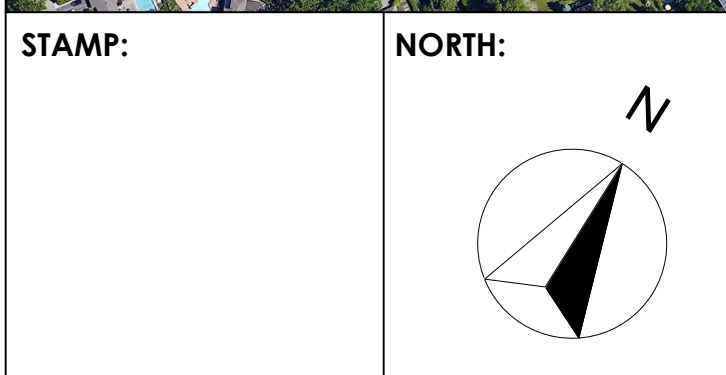
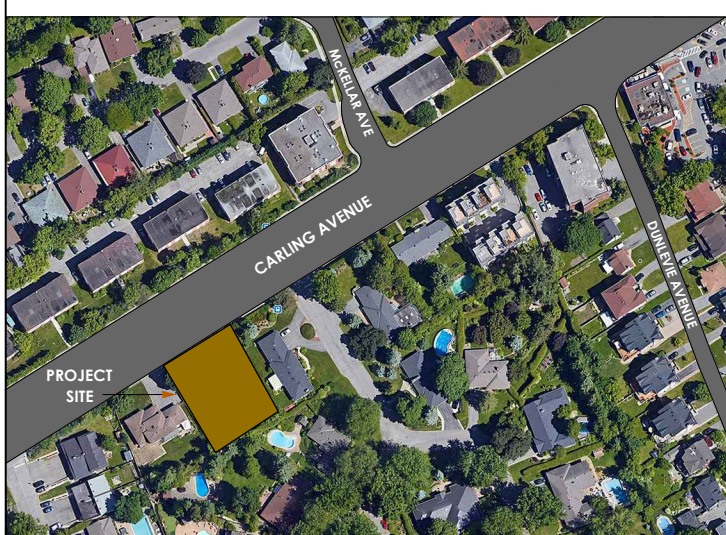


Key Plan



NOTES:

ALL CONTRACTORS TO VERIFY ALL DIMENSIONS ON SITE AND TO REPORT ALL ERRORS AND/OR OMISSIONS TO THE ARCHITECT.

ALL CONTRACTORS MUST COMPLY WITH ALL CODES AND BYLAWS AND OTHER AUTHORITIES HAVING JURISDICTION OVER THE WORK.

DO NOT SCALE DRAWINGS.

THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION UNTIL SIGNED BY THE ARCHITECT.

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| S. NO. | REVISION | MM/DD/YY DATE |
|--------|------------------------------|---------------|
| 5. | ISSUED FOR UDRP CONSULTATION | 08/16/22 |
| 4. | ISSUED FOR RESPONSE TO UDRP | 07/07/22 |
| 3. | ISSUED FOR COORDINATION | 06/23/22 |
| 2. | ISSUED FOR SITE PLAN | 12/03/21 |
| 1. | ISSUED FOR SITE PLAN | 08/27/21 |

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 TEL: 613 228-9850 FAX: 613 228-9848 mailbox@woodmanarchitect.com

CONSULTANTS:
 STRUCTURE -
 MECHANICAL -
 ELECTRICAL -
 PROJECT TITLE:

1940 CARLING AVENUE

DRAWING TITLE:
ARCHITECTURAL SITE PLAN

| | | | |
|----------|-----------------|-------------|---------------|
| DATE | AUGUST 16, 2022 | JOB NO. | 1943 |
| SCALE | 1:100 | DRAWING NO. | A-100 |
| DRAWN BY | A.S. | REVIEWED BY | R.J.W. & T.T. |

ZONING INFORMATION

| 1940 CARLING AVE AM 10 [2181] H (20) WARD 7- BAY WARD | REQUIRED | PROVIDED | NOTES |
|---|-----------------------------------|--|--|
| LOT WIDTH | NO MIN | 33.08 m | |
| LOT AREA | NO MIN | 1451.03 m2 | |
| MAX HEIGHT | 20m & 11m | 20 m & 11m | 11m within 20m FROM REAR YARD ABUTTING RESIDENTIAL, REST OF SITE 20m |
| REQUESTED ROAD WIDENING FROM C ROAD | 22.25m (7.35m INTO PROPERTY LINE) | 19.25m (4m INTO PROPERTY LINE) | |
| FRONT YARD | 0m | 1.4m | AM 10 (10) b) i) MIN FRONT YARD SETBACK 0m & 50% OF FRONTAGE MUST HAVE WALLS WITHIN 4.5m |
| SIDE YARD | NO MIN. | WEST SIDE 1.22m EAST SIDE MIN 1.22m | FROM PROPERTY LINE TO ALLOW R.O.W. OF 19.25m |
| REAR YARD | 7.5 m | 7.5 m | |

SITE DEVELOPMENT INFORMATION

| | |
|---|---|
| LOT AREA | 1451.03 m2 |
| NUMBER OF STOREYS | 7 |
| NUMBER OF UNITS | 64 |
| PARKING DWELLING UNITS - AREA "X" ON AREA "Y" 0 FOR FIRST 12 DWELLINGS .5 / DWELLING UNIT VISITOR PARKING 0 FOR FIRST 12 DWELLINGS .1 / DWELLING UNIT | 64 - 12 = 52 x .5 = 26.0 64 - 12 = 52 x .1 = 5.2 PROVIDED 31.2 = 31 32 |
| AMENITY AREA 6 m / DWELLING UNIT = 6 m x 64 = 384 m2 | PROVIDED 645 m2 |
| BICYCLE STORAGE .5 / DWELLING UNIT = 64 X .5 = 32 | 57 |

GARBAGE REQUIREMENT

| | |
|------------------------------------|-----------------------|
| GARBAGE : LOOSE 0.110 cyd / UNIT | 64 x 0.110 = 7.04 cyd |
| RECYCLING : FIBRE 0.038 cyd / UNIT | 64 x 0.038 = 2.43 cyd |
| RECYCLING : GMP 0.018 cyd / UNIT | 64 x 0.018 = 1.15 cyd |

| | STUDIO UNITS | 1 - BED UNITS | 2 - BED UNITS | TOTAL UNITS |
|--------------|--------------|---------------|---------------|-------------|
| GROUND FLOOR | 2 | 3 | - | 5 |
| 2nd FLOOR | 6 | 4 | - | 10 |
| 3rd FLOOR | 8 | 6 | - | 14 |
| 4th FLOOR | 8 | 6 | - | 14 |
| 5th FLOOR | 3 | 2 | 2 | 7 |
| 6th FLOOR | 3 | 2 | 2 | 7 |
| 7th FLOOR | 3 | 2 | 2 | 7 |
| | 33 | 25 | 6 | 64 |

TOTAL NO. OF UNITS IN PROJECT = 64

