT CORNERS
- PARKING**
- BIKE PARKING
  - CAR PARKING
  - BF PARKING
  - BF PARKING (TYPE A)
  - BF PARKING (TYPE B)

**GENERAL NOTES**

- NOTE-A :  
ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS AND SPECIFICATIONS, INCLUDING OTHER CONSULTANTS DRAWINGS AND SPECIFICATIONS. ANY DISCREPANCIES BETWEEN DRAWINGS WILL BE REPORTED TO THE PROJECT LEAD IMMEDIATELY FOR CLARIFICATION PRIOR TO COMMENCING ANY CONSTRUCTION.
- NOTE-B :  
ALL GENERAL SITE INFORMATION AND CONDITIONS HAVE BEEN COMPILED FROM EXISTING PLANS AND SURVEYS.
- NOTE-C :  
CONTRACTOR IS RESPONSIBLE TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ALL ERRORS AND / OR OMISSIONS TO THE ARCHITECT.
- NOTE-D :  
REFER TO LANDSCAPE PLAN FOR ALL EXTERIOR LANDSCAPING.
- NOTE-E :  
DO NOT SCALE DRAWINGS.
- NOTE-F :  
ALL CONTRACTORS MUST COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS.

**SURVEY INFO**



**PROJECT INFORMATION**

**SITE SUMMARY**

ADDRESS	6001-6005 RENAUD, OTTAWA, ON
PROPOSED ZONING	RAZ
SITE AREA	4598.69 m <sup>2</sup>
PROPOSED USE	RESIDENTIAL
BUILDING AREA	720.00 m <sup>2</sup>

**ZONING SUMMARY**

	REQUIRED	PROPOSED
LOT AREA	N/A	2913.14 m <sup>2</sup>
LOT WIDTH	N/A	76.12 m
MAX. BUILDING HEIGHT	15.00 m	12.02 m
MAX. PARAPET HEIGHT	N/A	N/A

**SET BACKS :**

	FRONT YARD	REAR YARD
- FRONT YARD	3.00 m	5.39 m
- CORNER SIDE YARD	3.00 m (min.)	N/A
- INTERIOR SIDE YARD	3.00 m / 6.00m	3.14 m
- REAR YARD	6.00 m	17.52 m

**VEHICULAR PARKING**

	REQUIRED	PROPOSED
MIN PARKING SPACES	24	24 (10 int)
MIN VISITOR PARKING SPACES	4	4
MIN ACCESSIBLE PRKG SPACES (incl. in count)	1	1

**WASTE CONTAINERS**

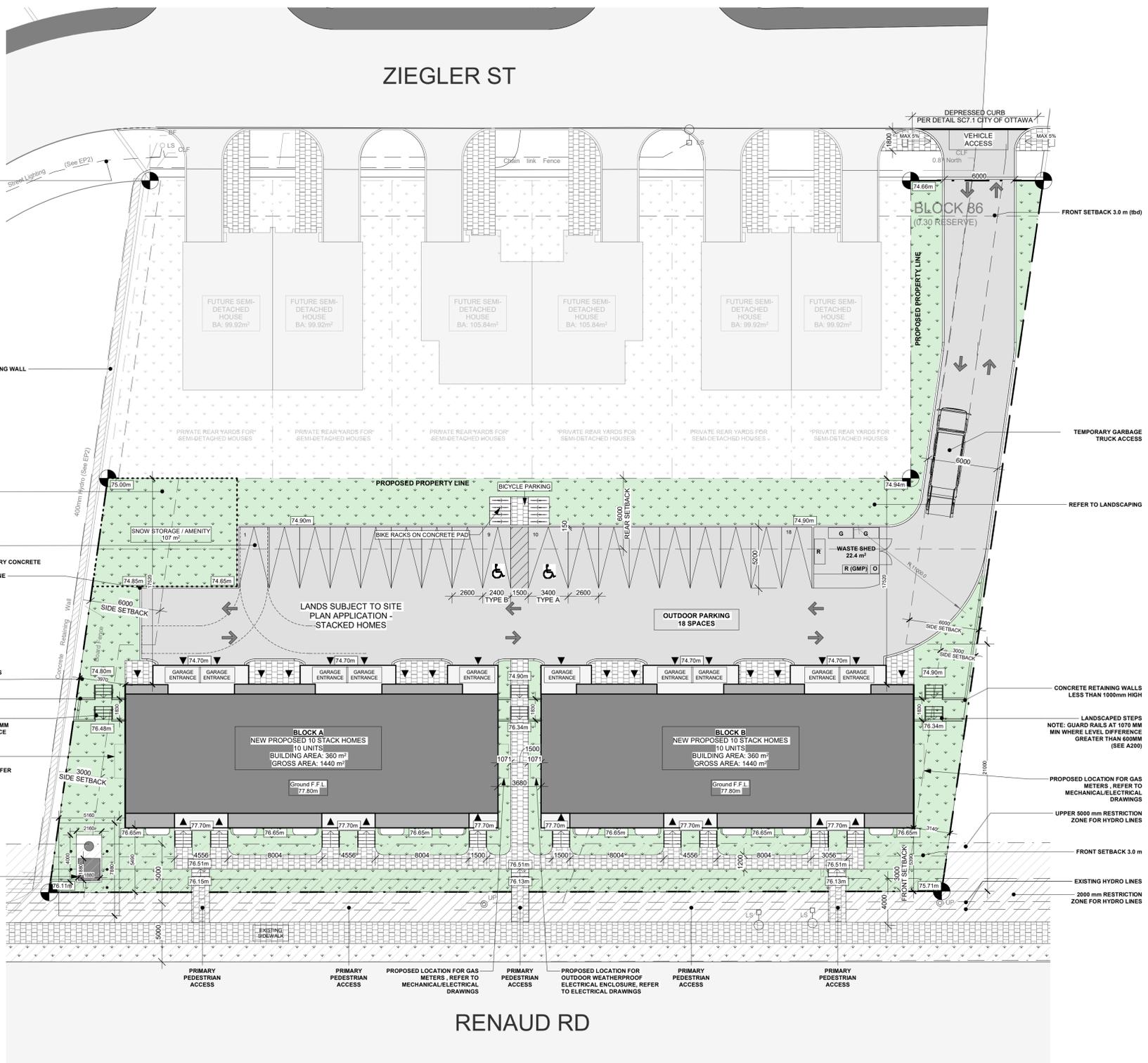
	REQUIRED	PROPOSED
GARBAGE (0.231 y <sup>3</sup> / unit)	5	6
RECYCLING (GMP) (0.018 y <sup>3</sup> / unit)	2	2
RECYCLING FIBRE (0.062 y <sup>3</sup> / unit)	2	2
ORGANICS (L)	240	240

**AMENITY AREA**

	REQUIRED	PROPOSED
PRIVATE	60.00 m <sup>2</sup>	151.00 m <sup>2</sup> BALCONIES
COMMUNAL	60.00 m <sup>2</sup>	107.00 m <sup>2</sup> EXTERIOR

**BUILDING SUMMARY**

	UNITS	GFA - ORG
SEMI-BASEMENT	20	420.00 m <sup>2</sup>
GROUND		313.00 m <sup>2</sup>
LEVEL 2		361.00 m <sup>2</sup>
LEVEL 3	20	321.00 m <sup>2</sup>



**1 SITE PLAN**  
A050 1:200