QUEENSWOOD COMMONS SITE PLAN APPROVAL - RESUBMISSION February 28, 2025



PROJECT TEAM

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ARCHITECT

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TRANSPORTATION, PARKING & WASTE MANAGEMENT BA Consulting Group Ltd 45 St Clair Ave W, Suite 300 Toronto, ON M4V 1K9 T: 416-961-7110

CIVIL ENGINEERS WSP Global Inc. 500 -119 Spadina Ave Toronto, ON M5V 2L1 T: 416-260-1560

PLANNING MHBC 442 Brant St, Suite 204 Burlington, ON L7R 2G4 T: 905-639-8686

CITY FILE #D07-12-22-0002



COVER SHEET

Project No. 2103 Scale Plot Date 28/02/25

360 Kennedy Lane East, Ottawa Ontario

QUEENSWOOD COMMONS

Kindred Works

351 King St E, Suite 1200 Toronto, ON, Canada M5A 0L6 416.977.5104

KPMB Architects

Issued

Rev. Date

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5	11/06/24	RE-ISSUED FOR ZBA/SPA
4	06/02/23	RE-ISSUED FOR ZBA/SPA
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2	09/21/22	RE-ISSUED FOR ZBA/SPA

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commencing work.

work, the greater shall apply.

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JTH ELEVATIONS ELEVATIONS JTH ELEVATIONS ELEVATIONS

360 Kennedy Ln E, Orléans, ON K1E 3P3

1 Legal Address

2 Municipal Address

3 Applicable Zoning By-Laws

4 Zoning Designation

5 Lot Area (m2) 6 Total Building GFA (m2)

7 Coverage (Area at Grade, m2)

8 Sustainability Target

9 Grade

10 Total Area of Renovated Space

Proposed Building Height Proposed Building Height (Area A)

1 Building Height is measured from Grade as defined above

2 Floor Heights are measures from grade at private road (geodetic el. 87.85m) to top of floor levels

Project Area Bro	eakdown (m	1 ²)		Gross Const	ructed Area										G	ross Floor Area (O	GFA) as per 2008	3-250				
	Block 1	Block 2	Block 3	Block 4	Block 5	Block 6	Block 7	Block 8			Existing		Existing	Residential	Residential	Residential	Residential	Residential	Residential	Residential	Residential	
Level	GCA	GCA	GCA	GCA	GCA	GCA	GCA	GCA	Total	Level	Community	Community	Residential	Block 1	Block 2	Block 3	Block 4	Block 5	Block 6	Block 7	Block 8	Total
																	•	·				
BASEMENT_A	78.6 m²	76.9 m ²	79.2 m ²	77.9 m²	42.9 m ²	78.6 m²	78.6 m ²	42.9 m²	555.8 m²	BASEMENT_A	0.0 m ²	0.0 m ²	0.0 m ²	71.4 m ²	69.6 m²	72.0 m ²	70.7 m ²	37.7 m ²	71.4 m ²	71.3 m ²	37.7 m ²	501.7 m ²
LEVEL 1_A	255.2 m²	445.3 m ²	422.4 m ²	314.1 m ²	179.0 m ²	396.2 m ²	318.7 m ²	266.5 m ²	2597.5 m ²	LEVEL 1_A	0.0 m ²	0.0 m ²	0.0 m ²	216.8 m ²	376.3 m ²	364.3 m²	279.2 m ²	149.9 m ²	351.8 m²	280.6 m ²	227.3 m ²	2246.2 m ²
LEVEL 2_A_WU	260.6 m ²	460.7 m ²	436.2 m ²	328.3 m ²	182.0 m ²	408.8 m ²	328.4 m ²	270.8 m ²	2676.0 m ²	LEVEL 2_A_WU	0.0 m ²	0.0 m ²	0.0 m ²	225.7 m ²	396.7 m ²	384.2 m ²	293.2 m ²	156.3 m ²	363.9 m²	293.7 m ²	235.1 m ²	2348.6 m ²
LEVEL 3_A_WU	167.5 m²	246.9 m ²	174.1 m ²	328.3 m ²	0.0 m ²	408.8 m ²	328.4 m ²	0.0 m ²	1654.0 m ²	LEVEL 3_A_WU	0.0 m ²	0.0 m ²	0.0 m ²	146.0 m ²	208.0 m ²	144.4 m²	293.2 m ²	0.0 m ²	363.9 m²	293.7 m ²	0.0 m ²	1449.1 m ²
	762.0 m ²	1229.8 m ²	1111.9 m ²	1048.7 m ²	404.0 m ²	1292.5 m ²	1054.1 m ²	580.3 m ²	7483.3 m ²		0.0 m ²		0.0 m ²	660.0 m ²	1050.6 m ²	964.8 m²	936.2 m ²	343.8 m ²	1151.0 m ²	939.2 m²	500.1 m ²	6545.6 m²
Grand Total									7483.26 m ²													
FSI																						0.53
										Units per Zoning By-	law			Stacked	Stacked	Stacked	Stacked	Townhouse	Stacked	Stacked	Townhouse	
														Dwellings	Dwellings	Dwellings	Dwellings	Dwellings	Dwellings	Dwellings	Dwellings	

Gross Floor Area is defined by the total area of each floor whether located above, at or below grade, measured from the interiors of outside walls and including floor area occupied by interior walls and floor area created by bay windows, but excluding; 1. floor area occupied by shared mechanical, service and electrical equipment that serve the building (By-law 2008-326) 2. common hallways, corridors; stairwells, elevator shafts and other voids, steps and landings; (By-law 2008-326) (By-law 2017-302)

3. bicycle parking; motor vehicle parking or loading facilities;

4. common laundry, storage and washroom facilities that serve the building or tenants;

5. common storage areas that are accessory to the principal use of the building; (By-law 2008-326)

6. common amenity area and play areas accessory to a principal use on the lot; and (By-law 2008-326) 7. living quarters for a caretaker of the building. (surface de plancher hors oeuvre brute)

Gross Construction Area is defined by the total area of each floor located above, at or below grade, measured from the outside edge of exterior walls. There are no exclusions from the calculation other than exterior covered balconies.

Block	Block Type	Total Buildings Per Block	Total Units Per Block	
1	STACKED DWELLINGS	4	8	
2	STACKED DWELLINGS	7	13	
3	STACKED DWELLINGS	7	11	
4	STACKED DWELLINGS	4	12	
5	TOWNHOMES	4	4	
6	STACKED DWELLINGS	5	15	
7	STACKED DWELLINGS	4	12	
8	TOWNHOMES	6	6	
Total		41	81	
umber of Barrier Free Units (15%) OBC 3.8.2.1.(5)				

Residential Amenity Spaces (Zoning By-Law 2008-250 Table 137, Row 11 - Apartment Dwelling Low-Rise)

	Total Amenity Area Required	Communal Amenity Area Required	Provided Outdoor Amenity	Overall Rate Required (m2)	Overall Rate Provided (m2)
Total Area (71 units)*	426m ²	213m²	556m²	6m2 per dwelling unit	6.86m2 per dwelling unit*
		Communal amenity areas provided in front of church, and within central space. See Site Plan A0.05.	Townhome rear patios counted towards total amenity area.		

*Blocks 5 & 8 (10 units) do not count towards amenity per Zoning By-Law 2008-250 Table 137 row 12.

Bedroom Mix				
	1 Bed	2 Bed	3 Bed	Total
No. of Units	20	52	9	
% of Total	25%	64%	11%	

Pcl 8-3, Sec 50m-77 ; Pt BLK 8, Pl 50m-77, Part 3, 50r5659 ; Cumberland 360 Kennedy Ln E, Orléans, ON K1E 3P3 City of Ottawa Zoning By-Law No. 2008-250 (2023-147)

Residential Fourth Density Zone (R4Z[2856]S472)

12,208m² 6,545.6m²

2,597.5

N/A

87.85m 0

12.82m 7.53m

81 100%

Car Parking Provided

	Spaces Provided	Notes
Residential	76	provided at a minimum rate of 0.75 per unit (resident) & 0.19 per unit
Community Centre	9	provided at a rate of 4 spaces per 100m2
Total	85	

Car Parking as per Zoning By-Law 2008-250 (as Amended by By-Law 2023-147)

Land Use	Units	Standard (spaces per unit)	Parking Required	
		Resident	ial	
Townhome	10	0.75 spaces per unit	7	
Stacked Dwelling	71	0.75 spaces per unit	53	
Resident Visitors	81 units total	0.19 spaces per unit	16	
Sub-Total Res.			76	
		Non-Reside	ential	
Community Centre	92m ²	4 spaces per 100m2	4	
Sub-Total Non-Res.			4	
		Total Parking Re	equired	
Total			80	85

1 Number of spaces ending in a fraction to be rounded down to the nearest whole number

Bicycle Parking				
	Units/GFA	Rate	Spaces Required	Spaces Provide
Residential	81	0.5 spaces / unit	41	Bike Boxes (Townhome per box) - 42 spaces
				Bike Rings (2 spaces p spaces
All Other Non- Residential Uses	92 m ²	1 spaces per 1500 m2 GFA	0	Bike Rings (Public)
Total Bicycle Parking			41	118 Spac

Landscape Area

Lot Area	Landscape Area	% of Landscape Area	
12,208 m ²	4,109 m ²	34%	

CITY FILE #D07-12-22-0002

18 Spaces

s (Public) - 16 spaces

spaces per ring) - 60

Provided / Notes ownhomes - 2 spaces

85 Provided

nit (visitor)

A0.01Z

STATISTICS SUMMARY

Project No. 2103 Scale N/A Plot Date 28/02/25

360 Kennedy Lane East, Ottawa Ontario

Kindred Works QUEENSWOOD COMMONS

KPMB Architects 351 King St E, Suite 1200 Toronto, ON, Canada M5A 0L6 416.977.5104

6	02/28/25	RE-ISSUED FOR SPA 5	
5	11/06/24	RE-ISSUED FOR ZBA/SPA	
4	06/02/23	RE-ISSUED FOR ZBA/SPA	
3	02/24/23	RE-ISSUED FOR ZBA/SPA	
2	09/21/22	RE-ISSUED FOR ZBA/SPA	
1	12/15/21	ISSUED FOR ZBA/SPA	
Rev.	Date	Issued	

any distribution with the contact bockments to the Architect before commencing work.
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- shown on the Architectural Drawings shall govern over Mechanical and Electrical Drawings. Mechanical and Electrical items not clearly located

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The architect has not been retained for supervision of construction and assumes no responsibility for means, methods and techniques of

construction. 6. These documents are not to be used for construction unless specifically

- Positions of exposed or finished Mechanical or Electrical devices, fittings and fixtures are indicated on the Architectural Drawings. Locations





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IMAGE 2 - COMMUNAL AREA LOOKING SOUTH AT BLOCK 2 & 3

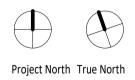
IMAGE 1 - COMMUNAL AREA LOOKING WEST AT BLOCK 2

5	02/28/25	RE-ISSUED FOR SPA 5	
4	11/06/24	RE-ISSUED FOR ZBA/SPA	
3	02/24/23	RE-ISSUED FOR ZBA/SPA	
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Kindred Works QUEENSWOOD COMMONS

360 Kennedy Lane East, Ottawa Ontario

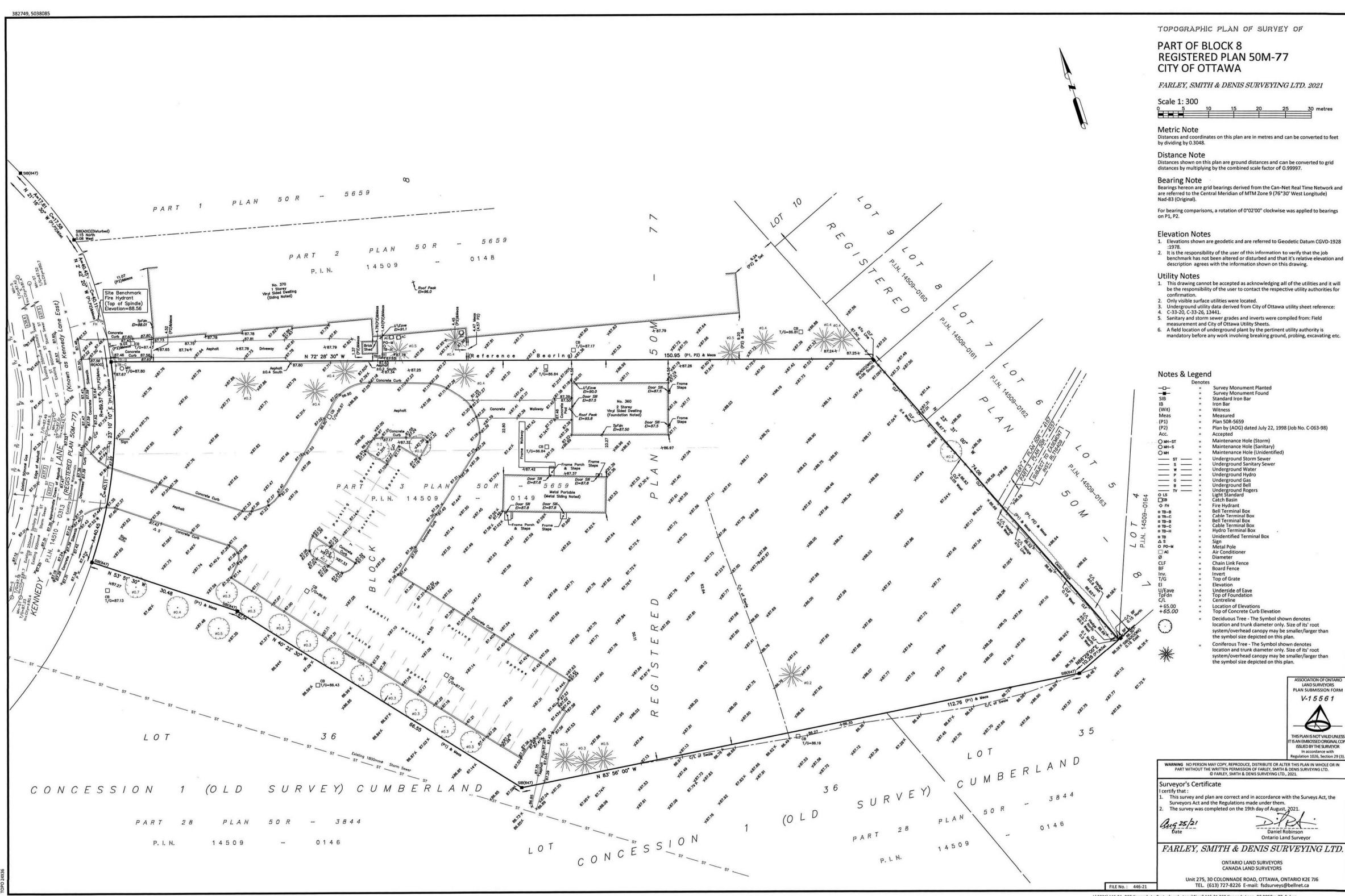


Project No. 2103 Scale Plot Date 28/02/25

A0.02Z

RENDERS

CITY FILE #D07-12-22-0002



For bearing comparisons, a rotation of 0°02'00" clockwise was applied to bearings on P1, P2. **Elevation Notes** 1. Elevations shown are geodetic and are referred to Geodetic Datum CGVD-1928 1978 It is the responsibility of the user of this information to verify that the job benchmark has not been altered or disturbed and that it's relative elevation and description agrees with the information shown on this drawing. Utility Notes This drawing cannot be accepted as acknowledging all of the utilities and it will be the responsibility of the user to contact the respective utility authorities for Only visible surface utilities were located. Underground utility data derived from City of Ottawa utility sheet reference: C-33-20, C-33-26, 13441. C-33-20, C-33-26, 13441. Sanitary and storm sewer grades and inverts were compiled from: Field measurement and City of Ottawa Utility Sheets. A field location of underground plant by the pertinent utility authority is mandatory before any work involving breaking ground, probing, excavating etc. Notes & Legend Denotes Survey Monument Planted Survey Monument Found Standard Iron Bar Iron Bar Witness Measured Plan 50R-5659 Plan by (AOG) dated July 22, 1998 (Job No. C-063-98) Accepted ACC. " O MH-ST " O MH-S " O MH " S " W " W " C MH " S " W " Maintenance Hole (Storm) Maintenance Hole (Sanitary) Maintenance Hole (Unidentified) Underground Storm Sewer Underground Sanitary Sewer Underground Water Underground Hydro 5 11/06/24 RE-ISSUED FOR ZBA/SPA 4 06/02/23 RE-ISSUED FOR ZBA/SPA Underground Gas Underground Bell Underground Rogers Light Standard Catch Basin Fire Hydrant RE-ISSUED FOR ZBA/SPA RE-ISSUED FOR ZBA/SPA 3 02/24/23 2 09/21/22 ISSUED FOR ZBA/SF Rev. Date Issued Bell Terminal Box Cable Terminal Box Bell Terminal Box Cable Terminal Box Hydro Terminal Box Hydro Terminal Box Unidentified Terminal Box Sign Metal Pole Air Conditioner Diameter Chain Link Fence Board Fence Invert Top of Grate Elevation Elevation Underside of Eave Top of Foundation Centreline Location of Elevations Top of Concrete Curb Elevation Deciduous Tree - The Symbol shown denotes KPMB Architects location and trunk diameter only. Size of its' root 351 King St E, Suite 1200 Toronto, ON, Canada M5A 0L6 416.977.5104 system/overhead canopy may be smaller/larger than the symbol size depicted on this plan. Coniferous Tree - The Symbol shown denotes location and trunk diameter only. Size of its' root system/overhead canopy may be smaller/larger than the symbol size depicted on this plan. ASSOCIATION OF ONTARIO LAND SURVEYORS PLAN SUBMISSION FORM V-15561 Kindred Works 0 QUEENSWOOD COMMONS IS PLAN IS NOT VALID UNLE AN EMBOSSED ORIGINAL CO ISSUED BY THE SURVEYOR In accordance with ulation 1026, Section 29 WARNING NO PERSON MAY COPY, REPRODUCE, DISTRIBUTE OR ALTER THIS PLAN IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION OF FARLEY, SMITH & DENIS SURVEYING LTD. © FARLEY, SMITH & DENIS SURVEYING LTD., 2021. Surveyor's Certificate I certify that : This survey and plan are correct and in accordance with the Surveys Act, the Surveyors Act and the Regulations made under them. The survey was completed on the 19th day of August, 2021. 360 Kennedy Lane East, Ottawa Ontario $\langle | \rangle$ Ontario Land Surveyor FARLEY, SMITH & DENIS SURVEYING LTD Project North True North ONTARIO LAND SURVEYORS CANADA LAND SURVEYORS Unit 275, 30 COLONNADE ROAD, OTTAWA, ONTARIO K2E 7J6 TEL. (613) 727-8226 E-mail: fsdsurveys@bellnet.ca Project No. 2103 Scale NTS J:\2021\446-21_360 Kennedy Ln East_church_topo\Final\446-21 360 Kennedy Lane_B8 RP50m-77_F.dwg Plot Date 11/06/24 SITE SURVEY CITY FILE #D07-12-22-0002 A1.01Z

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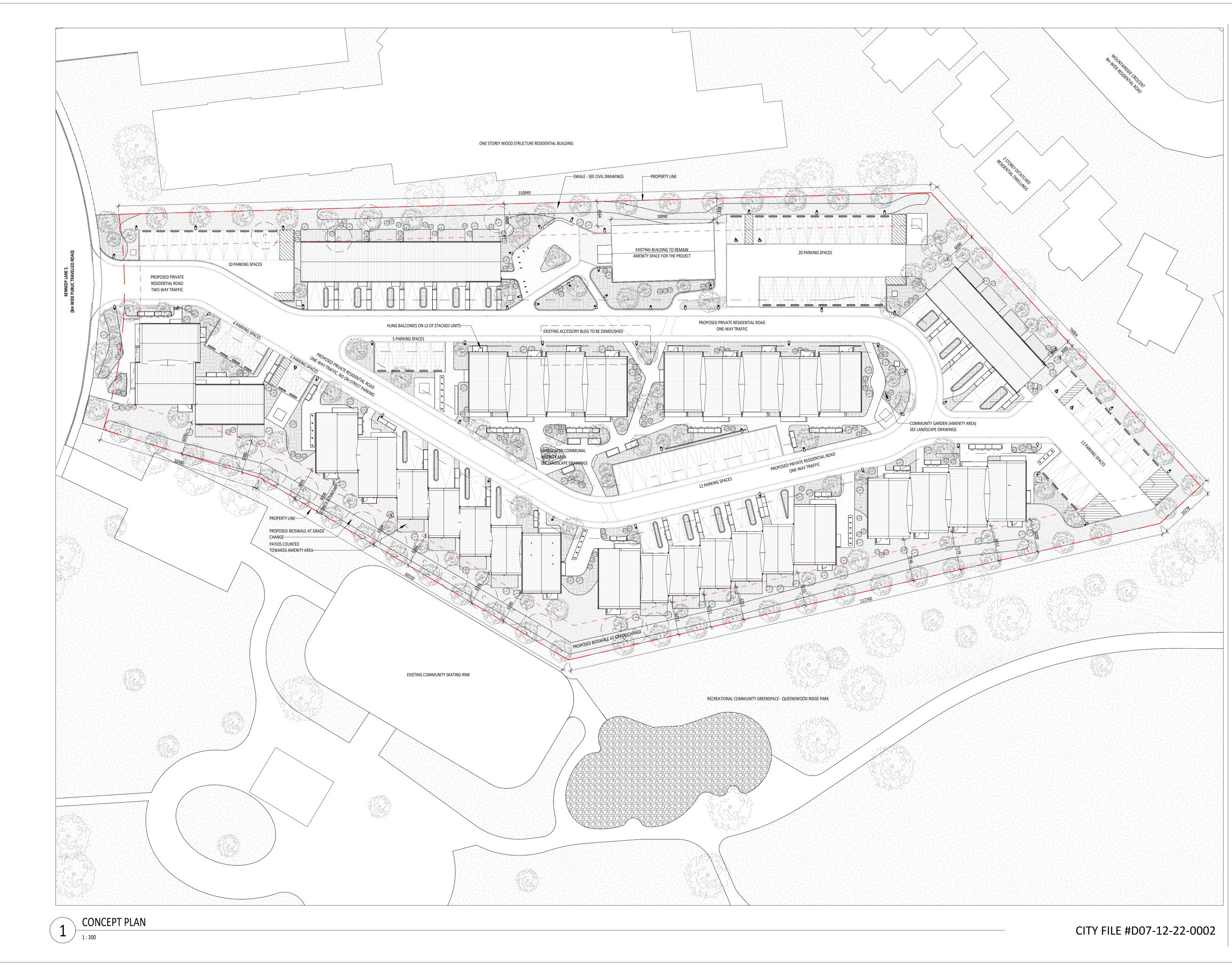
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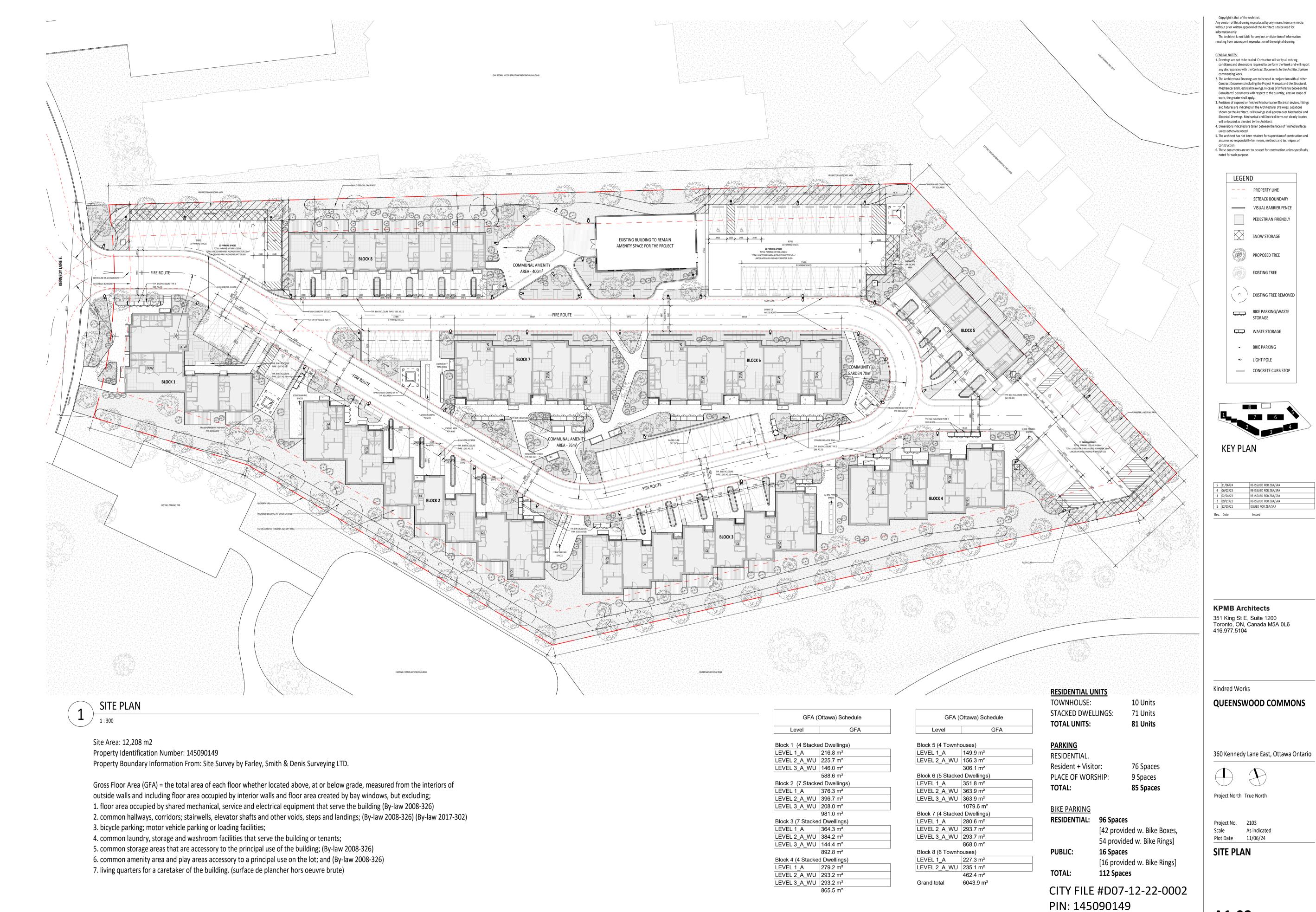
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GFA (Ottawa) Schedule
Level	GFA
Block 1 (4 Stacke	ed Dwellings)
LEVEL 1_A	216.8 m ²
LEVEL 2_A_WU	225.7 m ²
LEVEL 3_A_WU	146.0 m ²
	588.6 m ²
Block 2 (7 Stacke	ed Dwellings)
LEVEL 1_A	376.3 m ²
LEVEL 2_A_WU	396.7 m ²
LEVEL 3_A_WU	208.0 m ²
	981.0 m ²
Block 3 (7 Stacke	d Dwellings)
LEVEL 1_A	364.3 m ²
LEVEL 2_A_WU	384.2 m ²
LEVEL 3_A_WU	144.4 m²
	892.8 m ²
Block 4 (4 Stacke	d Dwellings)
LEVEL 1_A	279.2 m ²
LEVEL 2_A_WU	293.2 m ²
LEVEL 3_A_WU	293.2 m ²
	865.5 m ²

GFA (0	Ottawa) Schedule
Level	GFA
Block 5 (4 Townho	ouses)
	149.9 m ²
LEVEL 2_A_WU	156.3 m ²
	306.1 m ²
Block 6 (5 Stacke	d Dwellings)
LEVEL 1_A	351.8 m ²
LEVEL 2_A_WU	363.9 m ²
LEVEL 3_A_WU	363.9 m ²
	1079.6 m ²
Block 7 (4 Stacke	d Dwellings)
LEVEL 1_A	280.6 m ²
LEVEL 2_A_WU	293.7 m ²
LEVEL 3_A_WU	293.7 m ²
	868.0 m ²
Block 8 (6 Townho	ouses)
LEVEL 1_A	227.3 m ²
LEVEL 2_A_WU	235.1 m ²
	462.4 m ²
Grand total	6043.9 m ²

DWG # 18692

As indicated

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PEDESTRIAN FRIENDLY

EXISTING TREE

C L EXISTING TREE REMOVED

STORAGE

- BIKE PARKING

LIGHT POLE

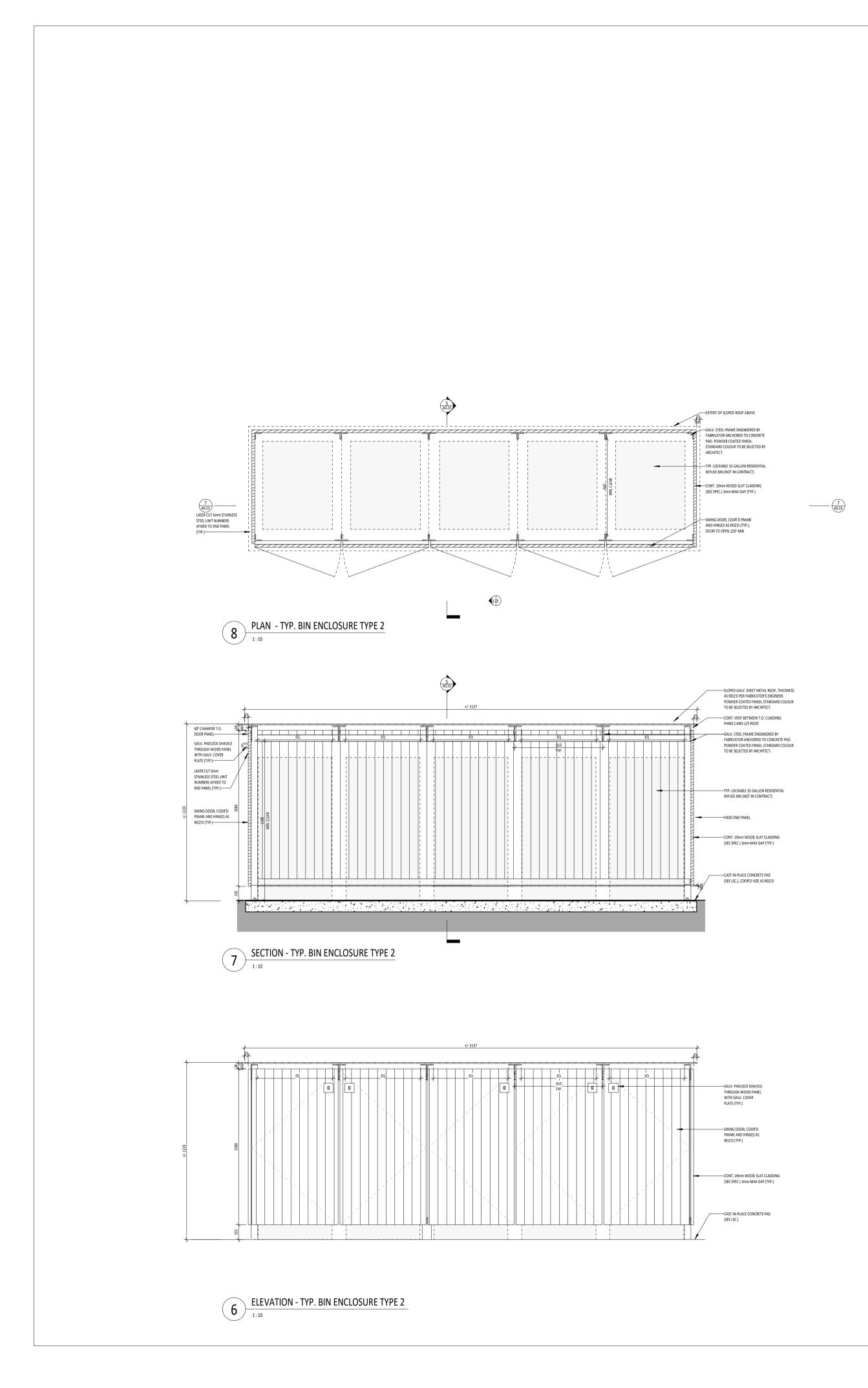
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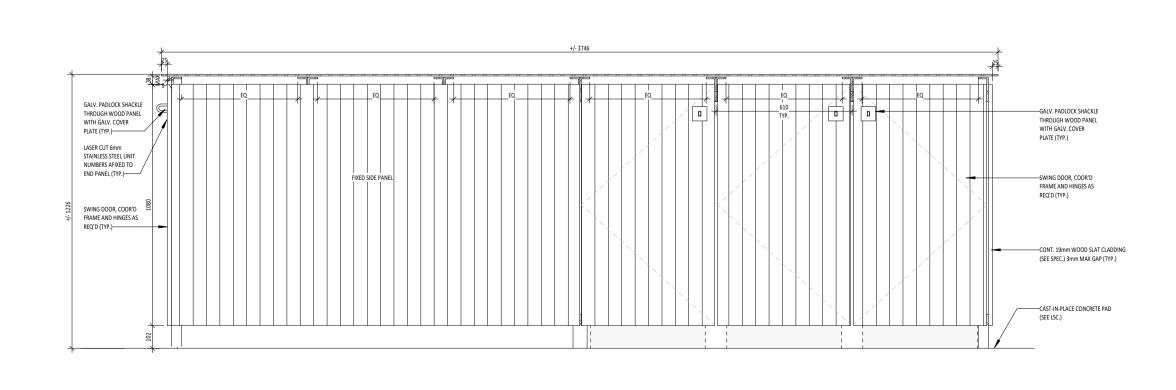
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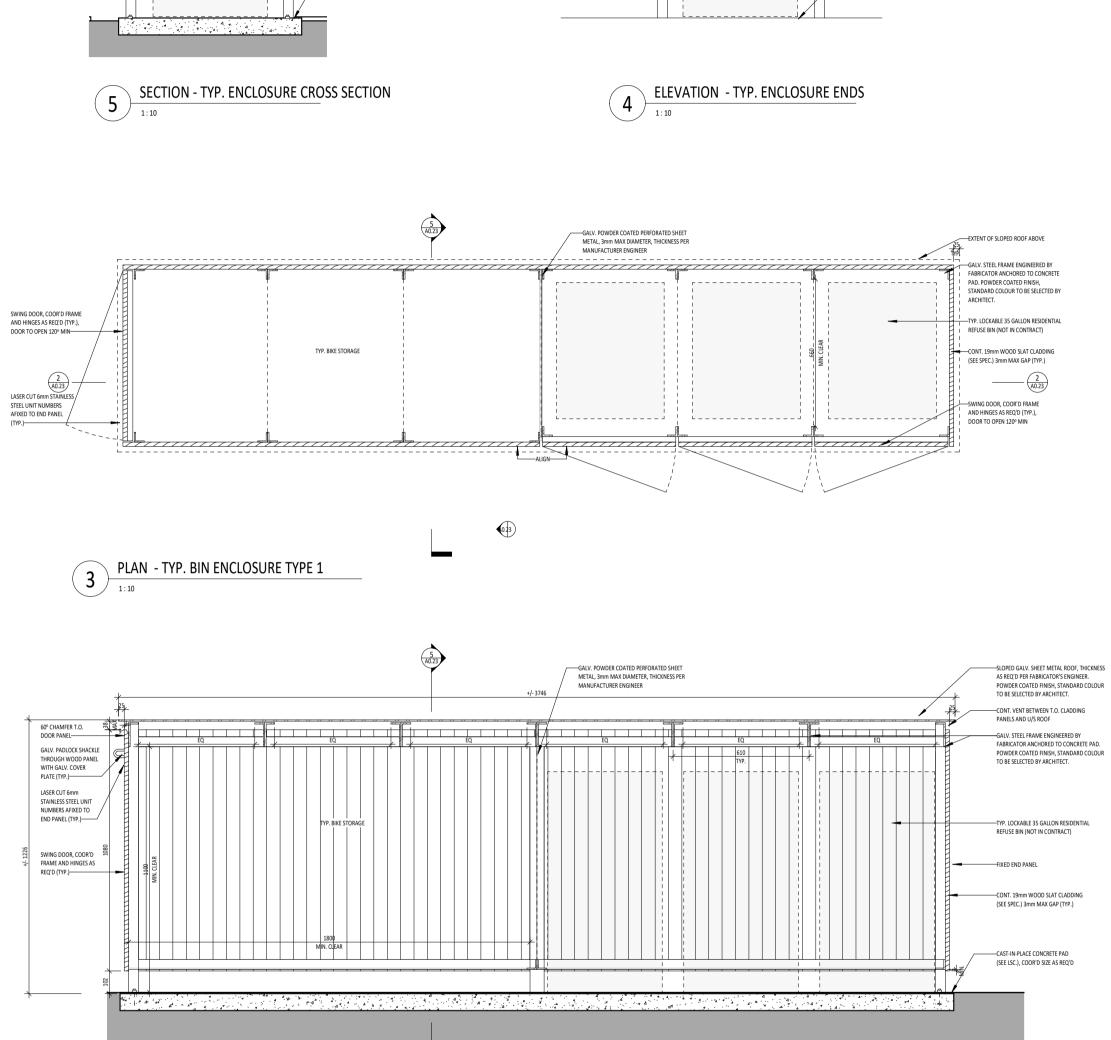
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2 SECTION - TYP. BIN ENCLOSURE TYPE 1 1:10





—SLOPED GALV. SHEET METAL ROOF, THICKNESS AS REQ'D PER FABRICATOR'S ENGINEER. POWDER COATED FINISH, STANDARD COLOUR TO BE SELECTED BY ARCHITECT.

FABRICATOR ANCHORED TO CONCRETE PAD. POWDER COATED FINISH, STANDARD COLOUR

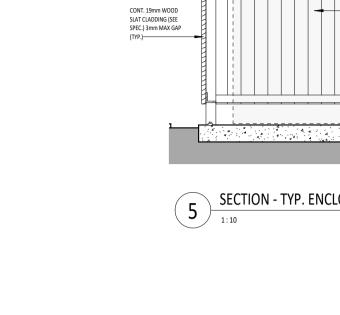
PANEL WITH GALV. COVER PLATE (TYP.)

-GALV. STEEL FRAME ENGINEERED BY

TO BE SELECTED BY ARCHITECT.

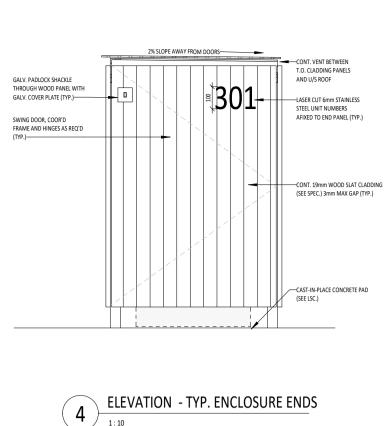
CAST-IN-PLACE CONCRETE PAD (SEE LSC.), COOR'D SIZE AS REQ'D

REFUSE BIN (NOT IN CONTRACT)



CONT. VENT BETWEEN T.O. CLADDING PANELS AND U/S ROOF

2% SLOPE AWAY FROM DOORS





 Project No.
 2103

 Scale
 1:10

 Plot Date
 28/02/25
 TYPICAL BIN ENCLOSURE

 \oplus \oplus Project North True North

360 Kennedy Lane East, Ottawa Ontario

Kindred Works QUEENSWOOD COMMONS

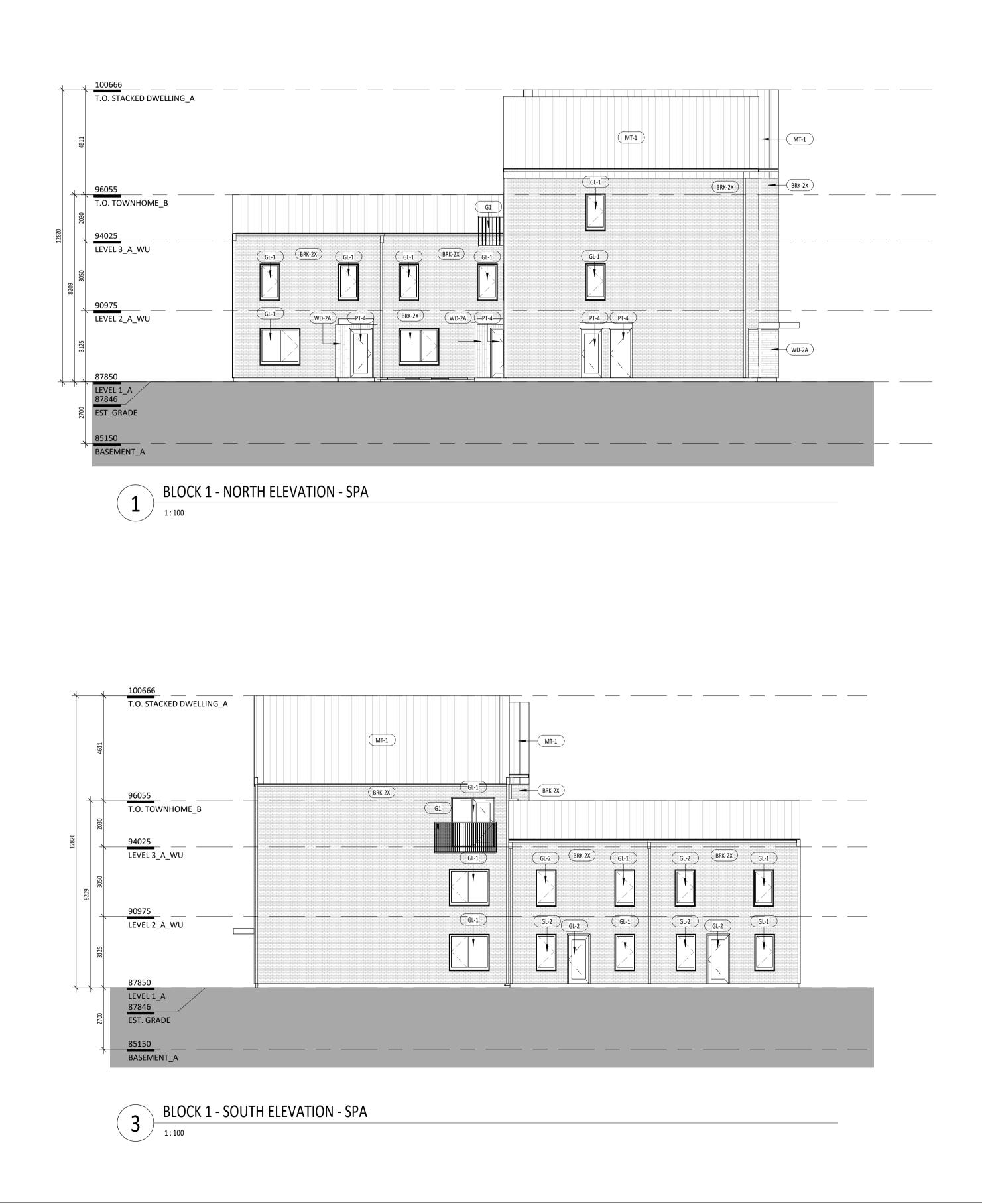
STATES Architects 351 King St E, Suite 1200 Toronto, ON, Canada M5A 0L6 416.977.5104

 3
 02/28/25
 RE-ISSUED FOR SPA 5

 2
 09/06/23
 50% CD

 1
 12/07/22
 ISSUED FOR 100% DD
 Rev. Date Issued

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 1. The Architect Diracing area to be read in conjunction with all other Contract Documents to the Architect Before commercing work.
 1. The Architectural Drawing area to be read in conjunction with all other Contract Documents to the quantity, sizes or scope of work, the greater hall apply.
 1. Pointies included the Mrogetet Manuala and the Structural, Mechanical and Electrical Drawing. Locate of the direct actions when the Consultant's documents to the quantity, sizes or scope of work, the greater hall apply.
 1. Pointies in elicited on the Architectural Drawing Located will be located as directed by the Architect.
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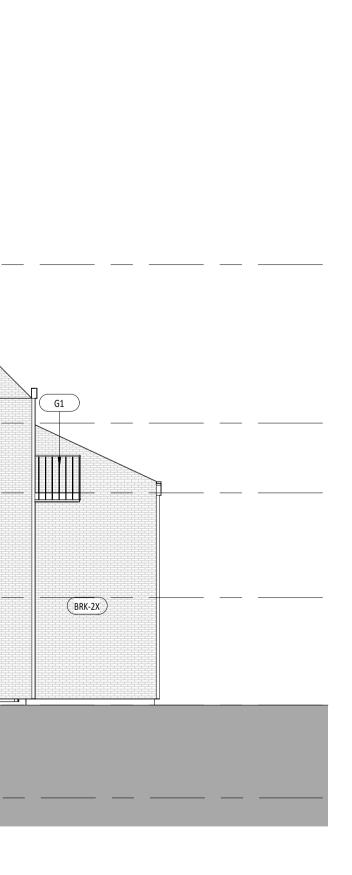












BRK-2X

_____G1____

(GL-1)

(GL-1)

1

(GL-1)

A5.01Z

BLOCK 1 - ELEVATIONS

 Project No.
 2103

 Scale
 1:100

 Plot Date
 11/06/24

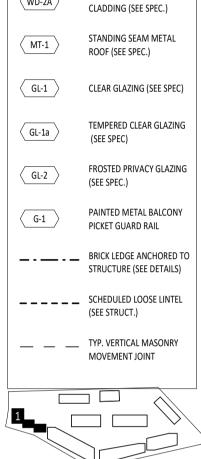
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6	02/28/25	RE-ISSUED FOR SPA 5	
5	11/06/24	RE-ISSUED FOR ZBA/SPA	
4	06/02/23	RE-ISSUED FOR ZBA/SPA	
3	02/24/23	RE-ISSUED FOR ZBA/SPA	
2	09/21/22	RE-ISSUED FOR ZBA/SPA	
1	12/15/21	ISSUED FOR ZBA/SPA	
Rev.	Date	Issued	

KEY PLAN



LEGEND BRK-2X MASONRY VENEER (SEE SPEC.) $\langle WD-2A \rangle$ EXTERIOR GRADE WOOD

noted for such purpose.

unless otherwise noted. The architect has not been retained for supervision of construction and assumes no responsibility for means, methods and techniques of

construction. 6. These documents are not to be used for construction unless specifically

- shown on the Architectural Drawings shall govern over Mechanical and Electrical Drawings. Mechanical and Electrical items not clearly located will be located as directed by the Architect. 4. Dimensions indicated are taken between the faces of finished surfaces
- Consultants' documents with respect to the quantity, sizes or scope of work, the greater shall apply. Positions of exposed or finished Mechanical or Electrical devices, fittings and fixtures are indicated on the Architectural Drawings. Locations
- any discrepancies with the Contract Documents to the Architect before commencing work. The Architectural Drawings are to be read in conjunction with all other Contract Documents including the Project Manuals and the Structural, Mechanical and Electrical Drawings. In cases of difference between the
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BLOCK 2 - SOUTH ELEVATION - SPA 2) 1 : 100

CITY FILE #D07-12-22-0002



BLOCK 2 - NORTH & SOUTH ELEVATIONS

 Project No.
 2103

 Scale
 1:100

 Plot Date
 11/06/24

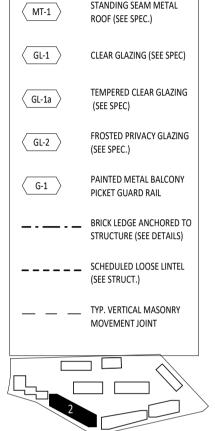
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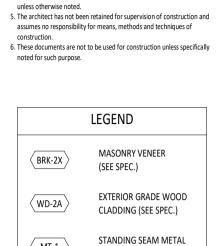
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4	06/02/23	RE-ISSUED FOR ZBA/SPA	
5	11/06/24	RE-ISSUED FOR ZBA/SPA	
6	02/28/25	RE-ISSUED FOR SPA 5	

KEY PLAN





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GENERAL NOTES:

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4. Dimensions indicated are taken between the faces of finished surfaces



CITY FILE #D07-12-22-0002

A5.03Z

BLOCK 2 - EAST & WEST ELEVATIONS

 Project No.
 2103

 Scale
 1 : 100

 Plot Date
 11/06/24

360 Kennedy Lane East, Ottawa Ontario

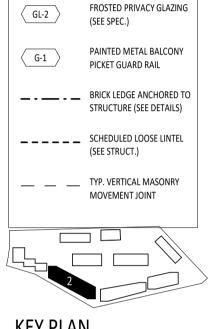
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	02/24/23	RE-ISSUED FOR ZBA/SPA	
4	06/02/23	RE-ISSUED FOR ZBA/SPA	
5	11/06/24	RE-ISSUED FOR ZBA/SPA	
6	02/28/25	RE-ISSUED FOR SPA 5	

KEY PLAN



BRK-2X MASONRY VENEER (SEE SPEC.) $\langle WD-2A \rangle$ EXTERIOR GRADE WOOD CLADDING (SEE SPEC.) STANDING SEAM METAL (MT-1) ROOF (SEE SPEC.) \langle GL-1 \rangle CLEAR GLAZING (SEE SPEC) TEMPERED CLEAR GLAZING GL-1a (SEE SPEC)

any discrepancies with the Contract Documents to the Architect before commencing work.
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LEGEND

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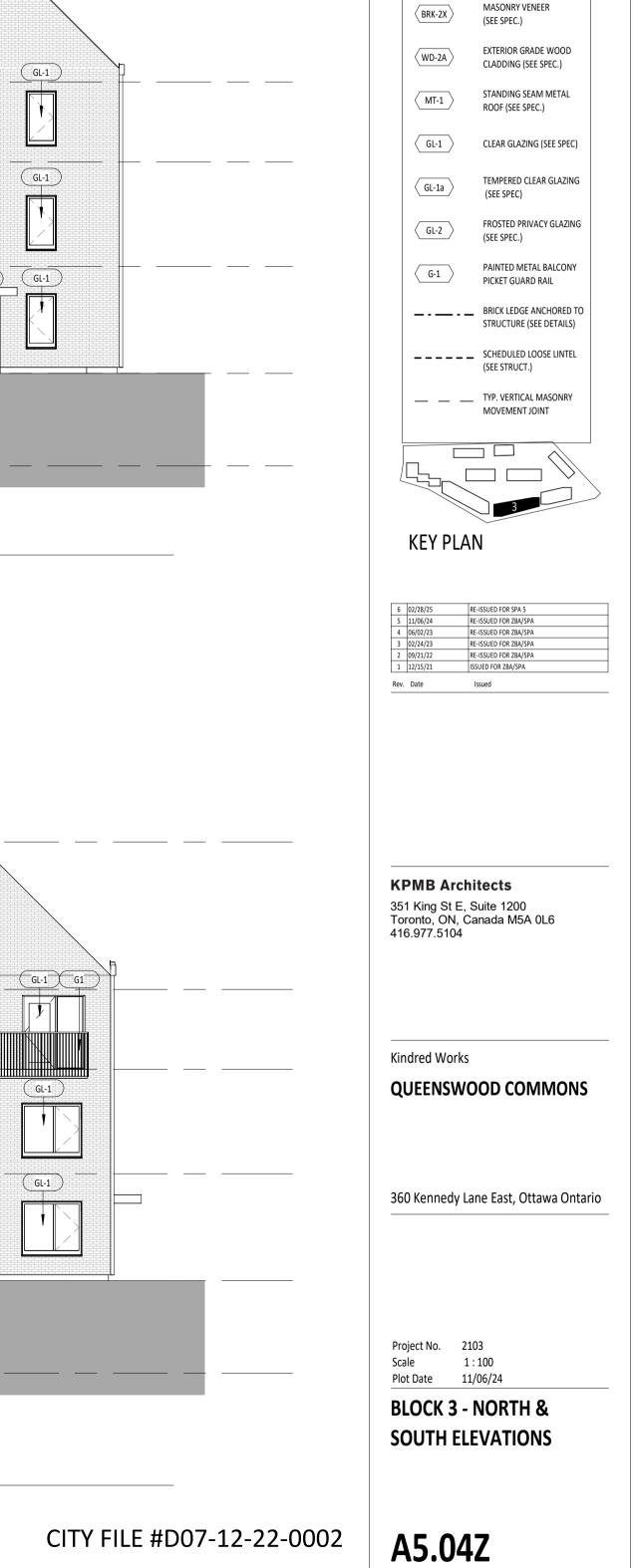
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2 BLOCK 3 - SOUTH ELEVATION - SPA



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any discrepancies with the Contract Documents to the Architect before

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4. Dimensions indicated are taken between the faces of finished surfaces

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LEGEND

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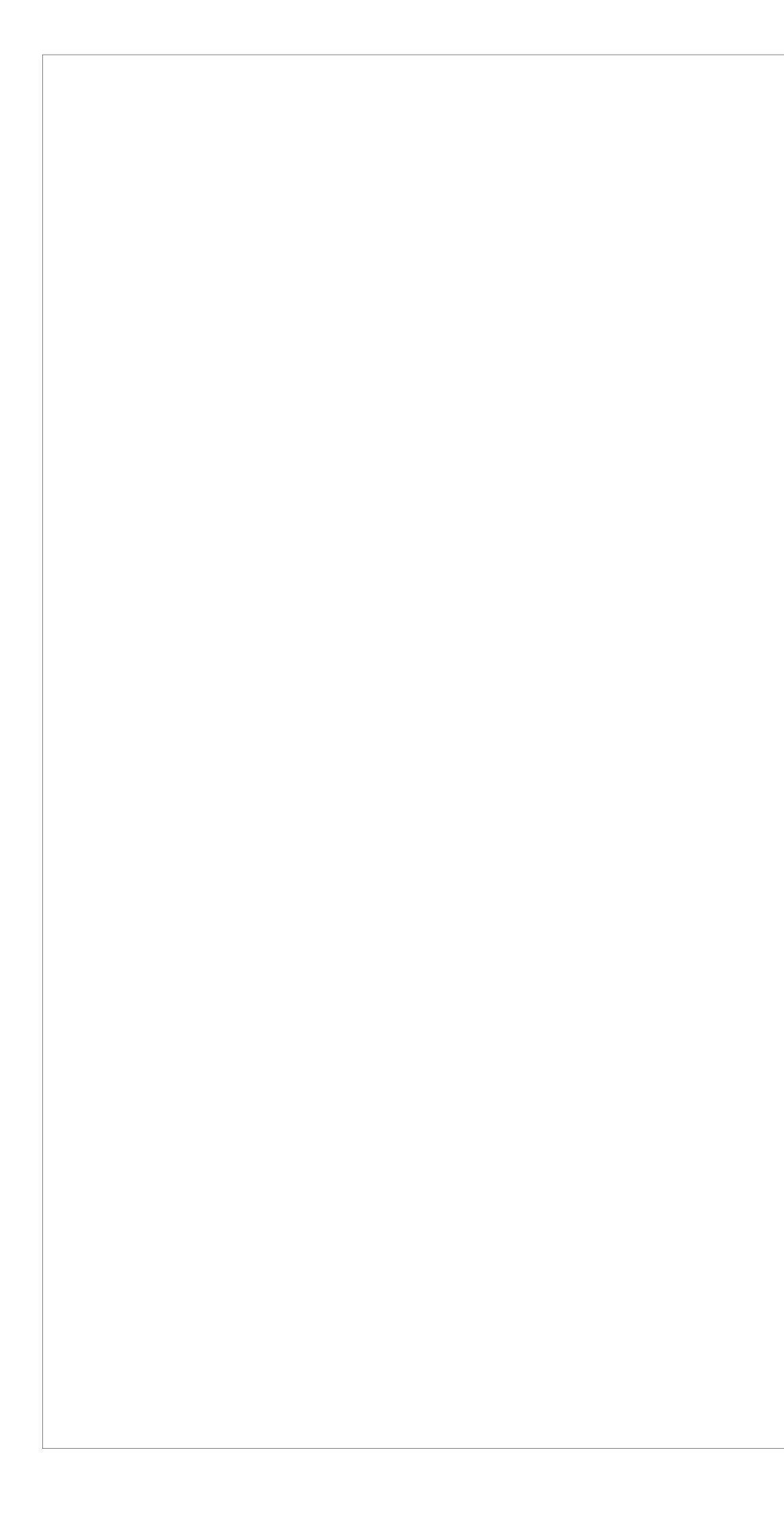
commencing work.

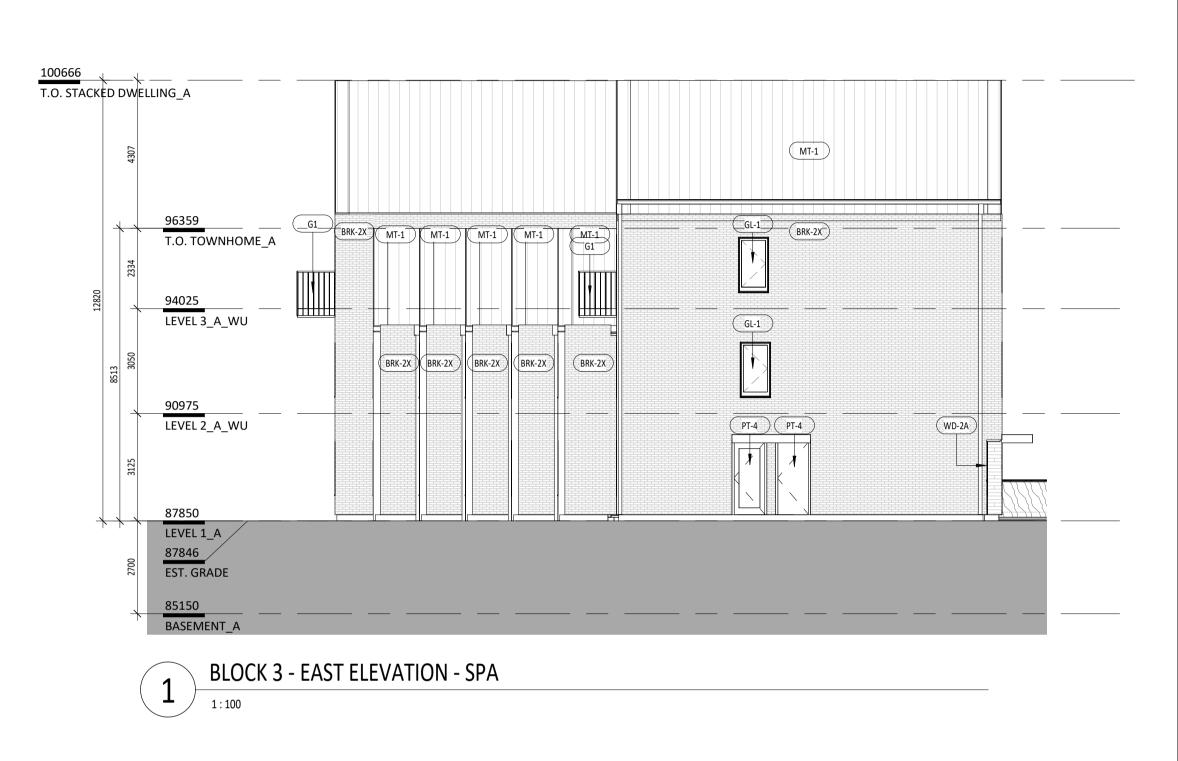
unless otherwise noted.

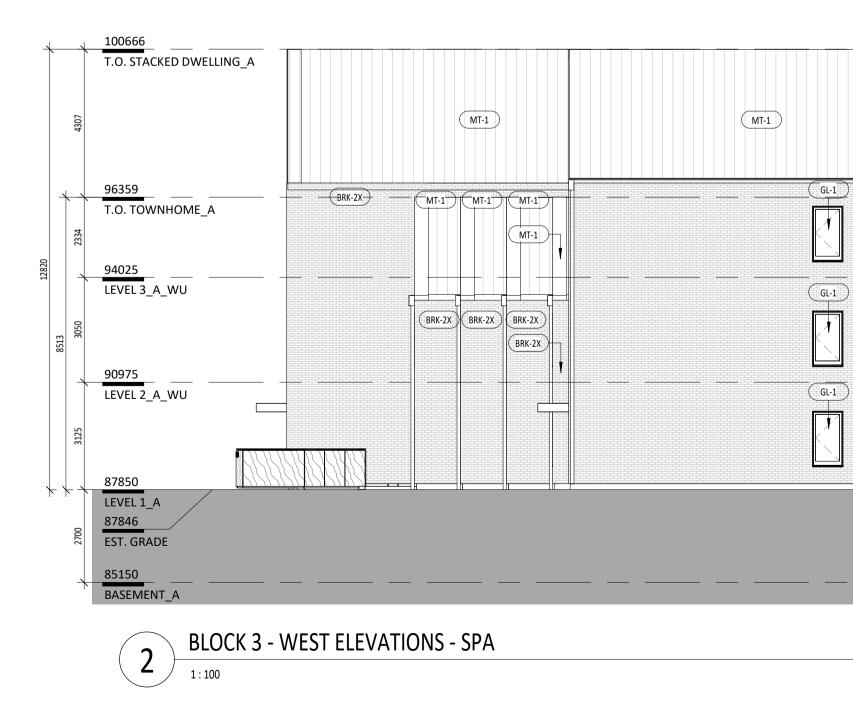
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construction.

will be located as directed by the Architect.









G1



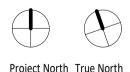
BLOCK 3 - EAST & WEST ELEVATIONS

 Project No.
 2103

 Scale
 1 : 100

 Plot Date
 11/06/24

Project North True North



360 Kennedy Lane East, Ottawa Ontario

QUEENSWOOD COMMONS

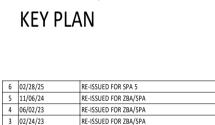
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1 1	2/15/21	ISSUED FOR ZBA/SPA
Rev. [Date	Issued

6	02/28/25	RE-ISSUED FOR SPA 5	
5	11/06/24	RE-ISSUED FOR ZBA/SPA	
4	06/02/23	RE-ISSUED FOR ZBA/SPA	
3	02/24/23	RE-ISSUED FOR ZBA/SPA	
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BRK-2X

 $\langle WD-2A \rangle$

(MT-1)

 \langle GL-1 \rangle

GL-1a

GL-2

G-1

- any discrepancies with the Contract Documents to the Architect before commencing work.
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 Dimensions indicated are taken between the naces of missies of missies of masters and taken and the second s construction. 6. These documents are not to be used for construction unless specifically

LEGEND

MASONRY VENEER (SEE SPEC.)

EXTERIOR GRADE WOOD CLADDING (SEE SPEC.)

STANDING SEAM METAL

CLEAR GLAZING (SEE SPEC)

TEMPERED CLEAR GLAZING

FROSTED PRIVACY GLAZING

PAINTED METAL BALCONY

STRUCTURE (SEE DETAILS)

PICKET GUARD RAIL

ROOF (SEE SPEC.)

(SEE SPEC)

(SEE SPEC.)

BRICK LEDGE ANCHORED TO

_____ SCHEDULED LOOSE LINTEL

_____ TYP. VERTICAL MASONRY

(SEE STRUCT.)

MOVEMENT JOINT

- will be located as directed by the Architect. 4. Dimensions indicated are taken between the faces of finished surfaces





BLOCK 4 - SOUTH ELEVATION - SPA (3) 1:100



1:100

BLOCK 4 - WEST ELEVATION - SPA

CITY FILE #D07-12-22-0002

A5.06Z

BLOCK 4 - ELEVATIONS

 Project No.
 2103

 Scale
 1:100

 Plot Date
 11/06/24

360 Kennedy Lane East, Ottawa Ontario

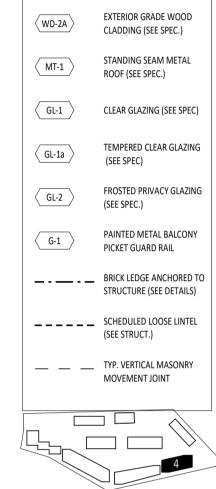
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Rev.	Date	Issued	

KEY PLAN



BRK-2X MASONRY VENEER (SEE SPEC.)

will be located as directed by the Architect. 4. Dimensions indicated are taken between the faces of finished surfaces unless otherwise noted. The architect has not been retained for supervision of construction and assumes no responsibility for means, methods and techniques of

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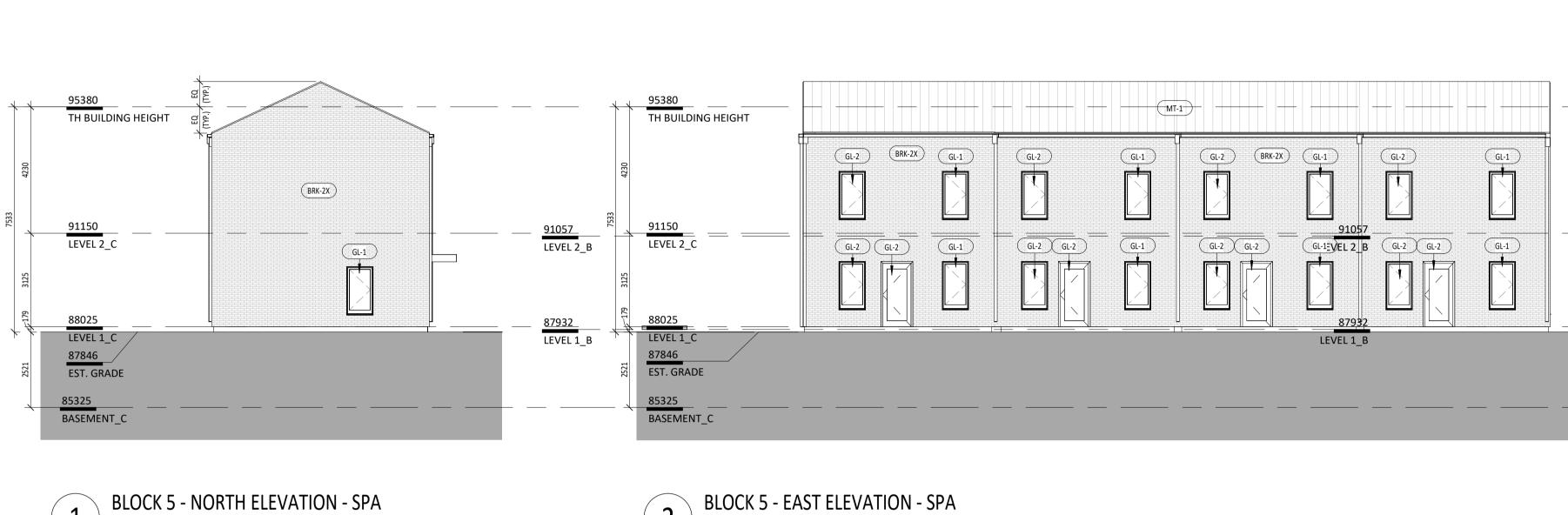
LEGEND

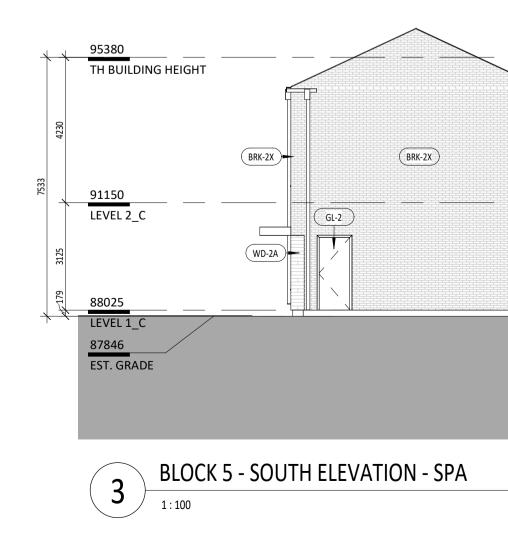
noted for such purpose.

BRK-2X

(WD-2A)

- Positions of exposed or finished Mechanical or Electrical devices, fittings and fixtures are indicated on the Architectural Drawings. Locations shown on the Architectural Drawings shall govern over Mechanical and Electrical Drawings. Mechanical and Electrical items not clearly located
- commencing work. The Architectural Drawings are to be read in conjunction with all other Contract Documents including the Project Manuals and the Structural, Mechanical and Electrical Drawings. In cases of difference between the Consultants' documents with respect to the quantity, sizes or scope of work, the greater shall apply.
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1

1:100







CITY FILE #D07-12-22-0002

A5.07Z

BLOCK 5 - ELEVATIONS

 Project No.
 2103

 Scale
 1 : 100

 Plot Date
 11/06/24

360 Kennedy Lane East, Ottawa Ontario

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Rev.	Date	Issued	
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2	09/21/22	RE-ISSUED FOR ZBA/SPA	
3	02/24/23	RE-ISSUED FOR ZBA/SPA	
4	06/02/23	RE-ISSUED FOR ZBA/SPA	
5	11/06/24	RE-ISSUED FOR ZBA/SPA	
6	02/28/25	RE-ISSUED FOR SPA 5	

KEY PLAN

	MT-1	STANDING SEAM METAL ROOF (SEE SPEC.)
	GL-1	CLEAR GLAZING (SEE SPEC)
	GL-1a	TEMPERED CLEAR GLAZING (SEE SPEC)
	GL-2	FROSTED PRIVACY GLAZING (SEE SPEC.)
	G-1	PAINTED METAL BALCONY PICKET GUARD RAIL
		BRICK LEDGE ANCHORED TO STRUCTURE (SEE DETAILS)
		SCHEDULED LOOSE LINTEL (SEE STRUCT.)
		TYP. VERTICAL MASONRY MOVEMENT JOINT
l		

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CLADDING (SEE SPEC.)

any discrepancies with the Contract Documents to the Architect before commencing work.
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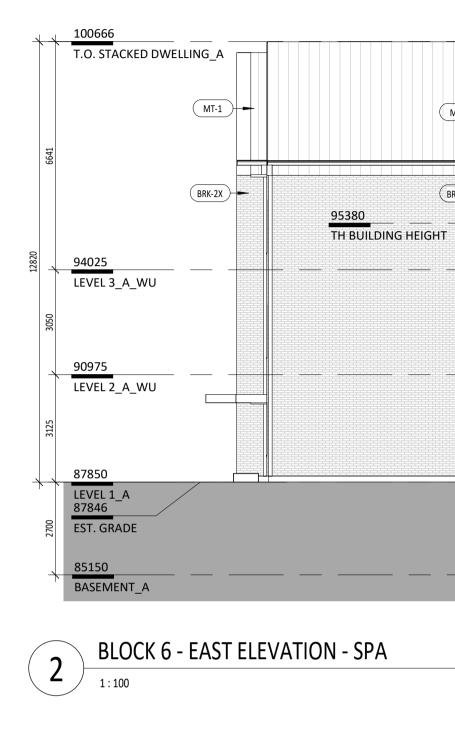
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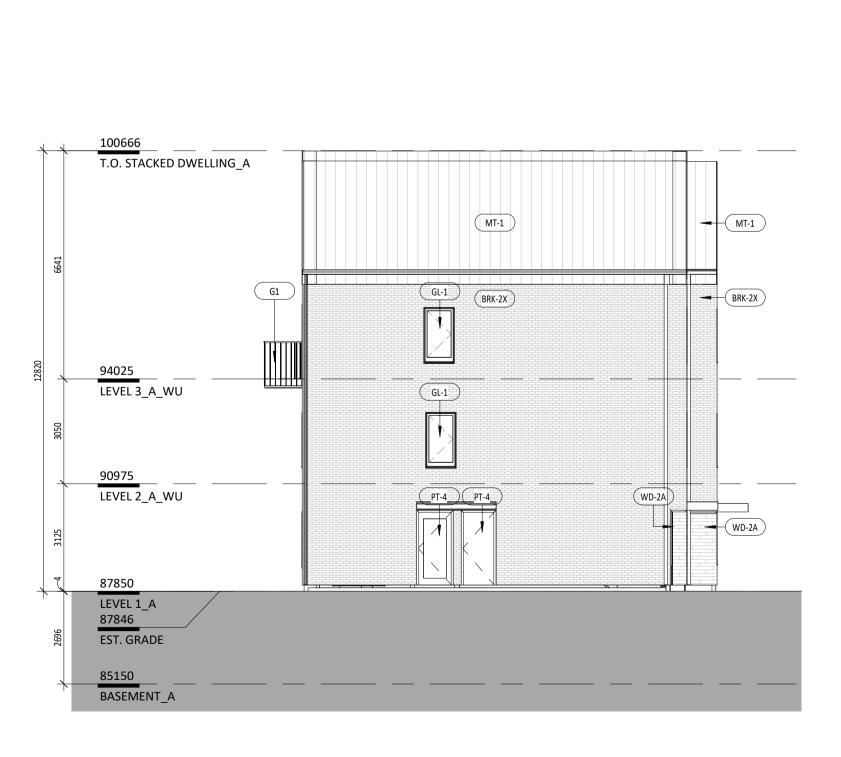




BLOCK 6 - SOUTH ELEVATION - SPA 3

1:100







BLOCK 6 - WEST ELEVATION - SPA 1:100

CITY FILE #D07-12-22-0002

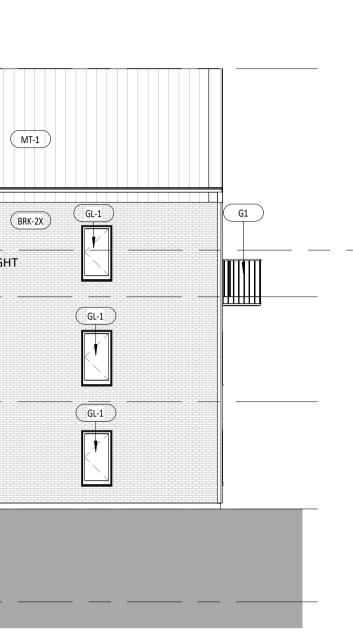
Kindred Works QUEENSWOOD COMMONS 360 Kennedy Lane East, Ottawa Ontario Project No. 2103 Scale 1:100 Plot Date 11/06/24 **BLOCK 6 - ELEVATIONS**

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RE-ISSUED FOR SPA 5 RE-ISSUED FOR ZBA/SPA RE-ISSUED FOR ZBA/SPA RE-ISSUED FOR ZBA/SPA RE-ISSUED FOR ZBA/SPA	
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6	02/28/25	RE-ISSUED FOR SPA 5
5	11/06/24	RE-ISSUED FOR ZBA/SPA



BRK-2X	MASONRY VENEER (SEE SPEC.)
WD-2A	EXTERIOR GRADE WOOD CLADDING (SEE SPEC.)
(MT-1)	STANDING SEAM METAL ROOF (SEE SPEC.)
GL-1	CLEAR GLAZING (SEE SPEC)
GL-1a	TEMPERED CLEAR GLAZING (SEE SPEC)
GL-2	FROSTED PRIVACY GLAZING (SEE SPEC.)
G-1 >	PAINTED METAL BALCONY PICKET GUARD RAIL
	BRICK LEDGE ANCHORED TO STRUCTURE (SEE DETAILS)
	SCHEDULED LOOSE LINTEL (SEE STRUCT.)
	TYP. VERTICAL MASONRY MOVEMENT JOINT

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noted for such purpose.

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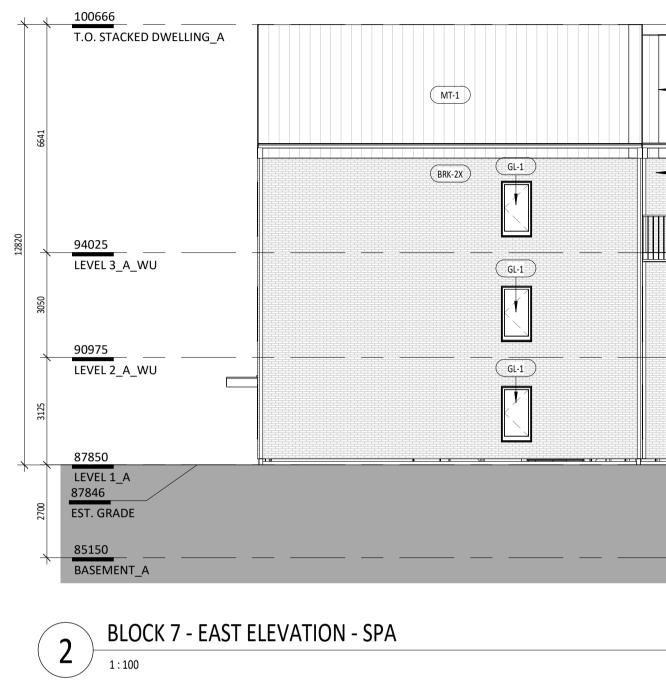
will be located as directed by the Architect. 4. Dimensions indicated are taken between the faces of finished surfaces

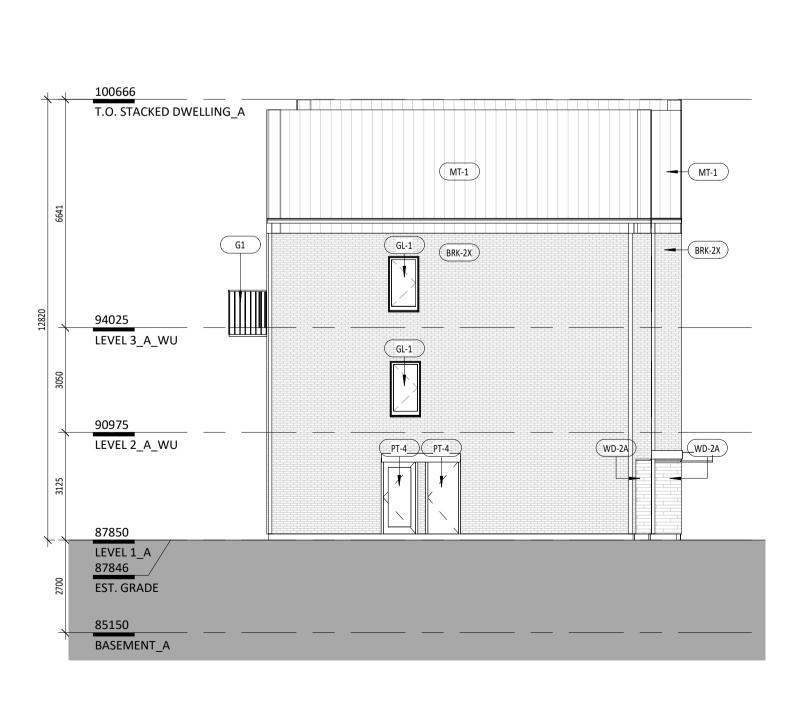
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BLOCK 7 - SOUTH ELEVATION - SPA





BLOCK 7 - WEST ELEVATION - SPA

CITY FILE #D07-12-22-0002

360 Kennedy Lane East, Ottawa Ontario Project No. 2103 Scale 1:100 Plot Date 11/06/24 **BLOCK 7 - ELEVATIONS**

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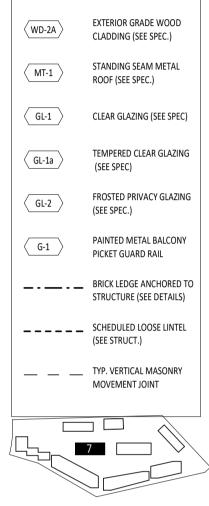
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4	06/02/23	RE-ISSUED FOR ZBA/SPA	
3	02/24/23	RE-ISSUED FOR ZBA/SPA	
2	09/21/22	RE-ISSUED FOR ZBA/SPA	
1	12/15/21	ISSUED FOR ZBA/SPA	
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KEY PLAN



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- MT-1

BRK-2X

(GL-1)

GL-1

 \square

GL-1

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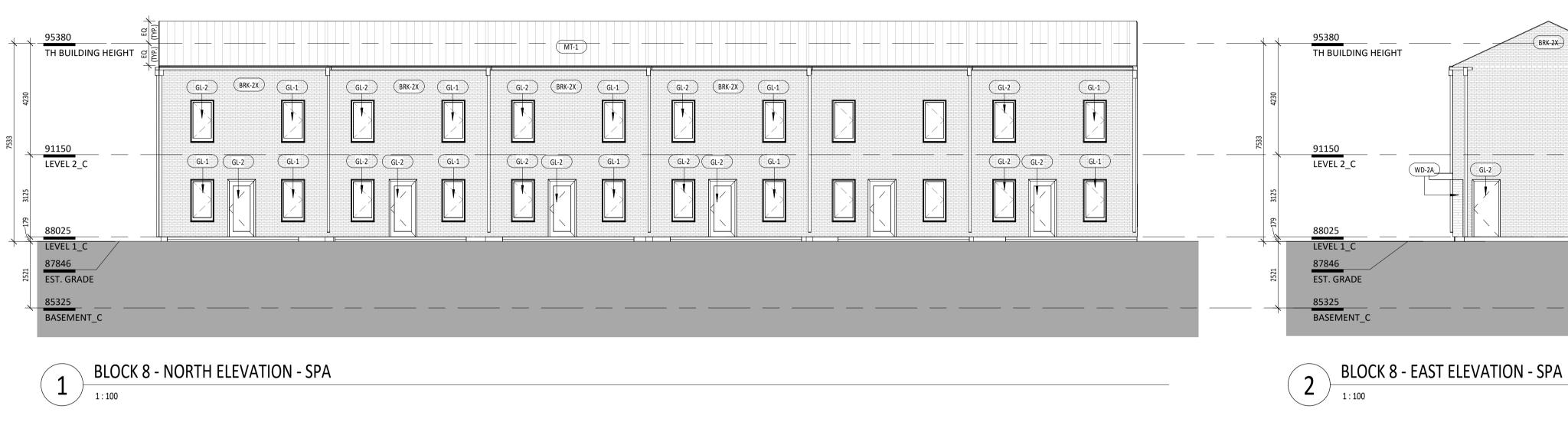
LEGEND

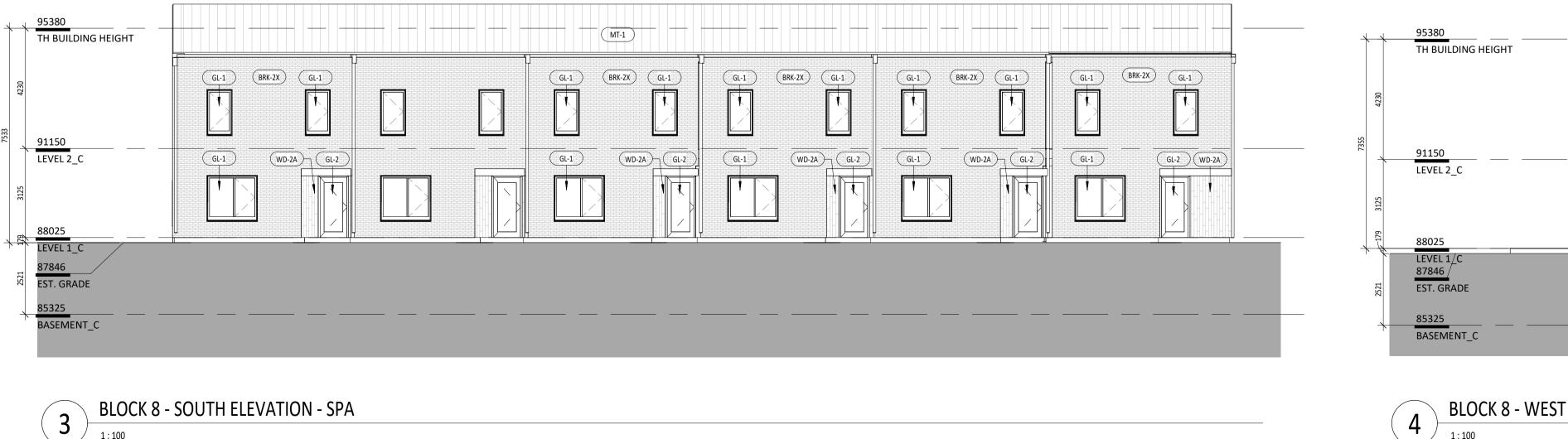
MASONRY VENEER (SEE SPEC.)

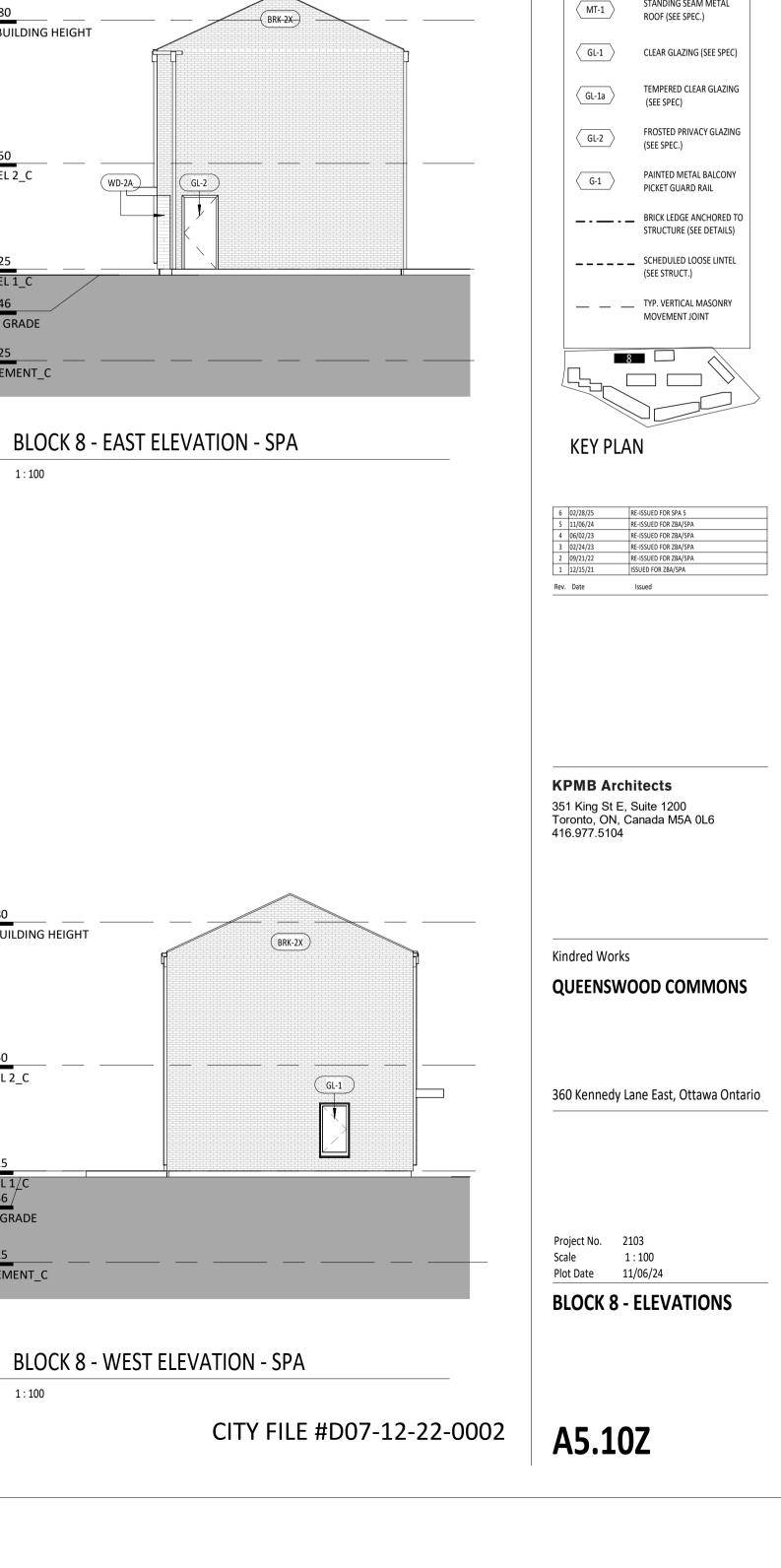
GENERAL NOTES:

commencing work.

BRK-2X







BRK-2X

GENERAL NOTES: Drawings are not to be scaled. Contractor will verify all existing conditions and dimensions required to perform the Work and will report any discrepancies with the Contract Documents to the Architect before commencing work.

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- The Architectural Drawings are to be read in conjunction with all other Contract Documents including the Project Manuals and the Structural, Mechanical and Electrical Drawings. In cases of difference between the
- Consultants' documents with respect to the quantity, sizes or scope of work, the greater shall apply. Positions of exposed or finished Mechanical or Electrical devices, fittings and fixtures are indicated on the Architectural Drawings. Locations
- shown on the Architectural Drawings shall govern over Mechanical and Electrical Drawings. Mechanical and Electrical items not clearly located
- will be located as directed by the Architect.
 Dimensions indicated are taken between the faces of finished surfaces unless otherwise noted.
- The architect has not been retained for supervision of construction and assumes no responsibility for means, methods and techniques of
- construction. 6. These documents are not to be used for construction unless specifically noted for such purpose.

LEGEND

MASONRY VENEER (SEE SPEC.)

EXTERIOR GRADE WOOD

STANDING SEAM METAL

CLADDING (SEE SPEC.)

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 $\langle WD-2A \rangle$