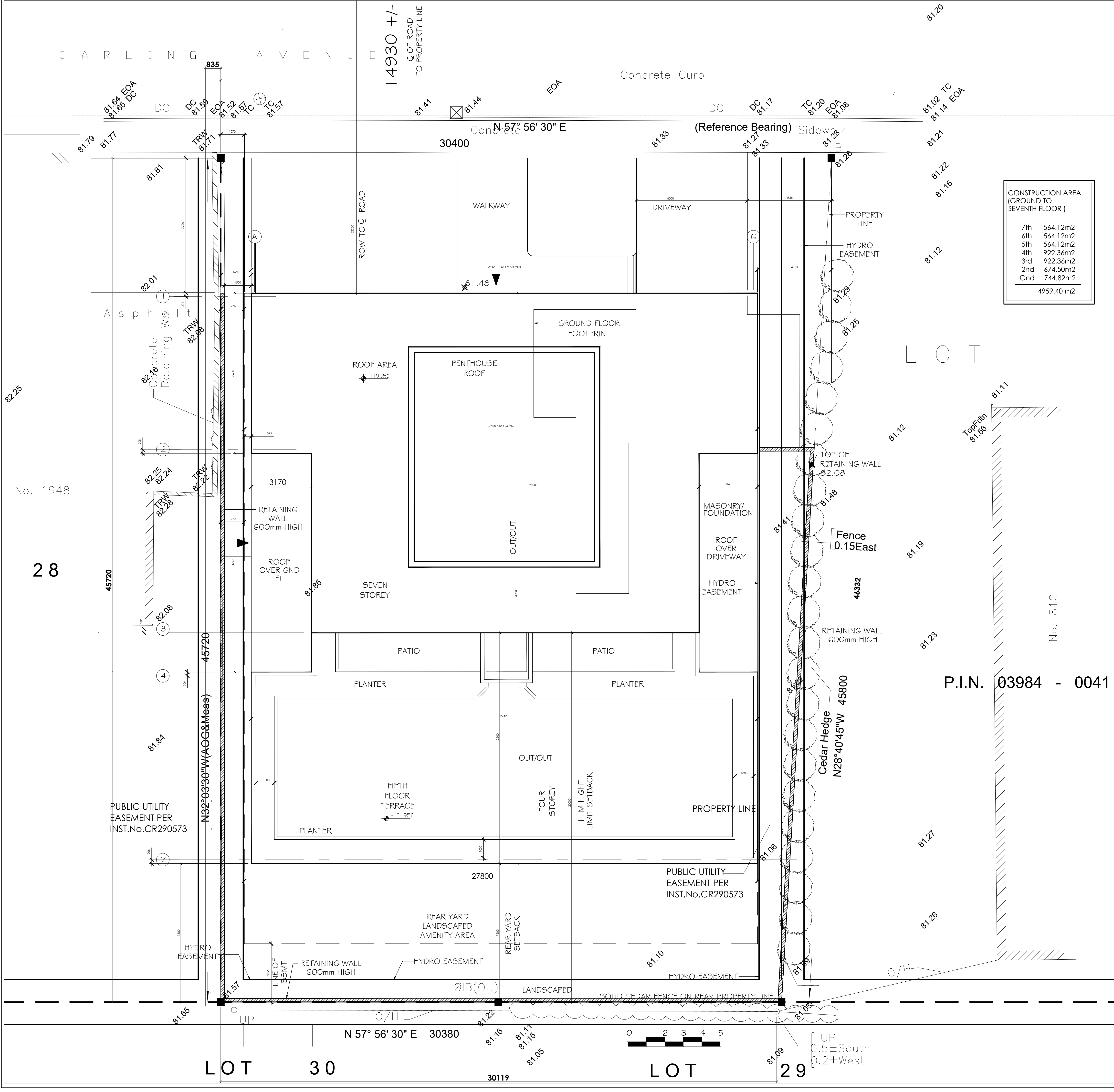


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ZONING INFORMATION.
1940 CARLING AVENUE
WARD 7
AM 10 [2181] H [20]

	REQUIRED	PROVIDED
AM 10 (10) b) i) MIN. FRONT YARD SETBACK	0m & 50% OF FRONTAGE MUST HAVE WALLS WITHIN 4.5m	1425 mm
SIDE YARD AS PER TABLE 185 (d) ii)	NO MINIMUM	4970 mm EAST 1645 mm WEST
AM 10 (10) d) i) REAR YARD SETBACK	MIN. 7.5m	7525 mm
BUILDING HEIGHT	MAX. 20 m	20 m

LOT AREA 1450.9 m²

PARKING SCHEDULE 1A AREA "X" FROM TABLE 101 ROW R12 = 0.5 / DWELLING FROM SECTION 101 (3) (o) THE PARKING REQUIREMENTS UNDER TABLE 101 APPLY ONLY DWELLING UNITS IN EXCESS OF 12.

VISITOR PARKING SCHEDULE 1A AREA "X" TABLE 102 = 0.1 / DWELLING FROM SECTION 102 (2) NO VISITOR PARKING SPACES ARE REQUIRED FOR THE FIRST 12 DWELLING UNITS ON A LOT.

71 TOTAL NUMBER OF DWELLING UNITS

71 - 12 = 59
59 x 0.5 = 29.5
59 x 0.1 = 5.9

PERMISSIBLE PARKING 35.4 = 35

BICYCLE STORAGE FROM TABLE 111A = 0.5 / DWELLING
71 x 0.5 = 35.5 PROVIDED BIKE STORAGE = 40 BIKES

AMENITY SPACE FROM TABLE 137 (5) 6 sqm PER DWELLING UNIT
71 x 6 = 426 sqm PROVIDED AMENITY SPACE = 680 sqm

COMMUNAL AREA FROM TABLE 137 (5) A MINIMUM OF 50% OF THE REQUIRED TOTAL AMENITY AREA
426 x 0.5 = 213 sqm PROVIDED COMMUNAL AREA = 346.12 sqm

CONSTRUCTION AREA : (GROUND TO SEVENTH FLOOR)

7th	564.12m ²
6th	564.12m ²
5th	564.12m ²
4th	922.36m ²
3rd	922.36m ²
2nd	674.50m ²
Gnd	744.82m ²
Total	4959.40 m²

ZONING INFORMATION

1940 CARLING AVE AM 10 [2181] H [20] WARD 7 - BAY WARD	REQUIRED	PROVIDED	NOTES
LOT WIDTH	NO MIN	33.08 m	
LOT AREA	NO MIN	1451.03 m ²	
MAX HEIGHT	20m & 11m	20 m & 11m	11m within 20m FROM REAR YARD ABUTTING RESIDENTIAL, REST OF SITE 20m
REQUESTED ROAD WIDENING FROM C/Road	22.25m		
FRONT YARD	0m	0m	AM 10 (10) b) i) MIN FRONT YARD SETBACK 0m & 50% OF FRONTAGE MUST HAVE WALLS WITHIN 4.5m
SIDE YARD	NO MIN.	WEST SIDE 1.22m EAST SIDE 1.22m	FROM PROPERTY LINE TO ALLOW R.O.W. OF 19.25m
REAR YARD	7.5 m	7.5 m	

SITE DEVELOPMENT INFORMATION

LOT AREA	1451.03 m ²
NUMBER OF STOREYS	7
NUMBER OF UNITS	64
PARKING DWELLING UNITS - AREA "X" ON AREA "Y" 0 FOR FIRST 12 DWELLINGS .5 / DWELLING UNIT	64 - 12 = 52 x .5 = 26.0
VISITOR PARKING 0 FOR FIRST 12 DWELLINGS .1 / DWELLING UNIT	64 - 12 = 52 x .1 = 5.2 PROVIDED 31.2 = 31.32
AMENITY AREA 6 m / DWELLING UNIT = 6 m x 64 = 384 m ²	PROVIDED 645 m ²
BICYCLE STORAGE .5 / DWELLING UNIT = 64 x .5 = 32	57

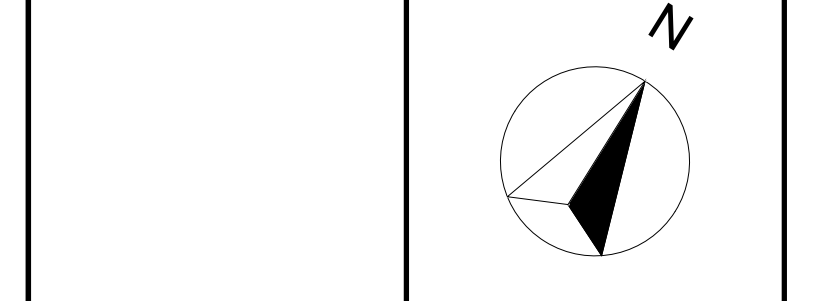
GARBAGE REQUIREMENT

GARBAGE : LOOSE 0.110 cyd / UNIT	64 x 0.110 = 7.04 cyd
RECYCLING : FIBRE 0.038 cyd / UNIT	64 x 0.038 = 2.43 cyd
RECYCLING : GMP 0.018 cyd / UNIT	64 x 0.018 = 1.15 cyd

	STUDIO UNITS	1 - BED UNITS	2 - BED UNITS	TOTAL UNITS
GROUND FLOOR	2	3	-	5
2nd FLOOR	6	4	-	10
3rd FLOOR	8	6	-	14
4th FLOOR	8	6	-	14
5th FLOOR	3	2	2	7
6th FLOOR	3	2	2	7
7th FLOOR	3	2	2	7
Total	33	25	6	64

TOTAL NO. OF UNITS IN PROJECT = 64

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06	GENERAL REVISION	10/24/22
05	ISSUED FOR UDRP CONSULTATION	08/16/22
04	ISSUED FOR RESPONSE TO UDRP	06/07/22
03	ISSUED FOR COORDINATION	06/23/22
02	ISSUED FOR SITE PLAN	12/03/21
01	ISSUED FOR SITE PLAN	08/27/21
NO.	REVISION	MM/DD/YY DATE

WOODMAN ARCHITECT & ASSOCIATES LTD.

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TEL: 613 228 9850, FAX: 613 228 9848, mailbox@woodmanarchitect.com

CONSULTANTS:
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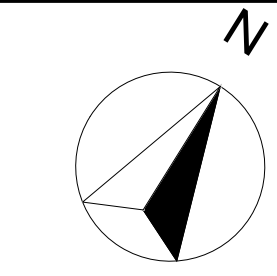
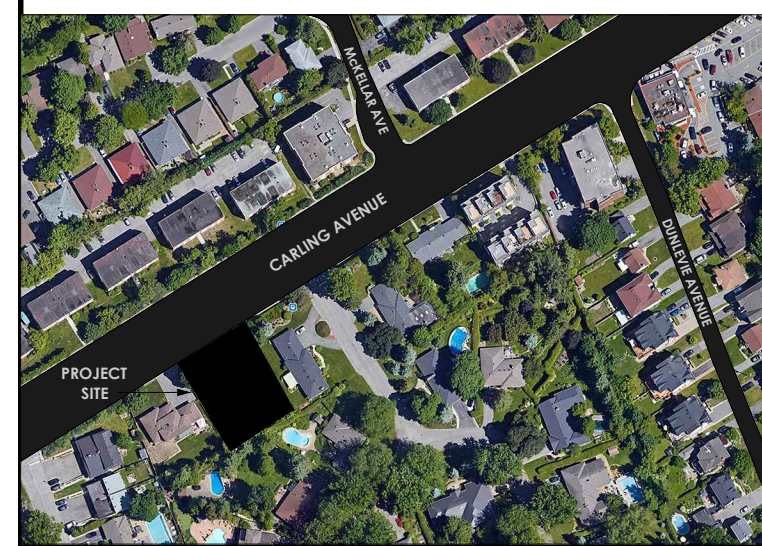
PROJECT
**1940 CARLING AVENUE,
OTTAWA, ONTARIO**

DRAWING:
ARCHITECTURAL SITE PLAN

DATE	JOB NO.	1963
SCALE	DRAWING NO.	A100
DRAWN BY	REVIEWED BY	R.J.W., E.W.

D07-12-22-0001

KEY PLAN



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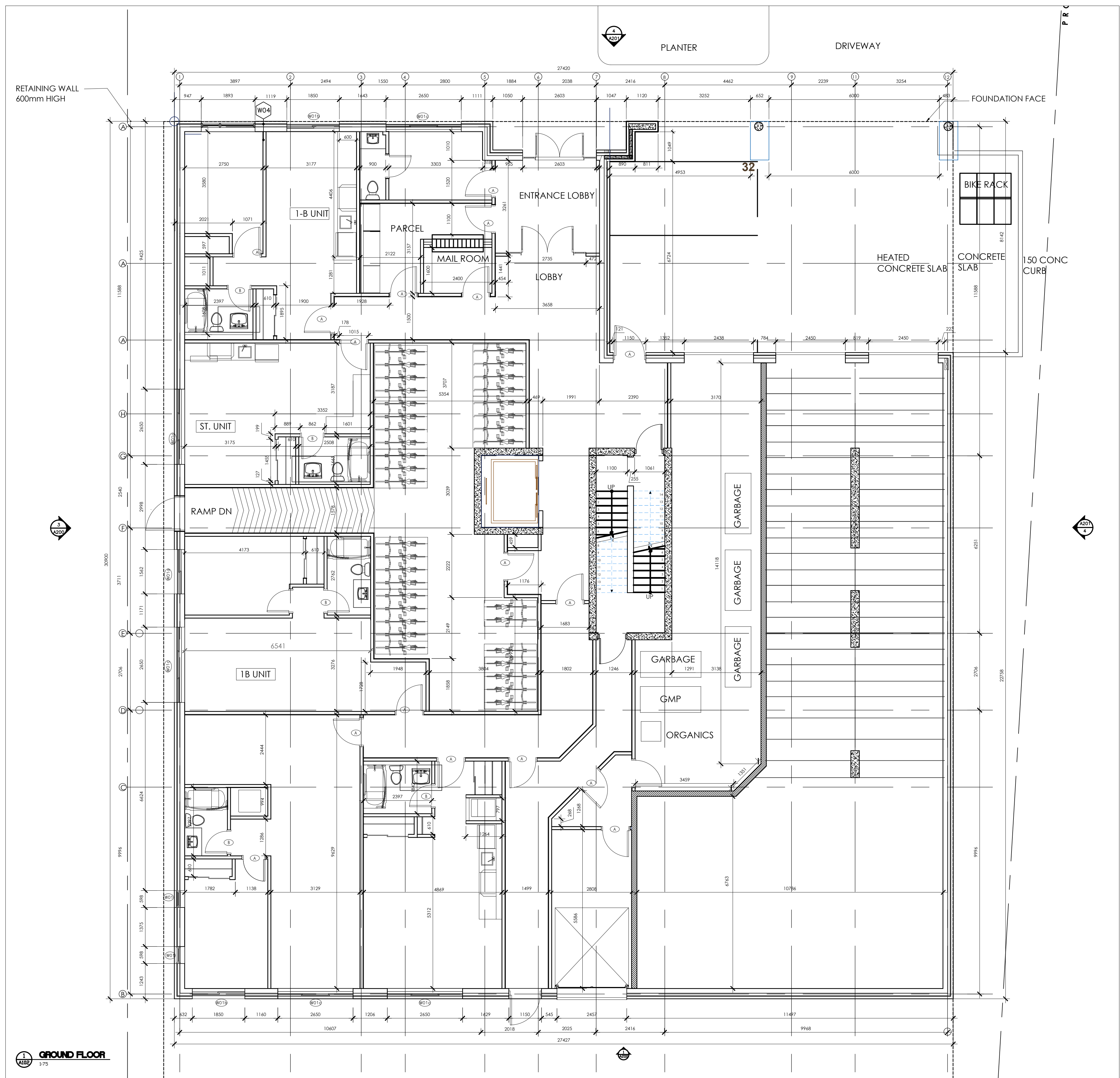
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PROJECT
 1940 CARLING AVENUE,
 OTTAWA, ONTARIO

DRAWING:
 GROUND FLOOR

DATE	JOB NO.	1963
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DRAWN BY		
REVIEWED BY	R.J.W., R.W.	



GROUND FLOOR
 1/75