

CARLING AVENUE

14930 +/-  
± OF ROAD  
TO PROPERTY LINE

Concrete Curb

LOT 27  
AND PART OF LOT 26  
REGISTERED PLAN 205559  
CITY OF OTTAWA  
CITY OF OTTAWA  
ALL SURVEY INFORMATION TAKEN FROM TOPOGRAPHIC SURVEY AS PREPARED  
BY FARLEY SMITH & DENNIS SURVEYING LTD.  
DATED APRIL 22, 2021.  
ALL SURVEY INFORMATION

**Metric Note**  
Distances and coordinates on this plan are in metres and can be converted to feet by dividing by 0.3048.

**Bearing Note**  
Bearings are astronomic and are referred to the southerly limit of Carling Avenue having a bearing of N 57° 56' 30" E as shown on a plan by (1692) dated January 4, 2007 (File No. 461-06).

**Elevation Notes**  
1. Elevations shown are geodetic and are referred to Geodetic Datum CGVD-1928 :1978.  
2. It is the responsibility of the user of this information to verify that the job benchmark has not been altered or disturbed and that its relative elevation and description agrees with the information shown on this drawing.

**ZONING INFORMATION.**

1940 CARLING AVENUE  
WARD 7  
AM 10 (2181) H (20)

ZONING INFORMATION			
	REQUIRED	PROVIDED	NOTES
LOT WIDTH	NO MIN	33.08m	
LOT AREA	NO MIN	1451.03 m <sup>2</sup>	
MAX HEIGHT	20m & 11m	20 m & 11m	11m within 20m FROM REAR FARD ABUTTING RESIDENTIAL REST OF SITE 20m
REQUESTED ROAD WIDENING FROM ± OF ROAD	22.25m	22.25m	
FRONT YARD	0m	0m	AM 10 (10) (5) (1) MIN FRONT FARD SETBACK 0m & 50% OF FRONTAGE MUST HAVE WALLS WITHIN 4.5m
SIDE YARD	NO MIN.	WEST SIDE 1.22m EAST SIDE MIN 1.22m	
REAR YARD	7.5 m	7.5 m	

CONSTRUCTION AREA :  
(GROUND TO SEVENTH FLOOR.)

7th	440.00 m <sup>2</sup>
6th	440.00 m <sup>2</sup>
5th	446.00 m <sup>2</sup>
4th	776.00 m <sup>2</sup>
3rd	776.00 m <sup>2</sup>
2nd	664.00 m <sup>2</sup>
Grnd	595.00 m <sup>2</sup>
	4137.00 m <sup>2</sup>

**SITE DEVELOPMENT INFORMATION**

LOT AREA	1451.03 m <sup>2</sup>	
NUMBER OF STOREYS	7	
NUMBER OF UNITS	58	
PARKING DWELLING UNITS - AREA "X" ON AREA "Y"	0 FOR FIRST 12 DWELLINGS 5 / DWELLING UNIT	58 - 12 = 46 x 5 = 23.0
VISITOR PARKING	0 FOR FIRST 12 DWELLINGS 1 / DWELLING UNIT	58 - 12 = 46 x 1 = 46 PROVIDED 27.6 = 26 30
AMENITY AREA	6 m <sup>2</sup> / DWELLING UNIT = 6 m <sup>2</sup> x 58 = 348 m <sup>2</sup>	PROVIDED 408 m <sup>2</sup>
BICYCLE STORAGE	5 / DWELLING UNIT = 58 x 5 = 29	64

**GARBAGE REQUIREMENT**

GARBAGE: LOOSE	0.110 cyd / UNIT	58 x 0.110 = 6.38 cyd
RECYCLING: FIBRE	0.038 cyd / UNIT	58 x 0.038 = 2.204 cyd
RECYCLING: GMP	0.018 cyd / UNIT	58 x 0.018 = 1.044 cyd

	STUDIO UNITS	1 BED UNITS	1 BED + DEN	2 BED UNITS
GROUND FLOOR	2	4	-	0
2nd FLOOR	3	6	-	0
3rd FLOOR	1	11	-	0
4th FLOOR	1	11	-	0
5th FLOOR	0	4	0	2
6th FLOOR	0	4	0	2
7th FLOOR	0	4	0	2
	7	44	1	6

TOTAL NO. OF UNITS IN PROJECT = 58

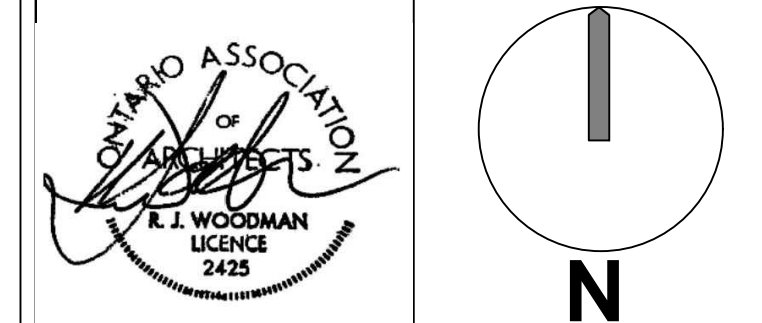
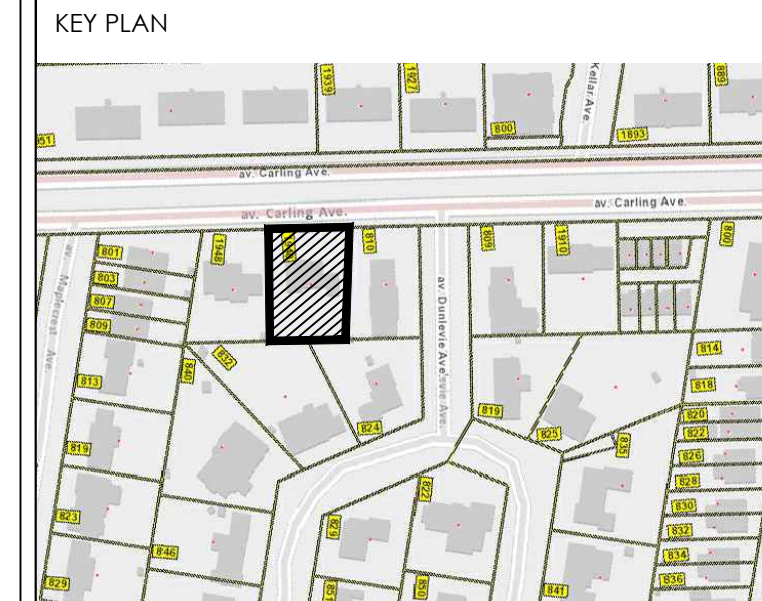
**LEGEND:**

- MANHOLE, REFER TO CIVIL
- NEW INTERLOCK/PAVERS
- NEW PAINTED LINES
- NEW SOD
- FIRE DEPARTMENT CONNECTION
- FIRE HYDRANT, REFER TO CIVIL
- CATCH BASIN, REFER TO CIVIL
- BUILDING ENTRANCE
- BICYCLE RACK
- DIRECTIONAL ARROW
- PROPOSED BUILDING FOOTPRINT
- PROPERTY LINE
- PROJECTION LINE BASEMENT BELOW
- EXISTING CITY LIGHT STANDARD
- NEW LIGHT STANDARD
- FIRE ROUTE SIGN
- STOP SIGN
- CENTERLINE
- EXISTING TREES TO BE REMOVED

**APPROVED**  
By Kersten Nitsche at 8:51 am, Jun 12, 2024

*Kersten Nitsche*  
**KERSTEN NITSCHÉ, MCIP RPP  
MANAGER (A), DEVELOPMENT REVIEW WEST  
PLANNING, DEVELOPMENT AND BUILDING SERVICES  
DEPARTMENT, CITY OF OTTAWA**

**CLIENT: GIL (CARLING AVE) INC**  
1 KENVIEW BLVD. SUITE 301, BRAMPTON,  
ON L6T 5E6



ALL CONTRACTORS TO VERIFY ALL DIMENSIONS ON SITE AND TO REPORT ALL ERRORS AND/OR OMISSIONS TO THE ARCHITECT.

ALL CONTRACTORS MUST COMPLY WITH ALL CODES AND BYLAWS AND OTHER AUTHORITIES HAVING JURISDICTION OVER THE WORK.

DO NOT SCALE DRAWINGS.  
THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION UNTIL SIGNED BY THE ARCHITECT.

COPYRIGHT RESERVED.

18		
17		
16		
15		
14		
13		
12		
11		
10		
09		
08		
07	CLIENT NAME CHANGE	02/06/24
06	RESPONSE TO CITY PERMIT COMMENTS	12/19/23
05	SITE PLAN REVISION	12/18/23
04	ISSUED FOR SITE PLAN	11/15/23
03	ISSUED FOR PERMIT	08/11/23
02	ISSUED FOR SITE PLAN	12/03/21
01	ISSUED FOR SITE PLAN	08/27/21
NO.	REVISION	MM/DD/YY DATE

**WOODMAN ARCHITECT & ASSOCIATES LTD.**

201-4 BEECHWOOD AVENUE, OTTAWA, ONTARIO, CANADA K1L8L9  
TEL: 613 228 9850, FAX 613 228 9848, mailbox@woodmanarchitect.com

CONSULTANTS:  
STRUCTURAL - D+M STRUCTURAL ENGINEERING  
MECHANICAL - JAIN CONSULTANTS  
ELECTRICAL - JAIN CONSULTANTS

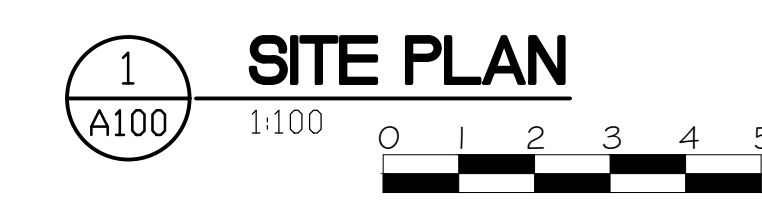
PROJECT  
1940 CARLING AVENUE,  
OTTAWA, ONTARIO

DRAWING:  
**ARCHITECTURAL  
SITE PLAN**

DATE	18-08-2023	JOB NO.	1943
SCALE	AS SHOWN	DRAWING NO.	
DRAWN BY	R.S., K.A.		A100
REVIEWED BY	R.J.W., R.W.		

28  
No. 1948

LOT 26  
P.I.N. 03984 - 0041



**SITE PLAN**  
A100

2024-02-06 1940 CARLING AVE

D07-12-22-0001