

QUEENSWOOD COMMONS

SITE PLAN APPROVAL - RESUBMISSION

February 28, 2025



DRAWING LIST

A0.00Z	COVER SHEET
A0.01Z	STATISTICS SUMMARY
A0.23	TYPICAL BIN ENCLOSURE
A1.01Z	SITE SURVEY
A1.02Z	CONCEPT PLAN
A1.03	SITE PLAN
A5.01Z	BLOCK 1 - ELEVATIONS
A5.02Z	BLOCK 2 - NORTH & SOUTH ELEVATIONS
A5.03Z	BLOCK 2 - EAST & WEST ELEVATIONS
A5.04Z	BLOCK 3 - NORTH & SOUTH ELEVATIONS
A5.05Z	BLOCK 3 - EAST & WEST ELEVATIONS
A5.06Z	BLOCK 4 - ELEVATIONS
A5.07Z	BLOCK 5 - ELEVATIONS
A5.08Z	BLOCK 6 - ELEVATIONS
A5.09Z	BLOCK 7 - ELEVATIONS
A5.10Z	BLOCK 8 - ELEVATIONS

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1	02/28/25	RE ISSUED FOR SPA 5
2	11/26/24	RE ISSUED FOR 2BA/SPA
4	06/02/23	RE ISSUED FOR 2BA/SPA
3	02/24/23	RE ISSUED FOR 2BA/SPA
2	09/03/22	RE ISSUED FOR 2BA/SPA
1	12/15/21	ISSUED FOR 2BA/SPA

Rev	Date	Issued
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Kindred Works
QUEENSWOOD COMMONS

360 Kennedy Lane East, Ottawa Ontario

Project No. 2103
Scale
Plot Date 28/02/25

COVER SHEET

A0.00Z

PROJECT TEAM

APPLICANT

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ENVIRONMENTAL

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CITY FILE #D07-12-22-0002

360 Kennedy Ln E, Orléans, ON K1E 3P3				
1 Legal Address	Pcl 8-3, Sec 50m-77 ; Pt BLK 8, Pt 50m-77, Part 3, 50r5659 ; Cumberland			
2 Municipal Address	360 Kennedy Ln E, Orléans, ON K1E 3P3			
3 Applicable Zoning By-Laws	City of Ottawa Zoning By-Law No. 2008-250 (2023-147)			
4 Zoning Designation	Residential Fourth Density Zone (R4Z[2856]S472)			
5 Lot Area (m2)	12,208m²			
6 Total Building GFA (m2)	6,545.6m²			
7 Coverage (Area at Grade, m2)	2,597.5			
8 Sustainability Target	N/A			
9 Grade	87.85m			
10 Total Area of Renovated Space	0			
Proposed Building Height				12.82m
Proposed Building Height (Area A)				7.53m
1 Building Height is measured from Grade as defined above				
2 Floor Heights are measures from grade at private road (geodetic el. 87.85m) to top of floor levels				

Project Area Breakdown (m²)										Gross Floor Area (GFA) as per 2008-250												
Level	Block 1 GCA	Block 2 GCA	Block 3 GCA	Block 4 GCA	Block 5 GCA	Block 6 GCA	Block 7 GCA	Block 8 GCA	Total	Level	Existing Community	Community	Existing Residential	Residential Block 1	Residential Block 2	Residential Block 3	Residential Block 4	Residential Block 5	Residential Block 6	Residential Block 7	Residential Block 8	Total
BASEMENT_A	78.6 m²	76.9 m²	79.2 m²	77.9 m²	42.9 m²	78.6 m²	78.6 m²	42.9 m²	555.8 m²	BASEMENT_A	0.0 m²	0.0 m²	0.0 m²	71.4 m²	69.6 m²	72.0 m²	70.7 m²	37.7 m²	71.4 m²	71.3 m²	37.7 m²	501.7 m²
LEVEL 1_A	255.2 m²	445.3 m²	422.4 m²	314.1 m²	179.0 m²	396.2 m²	318.7 m²	266.5 m²	2597.5 m²	LEVEL 1_A	0.0 m²	0.0 m²	0.0 m²	216.8 m²	376.3 m²	364.3 m²	279.2 m²	149.9 m²	351.8 m²	280.6 m²	227.3 m²	2246.2 m²
LEVEL 2_A_WU	260.6 m²	460.7 m²	436.2 m²	328.3 m²	182.0 m²	408.8 m²	328.4 m²	270.8 m²	2676.0 m²	LEVEL 2_A_WU	0.0 m²	0.0 m²	0.0 m²	225.7 m²	396.7 m²	384.2 m²	293.2 m²	156.3 m²	363.9 m²	293.7 m²	235.1 m²	2348.6 m²
LEVEL 3_A_WU	167.5 m²	246.9 m²	174.1 m²	328.3 m²	0.0 m²	408.8 m²	328.4 m²	0.0 m²	1654.0 m²	LEVEL 3_A_WU	0.0 m²	0.0 m²	0.0 m²	146.0 m²	208.0 m²	144.4 m²	293.2 m²	0.0 m²	363.9 m²	293.7 m²	0.0 m²	1449.1 m²
	762.0 m²	1229.8 m²	1111.9 m²	1048.7 m²	404.0 m²	1292.5 m²	1054.1 m²	580.3 m²	7483.3 m²		0.0 m²	0.0 m²	0.0 m²	660.0 m²	1050.6 m²	964.8 m²	936.2 m²	343.8 m²	1151.0 m²	939.2 m²	500.1 m²	6545.6 m²
Grand Total									7483.26 m²													
FSI																						0.53
										Units per Zoning By-law				Stacked Dwellings	Stacked Dwellings	Stacked Dwellings	Stacked Dwellings	Townhouse Dwellings	Stacked Dwellings	Stacked Dwellings	Townhouse Dwellings	

Gross Floor Area is defined by the total area of each floor whether located above, at or below grade, measured from the interiors of outside walls and including floor area occupied by interior walls and floor area created by bay windows, but excluding:

- floor area occupied by shared mechanical, service and electrical equipment that serve the building (By-law 2008-326)
- common hallways, corridors; stairwells, elevator shafts and other voids, steps and landings; (By-law 2008-326) (By-law 2017-302)
- bicycle parking; motor vehicle parking or loading facilities;
- common laundry, storage and washroom facilities that serve the building or tenants;
- common storage areas that are accessory to the principal use of the building; (By-law 2008-326)
- common amenity area and play areas accessory to a principal use on the lot; and (By-law 2008-326)
- living quarters for a caretaker of the building. (surface de plancher hors oeuvre brute)

Gross Construction Area is defined by the total area of each floor located above, at or below grade, measured from the outside edge of exterior walls. There are no exclusions from the calculation other than exterior covered balconies.

Residential Suite Mix				
Block	Block Type	Total Buildings Per Block	Total Units Per Block	
1	STACKED DWELLINGS	4	8	
2	STACKED DWELLINGS	7	13	
3	STACKED DWELLINGS	7	11	
4	STACKED DWELLINGS	4	12	
5	TOWNHOMES	4	4	
6	STACKED DWELLINGS	5	15	
7	STACKED DWELLINGS	4	12	
8	TOWNHOMES	6	6	
Total		41	81	
Number of Barrier Free Units (15%) OBC 3.8.2.1.(5)				
Residential Amenity Spaces (Zoning By-Law 2008-250 Table 137, Row 11 - Apartment Dwelling Low-Rise)				
	Total Amenity Area Required	Communal Amenity Area Required	Provided Outdoor Amenity	Overall Rate Required (m2)
Total Area (71 units)*	426m²	213m²	556m²	6m2 per dwelling unit
		Communal amenity areas provided in front of church, and within central space. See Site Plan A0.05.	Townhome rear patios counted towards total amenity area.	Overall Rate Provided (m2)
*Blocks 5 & 8 (10 units) do not count towards amenity per Zoning By-Law 2008-250 Table 137 row 12.				

Bedroom Mix				
	1 Bed	2 Bed	3 Bed	Total
No. of Units	20	52	9	81
% of Total	25%	64%	11%	100%

Car Parking Provided		
	Spaces Provided	Notes
Residential	76	provided at a minimum rate of 0.75 per unit (resident) & 0.19 per unit (visitor)
Community Centre	9	provided at a rate of 4 spaces per 100m2
Total	85	

Car Parking as per Zoning By-Law 2008-250 (as Amended by By-Law 2023-147)				
Land Use	Units	Standard (spaces per unit)	Parking Required	
Residential				
Townhome	10	0.75 spaces per unit	7	
Stacked Dwelling	71	0.75 spaces per unit	53	
Resident Visitors	81 units total	0.19 spaces per unit	16	
Sub-Total Res.			76	
Non-Residential				
Community Centre	92m²	4 spaces per 100m2	4	
Sub-Total Non-Res.			4	
Total Parking Required				
Total			80	85 Provided
1 Number of spaces ending in a fraction to be rounded down to the nearest whole number				

Bicycle Parking				
	Units/GFA	Rate	Spaces Required	Spaces Provided / Notes
Residential	81	0.5 spaces / unit	41	Bike Boxes (Townhomes - 2 spaces per box) - 42 spaces Bike Rings (2 spaces per ring) - 60 spaces
All Other Non-Residential Uses	92 m²	1 spaces per 1500 m2 GFA	0	Bike Rings (Public) - 16 spaces
Total Bicycle Parking			41	118 Spaces

Landscape Area			
Lot Area	Landscape Area	% of Landscape Area	
12,208 m²	4,109 m²	34%	

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1	12/15/21	ISSUED FOR 2BA/SPA

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QUEENSWOOD COMMONS

360 Kennedy Lane East, Ottawa Ontario

Project No. 2103
Scale N/A
Plot Date 28/02/25

STATISTICS SUMMARY



IMAGE 2 - COMMUNAL AREA LOOKING SOUTH
AT BLOCK 2 & 3



IMAGE 1 - COMMUNAL AREA LOOKING WEST
AT BLOCK 2

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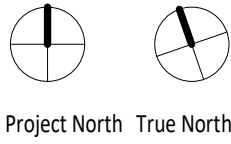
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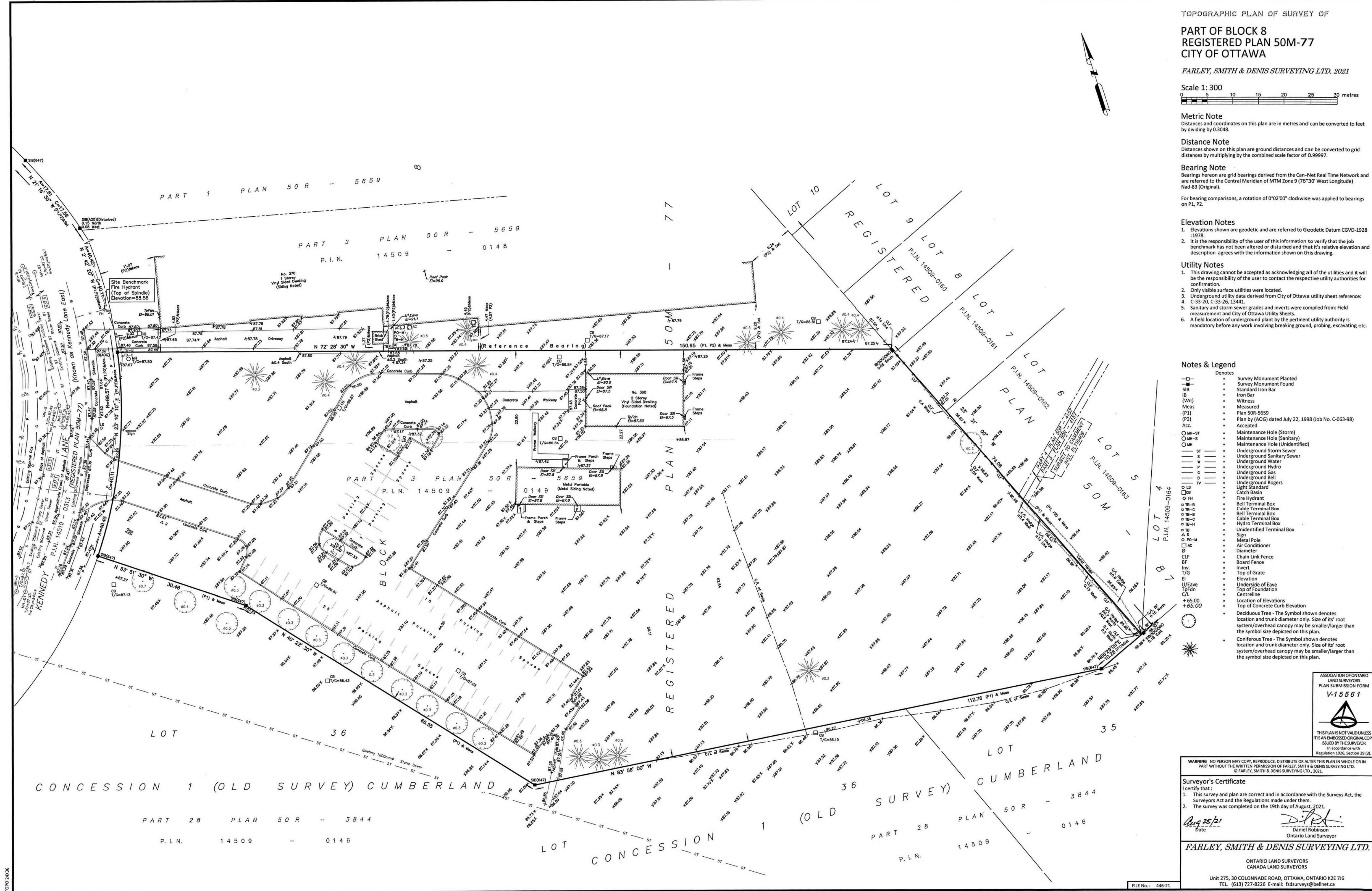
Project No. 2103
Scale
Plot Date 28/02/25

RENDERS

CITY FILE #D07-12-22-0002

A0.02Z

382749, 5038085



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QUEENSWOOD COMMONS

360 Kennedy Lane East, Ottawa Ontario

Project North True North

Project No. 2103
Scale NTS
Plot Date 11/06/24

SITE SURVEY

A1.01Z

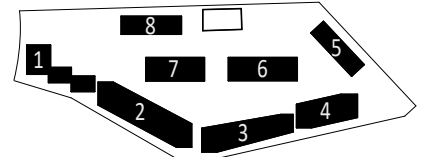
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LEGEND	
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	SETBACK BOUNDARY
	VISUAL BARRIER FENCE
	PEDESTRIAN FRIENDLY
	SNOW STORAGE
	PROPOSED TREE
	EXISTING TREE
	EXISTING TREE REMOVED
	BIKE PARKING/WASTE STORAGE
	WASTE STORAGE
	BIKE PARKING
	LIGHT POLE
	CONCRETE CURB STOP



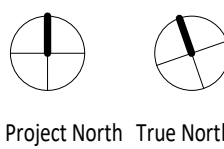
KEY PLAN

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5	11/06/24	RE-ISSUED FOR 2BA/3PA
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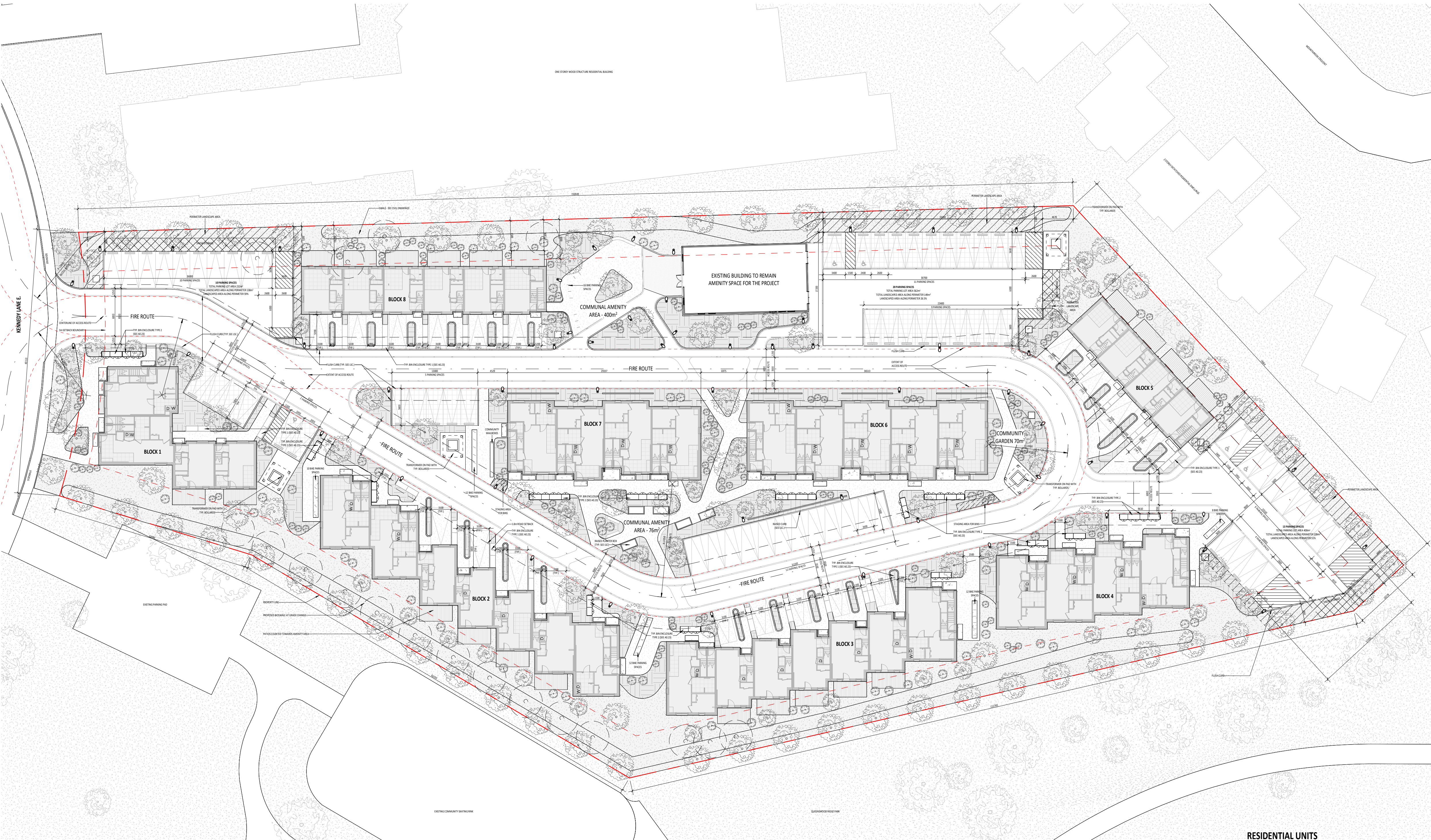
Kindred Works
QUEENSWOOD COMMONS

360 Kennedy Lane East, Ottawa Ontario



Project No. 2103
Scale As indicated
Plot Date 11/06/24

CONCEPT PLAN



1 SITE PLAN

1: 300

Site Area: 12,208 m²

Property Identification Number: 145090149

Property Boundary Information From: Site Survey by Farley, Smith & Denis Surveying LTD.

Gross Floor Area (GFA) = the total area of each floor whether located above, at or below grade, measured from the interiors of outside walls and including floor area occupied by interior walls and floor area created by bay windows, but excluding;

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6. common amenity area and play areas accessory to a principal use on the lot; and (By-law 2008-326)
7. living quarters for a caretaker of the building. (surface de plancher hors oeuvre brute)

GFA (Ottawa) Schedule	
Level	GFA

Block 1 (4 Stacked Dwellings)	
LEVEL 1_A	216.8 m ²
LEVEL 2_A_WU	225.7 m ²
LEVEL 3_A_WU	146.0 m ²
	588.6 m ²

Block 2 (7 Stacked Dwellings)	
LEVEL 1_A	376.3 m ²
LEVEL 2_A_WU	396.7 m ²
LEVEL 3_A_WU	208.0 m ²
	981.0 m ²

Block 3 (7 Stacked Dwellings)	
LEVEL 1_A	364.3 m ²
LEVEL 2_A_WU	384.2 m ²
LEVEL 3_A_WU	144.4 m ²
	892.8 m ²

Block 4 (4 Stacked Dwellings)	
LEVEL 1_A	279.2 m ²
LEVEL 2_A_WU	293.2 m ²
LEVEL 3_A_WU	293.2 m ²
	865.5 m ²

GFA (Ottawa) Schedule	
Level	GFA

Block 5 (4 Townhouses)	
LEVEL 1_A	149.9 m ²
LEVEL 2_A_WU	156.3 m ²
	306.1 m ²

Block 6 (5 Stacked Dwellings)	
LEVEL 1_A	351.8 m ²
LEVEL 2_A_WU	363.9 m ²
LEVEL 3_A_WU	363.9 m ²
	1079.6 m ²

Block 7 (4 Stacked Dwellings)	
LEVEL 1_A	280.6 m ²
LEVEL 2_A_WU	293.7 m ²
LEVEL 3_A_WU	293.7 m ²
	868.0 m ²

Block 8 (6 Townhouses)	
LEVEL 1_A	227.3 m ²
LEVEL 2_A_WU	235.1 m ²
	462.4 m ²
Grand total	6043.9 m ²

RESIDENTIAL UNITS

TOWNHOUSE: 10 Units
STACKED DWELLINGS: 71 Units
TOTAL UNITS: 81 Units

PARKING

RESIDENTIAL:
Resident + Visitor: 76 Spaces
PLACE OF WORSHIP: 9 Spaces
TOTAL: 85 Spaces

BIKE PARKING

RESIDENTIAL: 96 Spaces
[42 provided w. Bike Boxes,
54 provided w. Bike Rings]

PUBLIC: 16 Spaces

[16 provided w. Bike Rings]

TOTAL: 112 Spaces

CITY FILE #D07-12-22-0002

PIN: 145090149

DWG # 18692

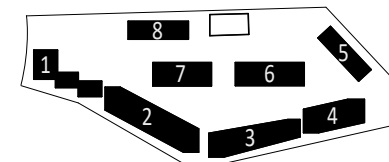
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LEGEND

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- PEDESTRIAN FRIENDLY
- SNOW STORAGE
- PROPOSED TREE
- EXISTING TREE
- EXISTING TREE REMOVED
- BIKE PARKING/WASTE STORAGE
- WASTE STORAGE
- BIKE PARKING
- LIGHT POLE
- CONCRETE CURB STOP



KEY PLAN

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4	06/02/23	RE-ISSUED FOR 2BA/SPA
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1	12/15/21	ISSUED FOR 2BA/SPA

Rev. Date Issued

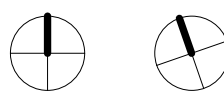
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Project North True North

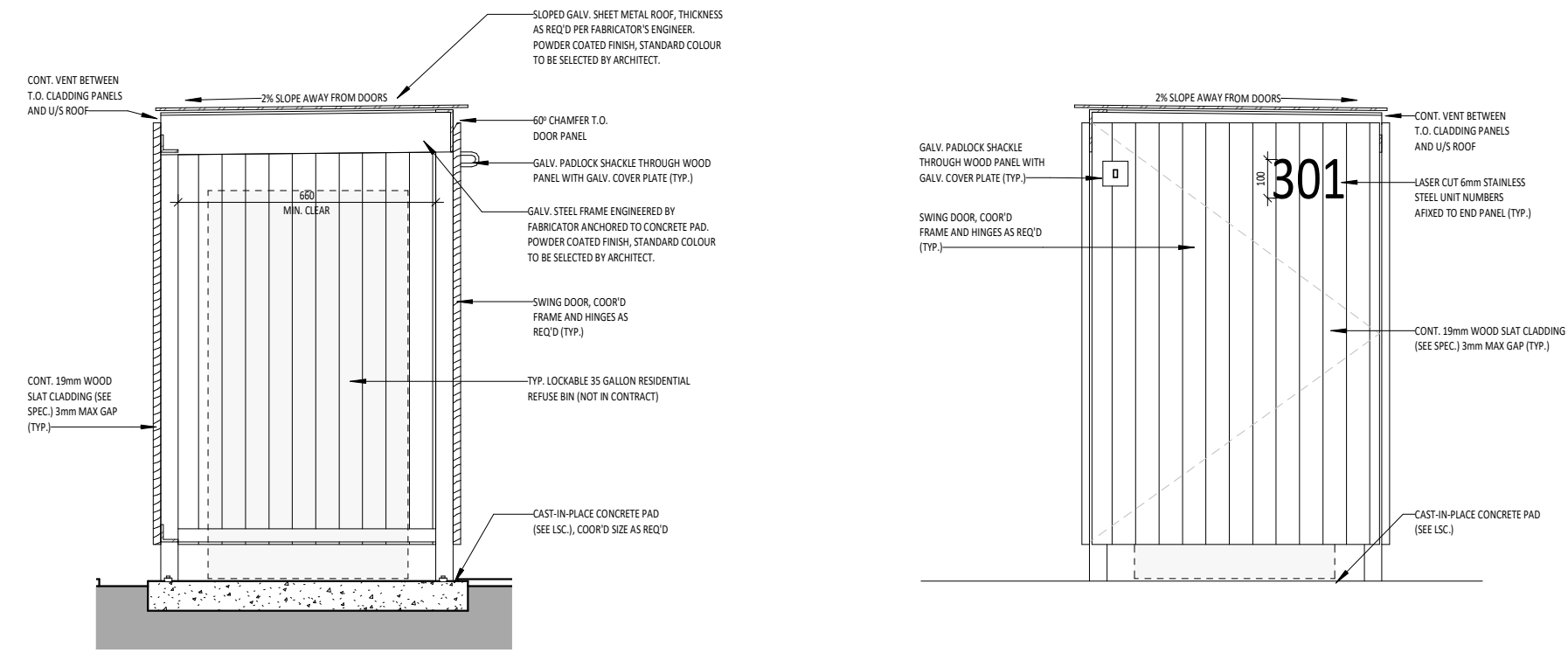
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SITE PLAN

A1.03

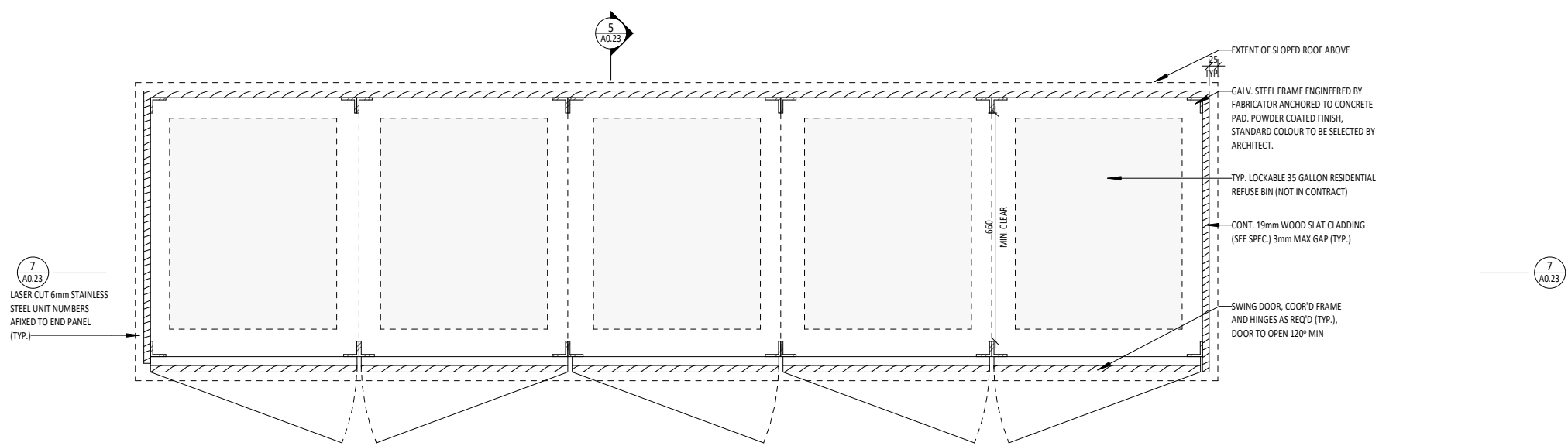
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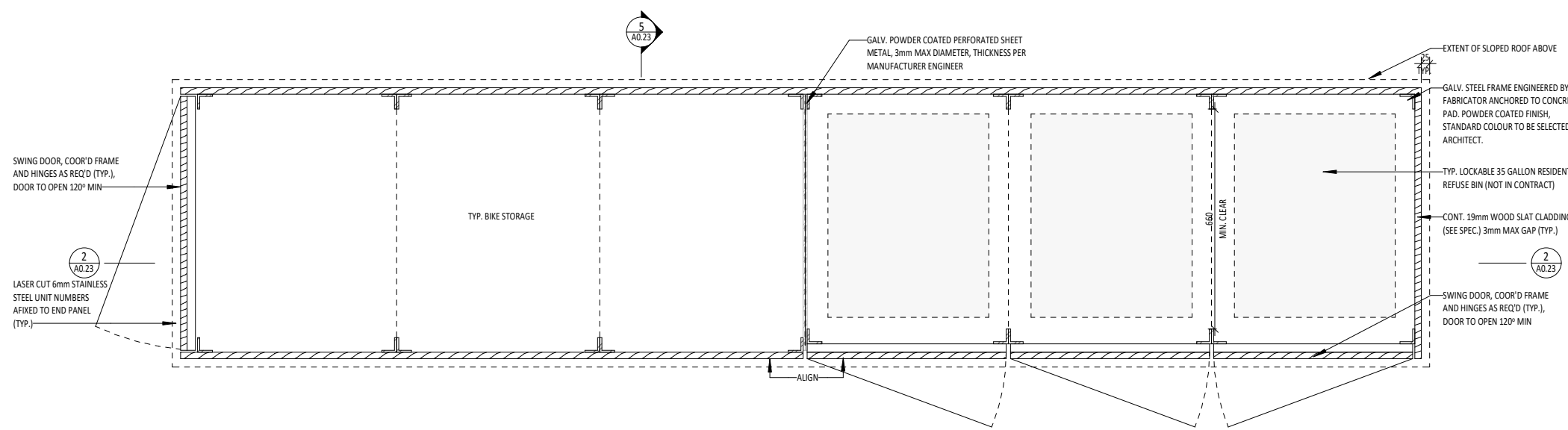


5 SECTION - TYP. ENCLOSURE CROSS SECTION
1:10

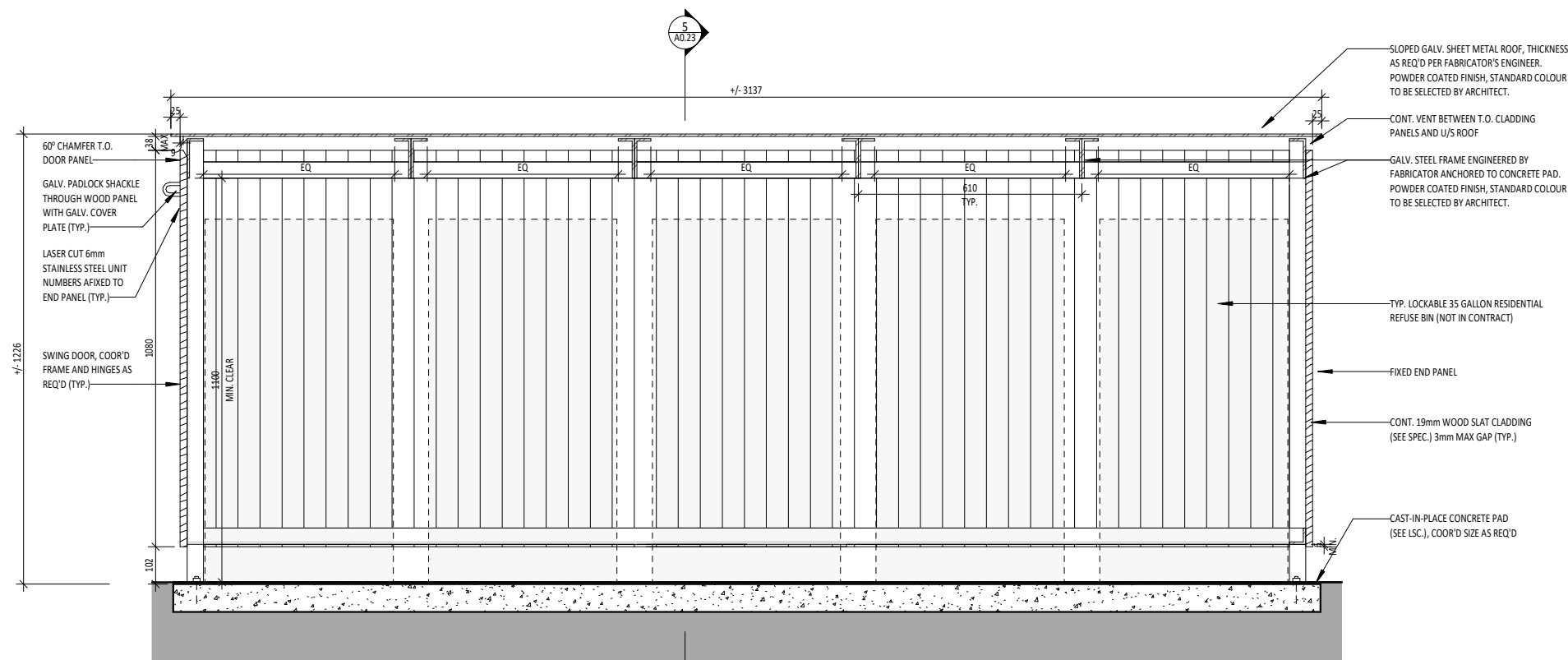
4 ELEVATION - TYP. ENCLOSURE ENDS
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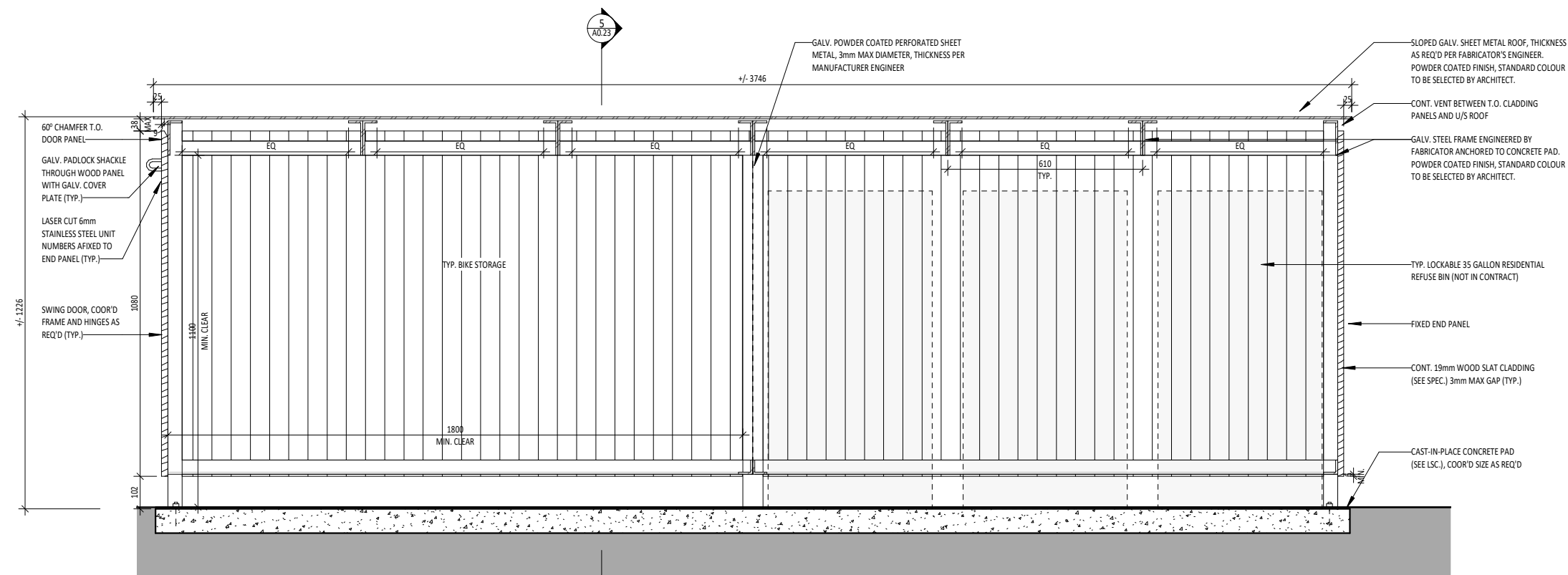
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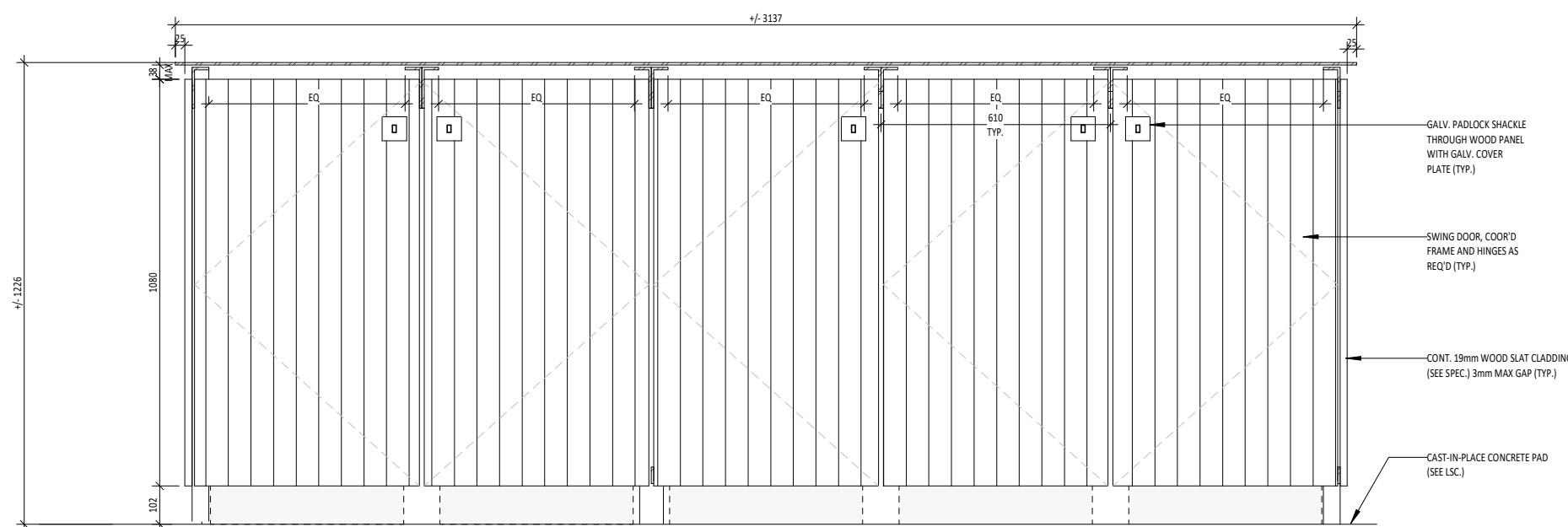
3 PLAN - TYP. BIN ENCLOSURE TYPE 1
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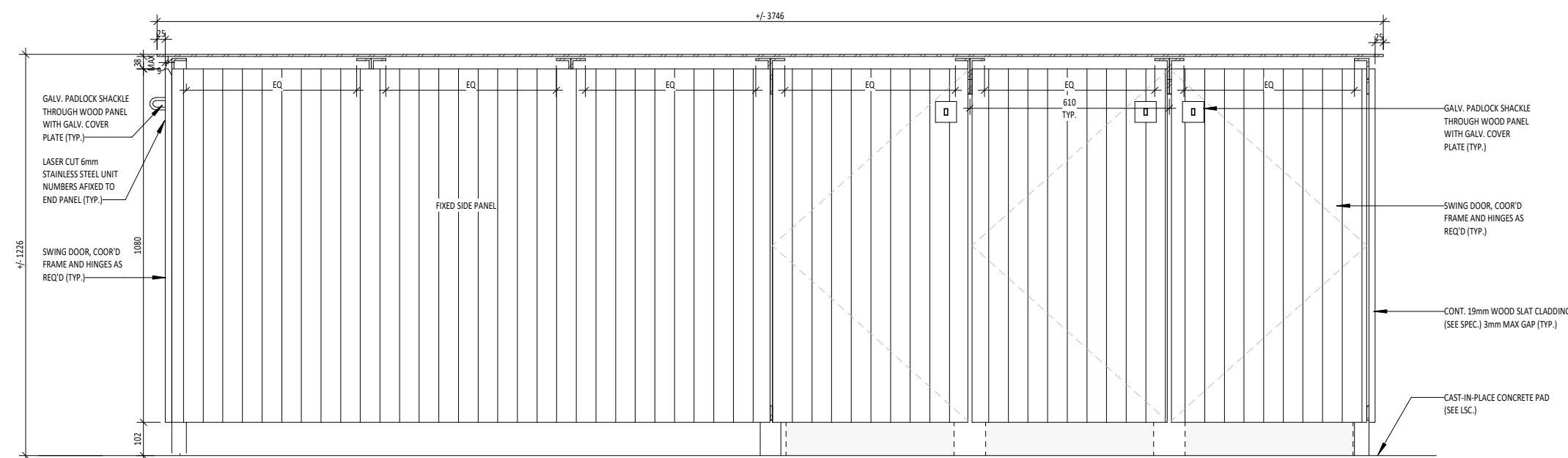
7 SECTION - TYP. BIN ENCLOSURE TYPE 2
1:10



2 SECTION - TYP. BIN ENCLOSURE TYPE 1
1:10



6 ELEVATION - TYP. BIN ENCLOSURE TYPE 2
1:10



1 ELEVATION - TYP. BIN ENCLOSURE TYPE 1
1:10

1. PROJECT	NO. 1000 (100.00)
2. DRAWING	ENCLOSURE
3. DATE	2024-01-01

Rev. Date

KPMB Architects
201 King St. E., Suite 1000
Toronto, ON, Canada M5A 0L6
416.977.5104

Kindred Works
QUEENSWOOD COMMONS

360 Kennedy Lane East, Ottawa
Ontario

Project North True North

Project No. 2103
Scale 1:10
Plot Date 28/02/25

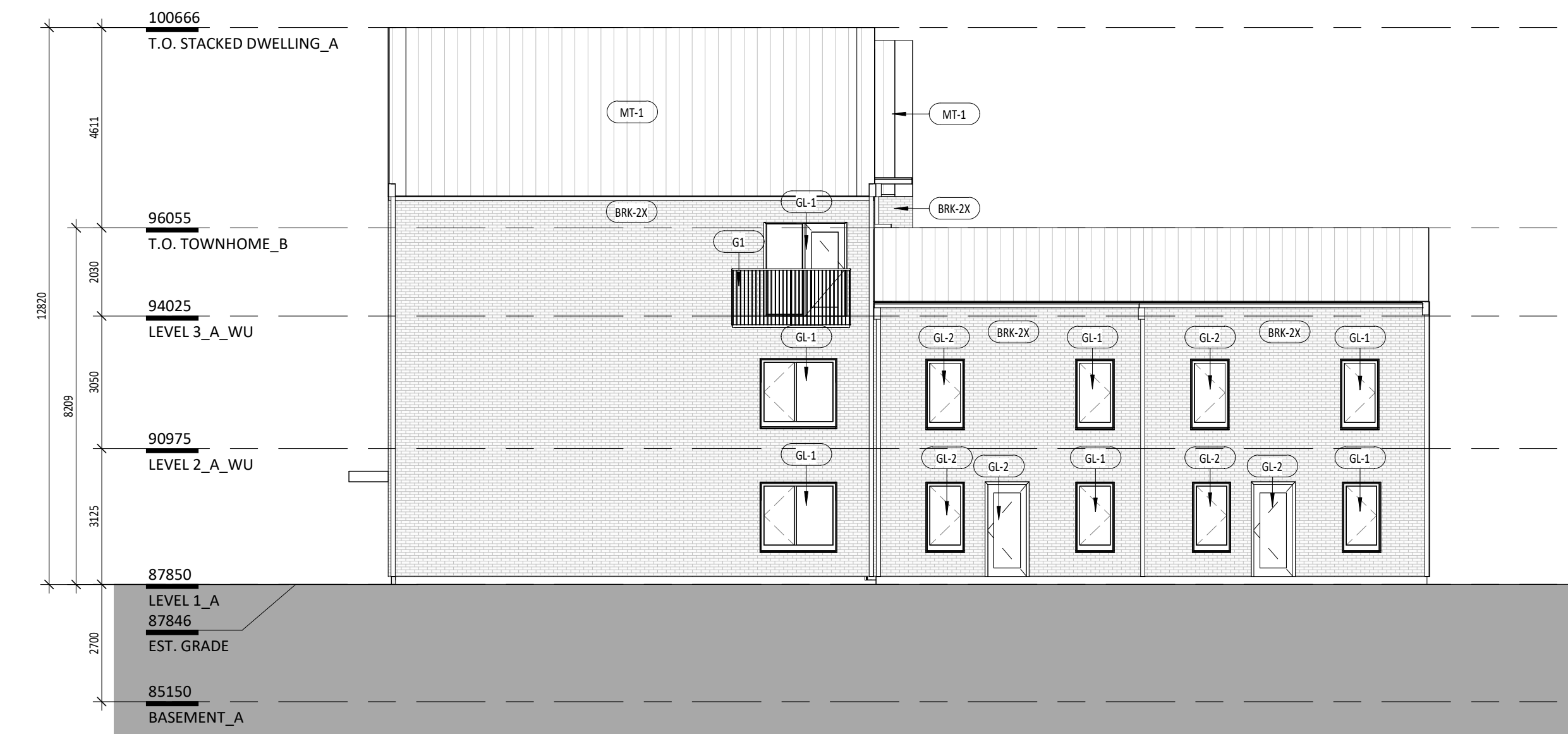
TYPICAL BIN ENCLOSURE



1 BLOCK 1 - NORTH ELEVATION - SPA
1 : 100



2 BLOCK 1 - EAST ELEVATION - SPA
1 : 100



3 BLOCK 1 - SOUTH ELEVATION - SPA
1 : 100

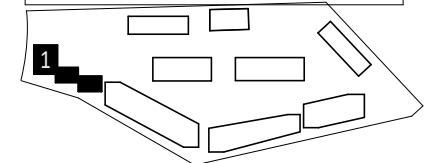


4 BLOCK 1 - WEST ELEVATION - SPA
1 : 100

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LEGEND	
BRK-2X	MASONRY VENEER (SEE SPEC.)
WD-2A	EXTERIOR GRADE WOOD CLADDING (SEE SPEC.)
MT-1	STANDING SEAM METAL ROOF (SEE SPEC.)
GL-1	CLEAR GLAZING (SEE SPEC.)
GL-1a	TEMPERED CLEAR GLAZING (SEE SPEC.)
GL-2	FROSTED PRIVACY GLAZING (SEE SPEC.)
G-1	PAINTED METAL BALCONY PICKET GUARD RAIL
---	BRICK LEDGE ANCHORED TO STRUCTURE (SEE DETAILS)
---	SCHEDULED LOOSE UNTEL (SEE STRUCT.)
---	TYP. VERTICAL MASONRY MOVEMENT JOINT



KEY PLAN

1	02/28/25	RE ISSUED FOR SPA 5
2	11/26/24	RE ISSUED FOR 2BA SPA
4	06/02/23	RE ISSUED FOR 2BA SPA
3	02/24/23	RE ISSUED FOR 2BA SPA
2	09/01/22	RE ISSUED FOR 2BA SPA
1	12/15/21	ISSUED FOR 2BA SPA

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Scale 1 : 100
Plot Date 11/06/24

BLOCK 1 - ELEVATIONS

A5.01Z

CITY FILE #D07-12-22-0002



1 BLOCK 2 - NORTH ELEVATION - SPA
1:100

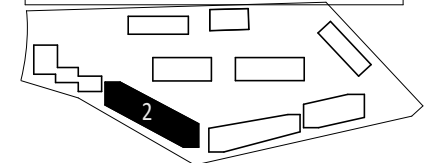


2 BLOCK 2 - SOUTH ELEVATION - SPA
1:100

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LEGEND	
	MASONRY VENEER (SEE SPEC.)
	EXTERIOR GRADE WOOD CLADDING (SEE SPEC.)
	STANDING SEAM METAL ROOF (SEE SPEC.)
	CLEAR GLAZING (SEE SPEC.)
	TEMPERED CLEAR GLAZING (SEE SPEC.)
	FROSTED PRIVACY GLAZING (SEE SPEC.)
	PAINTED METAL BALCONY PICKET GUARD RAIL
	BRICK LEDGE ANCHORED TO STRUCTURE (SEE DETAILS)
	SCHEDULED LOOSE UNTEL (SEE STRUCT.)
	TYP. VERTICAL MASONRY MOVEMENT JOINT



KEY PLAN

1	02/28/25	RE ISSUED FOR SPA 5
1	11/26/24	RE ISSUED FOR 2BA SPA
4	06/02/23	RE ISSUED FOR 2BA SPA
3	02/24/23	RE ISSUED FOR 2BA SPA
2	09/01/22	RE ISSUED FOR 2BA SPA
1	12/15/21	ISSUED FOR 2BA SPA

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BLOCK 2 - NORTH & SOUTH ELEVATIONS

A5.02Z

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1 BLOCK 2 - EAST ELEVATION - SPA
1 : 100

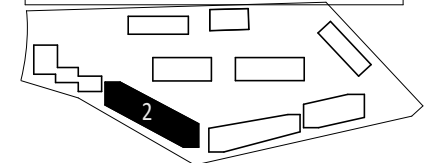


2 BLOCK 2 - WEST ELEVATION - SPA
1 : 100

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LEGEND	
BRK-2X	MASONRY VENEER (SEE SPEC.)
WD-2A	EXTERIOR GRADE WOOD CLADDING (SEE SPEC.)
MT-1	STANDING SEAM METAL ROOF (SEE SPEC.)
GL-1	CLEAR GLAZING (SEE SPEC.)
GL-1a	TEMPERED CLEAR GLAZING (SEE SPEC.)
GL-2	FROSTED PRIVACY GLAZING (SEE SPEC.)
G-1	PAINTED METAL BALCONY PICKET GUARD RAIL
---	BRICK LEDGE ANCHORED TO STRUCTURE (SEE DETAILS)
---	SCHEDULED LOOSE LINTEL (SEE STRUCT.)
---	TYP. VERTICAL MASONRY MOVEMENT JOINT



KEY PLAN

Rev	Date	Issued
1	02/28/25	RE-ISSUED FOR SPA 5
2	11/26/24	RE-ISSUED FOR 2BA/SPA
3	06/02/23	RE-ISSUED FOR 2BA/SPA
4	02/24/23	RE-ISSUED FOR 2BA/SPA
5	09/21/22	RE-ISSUED FOR 2BA/SPA
6	12/15/21	ISSUED FOR 2BA/SPA

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BLOCK 2 - EAST & WEST ELEVATIONS

A5.03Z

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1 BLOCK 3 - NORTH ELEVATION - SPA
1 : 100

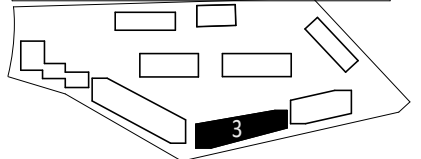


2 BLOCK 3 - SOUTH ELEVATION - SPA
1 : 100

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LEGEND	
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	EXTERIOR GRADE WOOD CLADDING (SEE SPEC.)
	STANDING SEAM METAL ROOF (SEE SPEC.)
	CLEAR GLAZING (SEE SPEC.)
	TEMPERED CLEAR GLAZING (SEE SPEC.)
	FROSTED PRIVACY GLAZING (SEE SPEC.)
	PAINTED METAL BALCONY PICKET GUARD RAIL
	BRICK LEDGE ANCHORED TO STRUCTURE (SEE DETAILS)
	SCHEDULED LOOSE UNTEL (SEE STRUCT.)
	TYP. VERTICAL MASONRY MOVEMENT JOINT



KEY PLAN

1	02/28/25	RE-ISSUED FOR SPA 5
2	11/26/24	RE-ISSUED FOR 2BA/SPA
3	06/02/23	RE-ISSUED FOR 2BA/SPA
4	02/24/23	RE-ISSUED FOR 2BA/SPA
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BLOCK 3 - NORTH & SOUTH ELEVATIONS

A5.04Z

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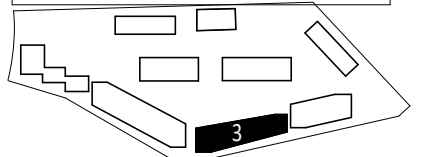
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1 BLOCK 3 - EAST ELEVATION - SPA
1 : 100

LEGEND	
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	EXTERIOR GRADE WOOD CLADDING (SEE SPEC.)
	STANDING SEAM METAL ROOF (SEE SPEC.)
	CLEAR GLAZING (SEE SPEC.)
	TEMPERED CLEAR GLAZING (SEE SPEC.)
	FROSTED PRIVACY GLAZING (SEE SPEC.)
	PAINTED METAL BALCONY PICKET GUARD RAIL
	BRICK LEDGE ANCHORED TO STRUCTURE (SEE DETAILS)
	SCHEDULED LOOSE UNTEL (SEE STRUCT.)
	TYP. VERTICAL MASONRY MOVEMENT JOINT



KEY PLAN

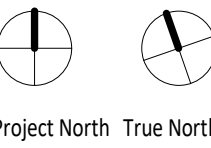
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4	06/02/23	RE-ISSUED FOR 2BA/SPA
3	02/24/23	RE-ISSUED FOR 2BA/SPA
2	09/01/22	RE-ISSUED FOR 2BA/SPA
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Scale 1 : 100
Plot Date 11/06/24

BLOCK 3 - EAST & WEST ELEVATIONS

A5.05Z



2 BLOCK 3 - WEST ELEVATIONS - SPA
1 : 100

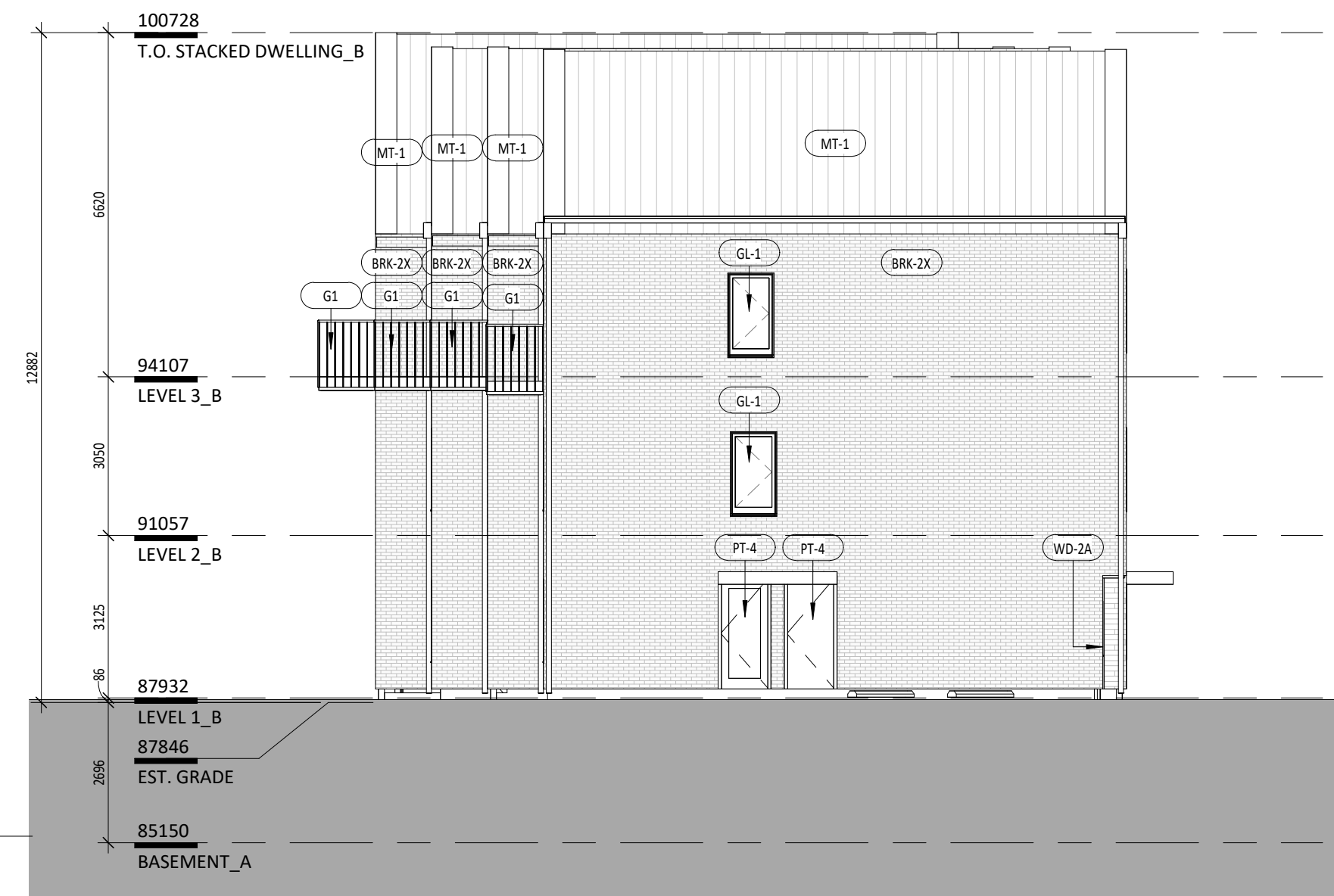
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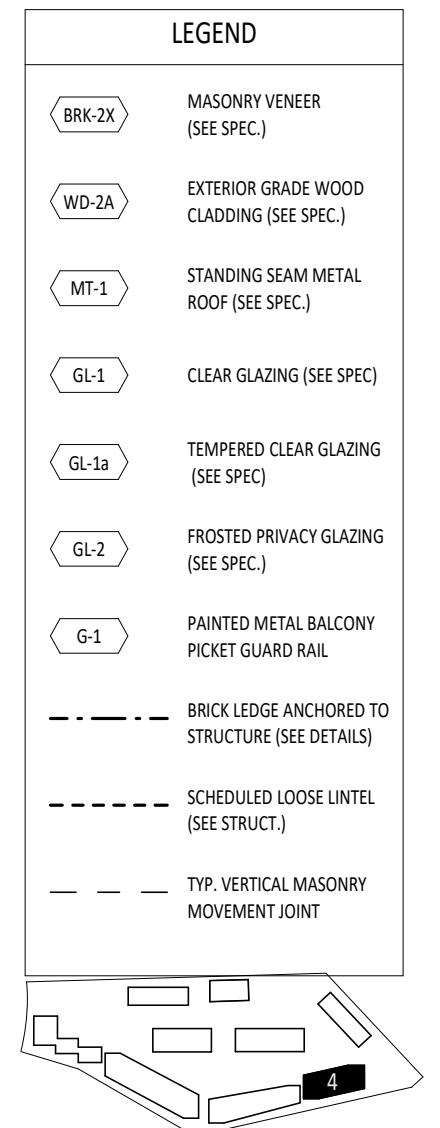
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1 BLOCK 4 - NORTH ELEVATION - SPA
1:100



2 BLOCK 4 - EAST ELEVATION - SPA
1:100



KEY PLAN

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2	11/26/24	RE ISSUED FOR 2BA SPA
3	06/02/23	RE ISSUED FOR 2BA SPA
4	02/24/23	RE ISSUED FOR 2BA SPA
5	09/02/22	RE ISSUED FOR 2BA SPA
6	12/15/21	ISSUED FOR 2BA SPA

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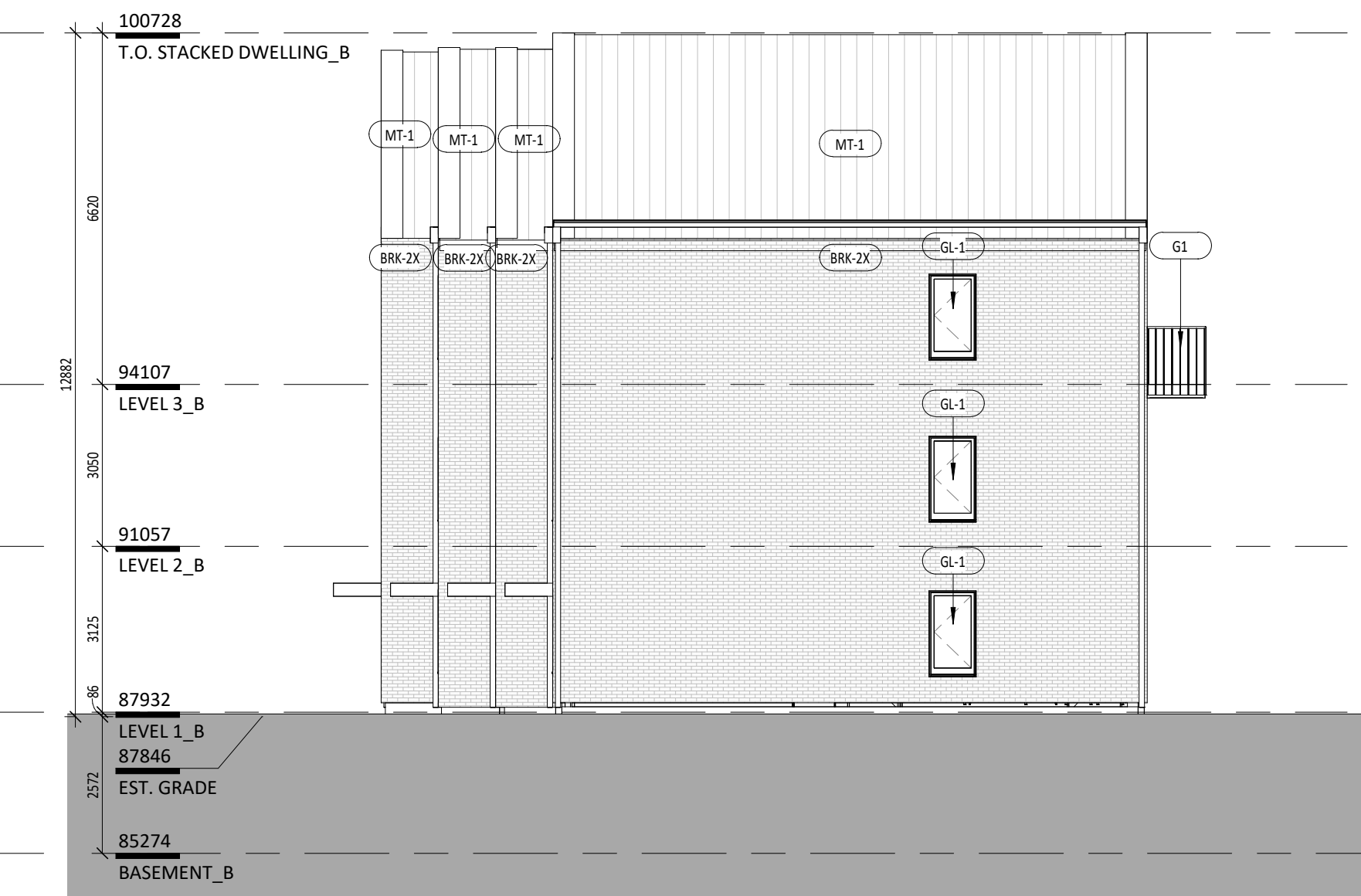
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Project No. 2103
Scale 1:100
Plot Date 11/06/24

BLOCK 4 - ELEVATIONS



3 BLOCK 4 - SOUTH ELEVATION - SPA
1:100



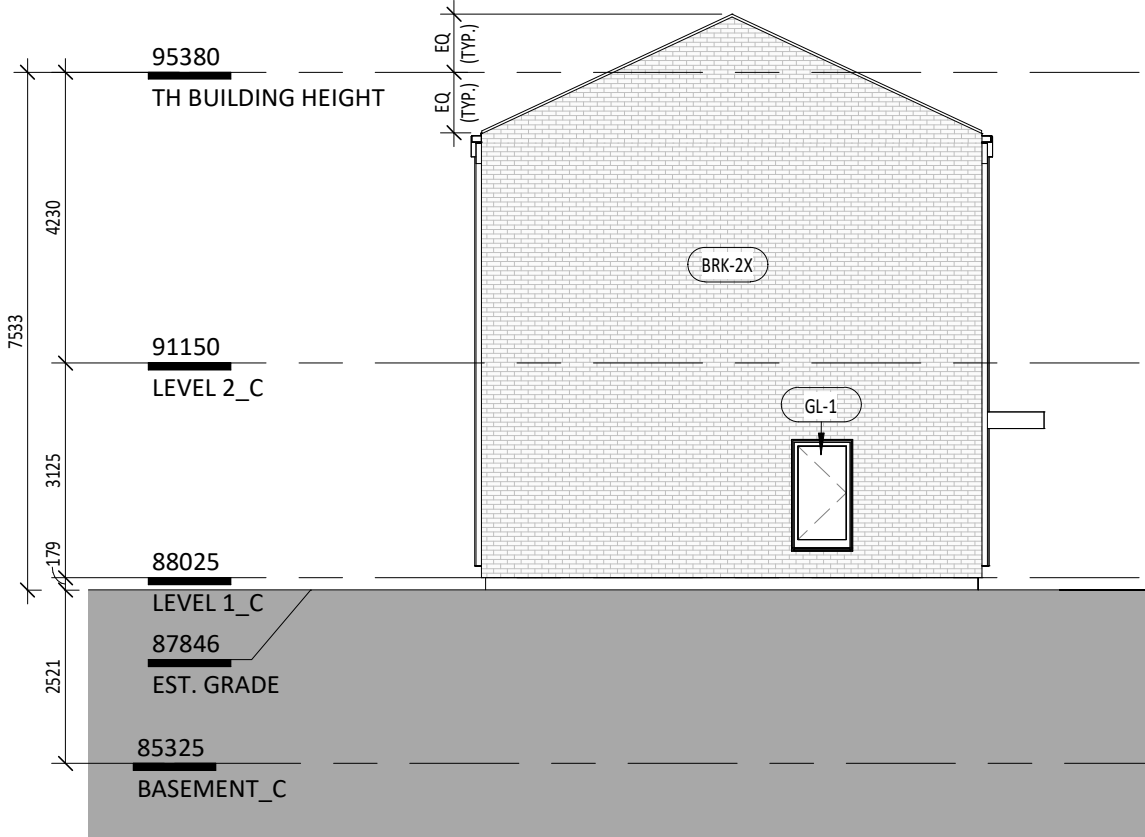
4 BLOCK 4 - WEST ELEVATION - SPA
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CITY FILE #D07-12-22-0002

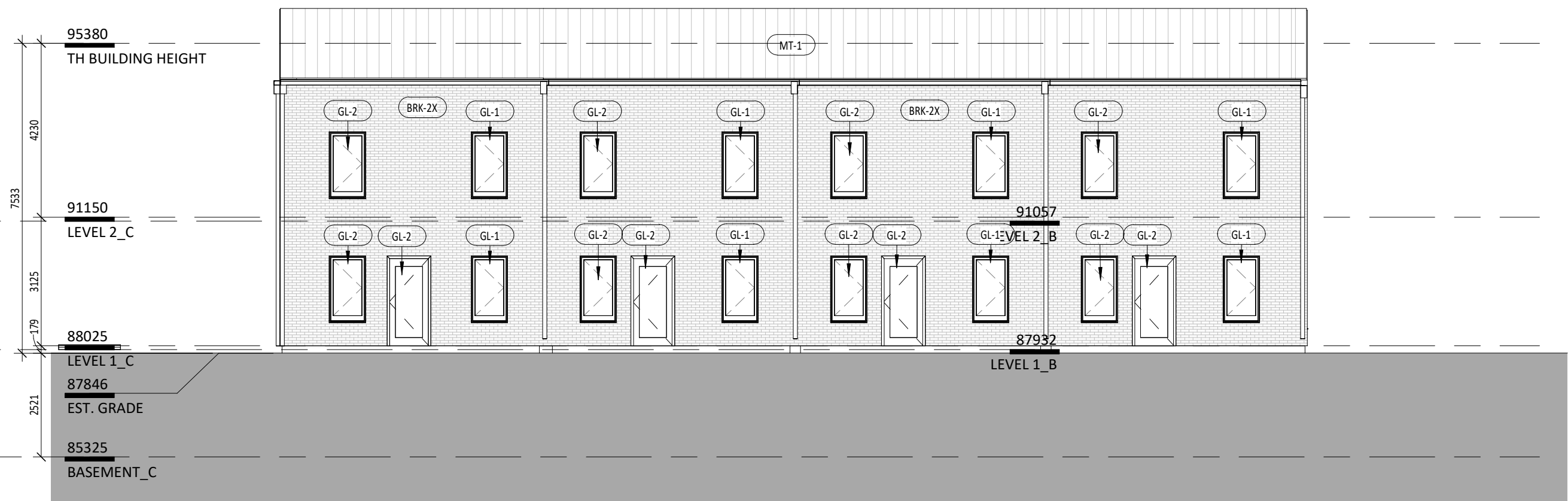
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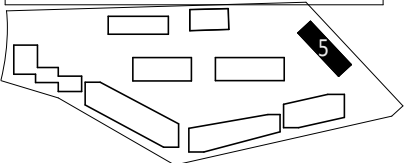


1 BLOCK 5 - NORTH ELEVATION - SPA
1:100



2 BLOCK 5 - EAST ELEVATION - SPA
1:100

LEGEND	
BRK-2X	MASONRY VENEER (SEE SPEC.)
WD-2A	EXTERIOR GRADE WOOD CLADDING (SEE SPEC.)
MT-1	STANDING SEAM METAL ROOF (SEE SPEC.)
GL-1	CLEAR GLAZING (SEE SPEC.)
GL-1a	TEMPERED CLEAR GLAZING (SEE SPEC.)
GL-2	FROSTED PRIVACY GLAZING (SEE SPEC.)
G-1	PAINTED METAL BALCONY PICKET GUARD RAIL
---	BRICK LEDGE ANCHORED TO STRUCTURE (SEE DETAILS)
---	SCHEDULED LOOSE UNTEL (SEE STRUCT.)
---	TYP. VERTICAL MASONRY MOVEMENT JOINT



KEY PLAN

Rev	Date	Issued
1	02/28/25	RE-ISSUED FOR SPA 5
2	11/26/24	RE-ISSUED FOR 2BA/SPA
3	06/02/23	RE-ISSUED FOR 2BA/SPA
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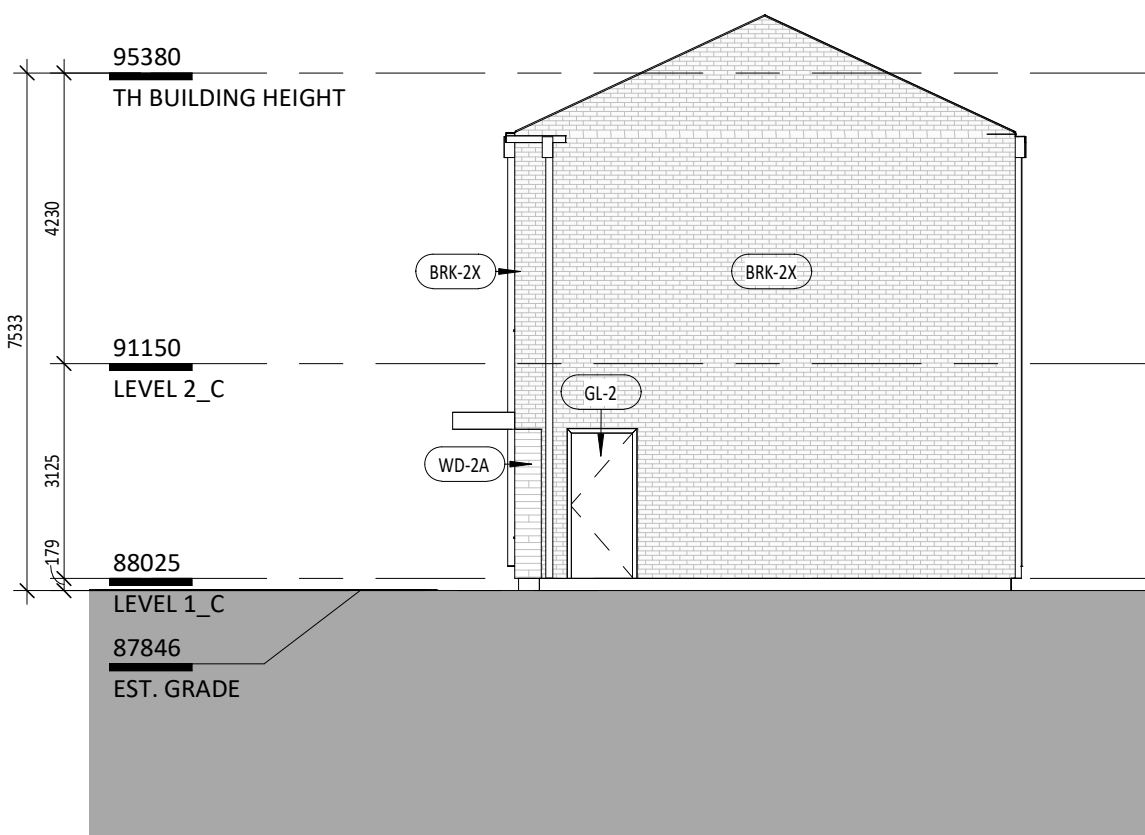
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Project No. 2103
Scale 1:100
Plot Date 11/06/24

BLOCK 5 - ELEVATIONS

A5.07Z



3 BLOCK 5 - SOUTH ELEVATION - SPA
1:100

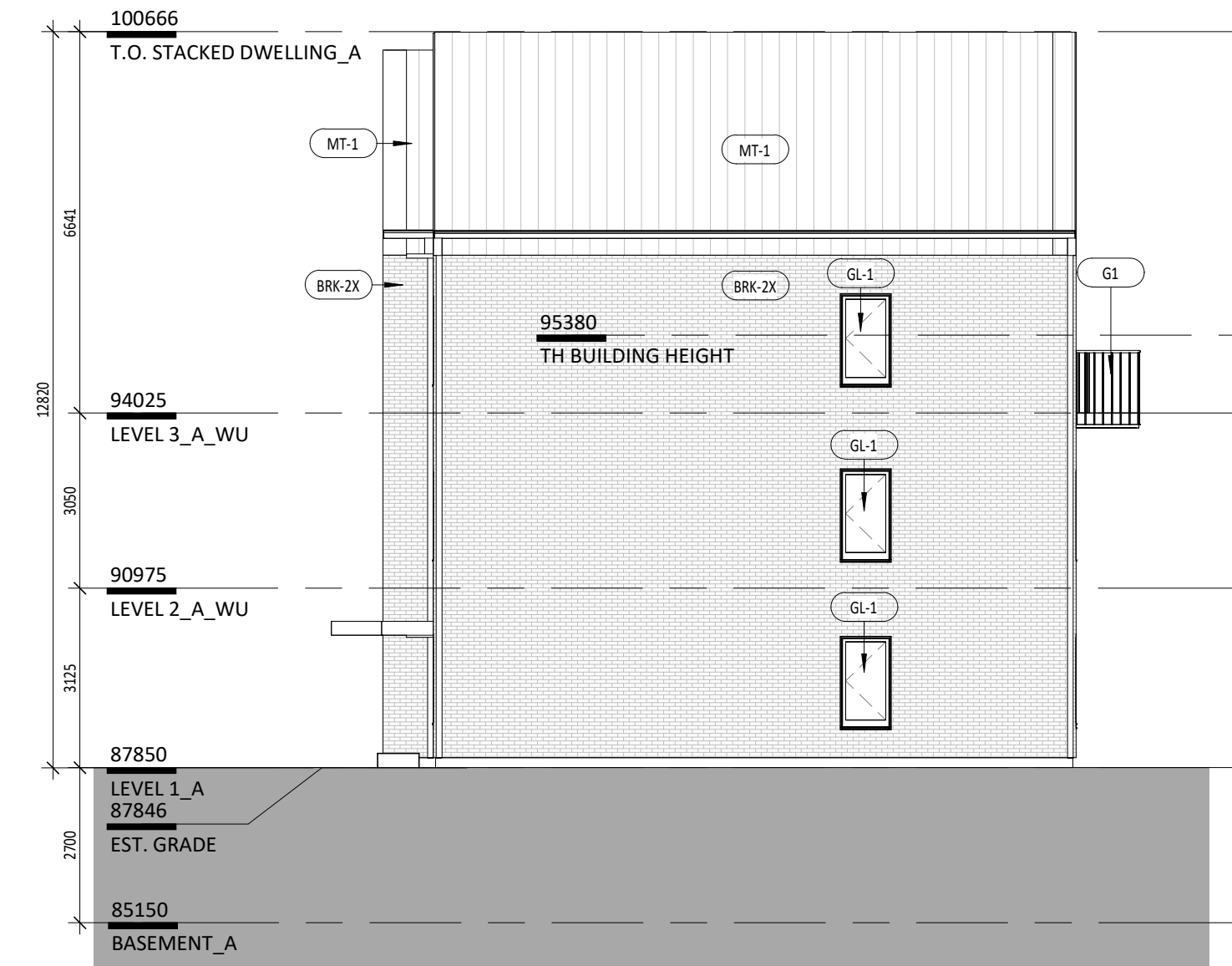


4 BLOCK 5 - WEST ELEVATION - SPA
1:100

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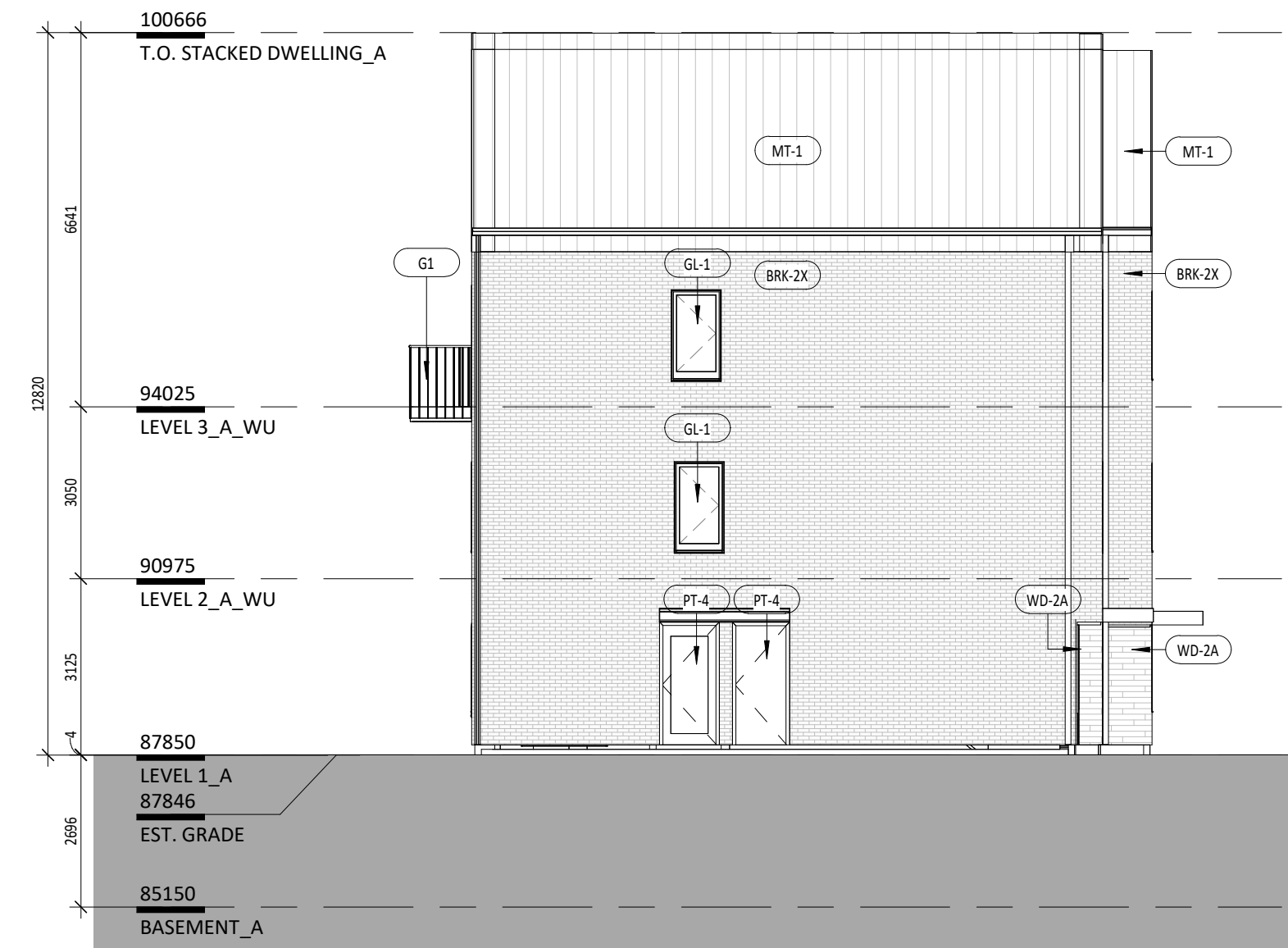
1 BLOCK 6 - NORTH ELEVATION - SPA
1:100



2 BLOCK 6 - EAST ELEVATION - SPA
1:100



3 BLOCK 6 - SOUTH ELEVATION - SPA
1:100



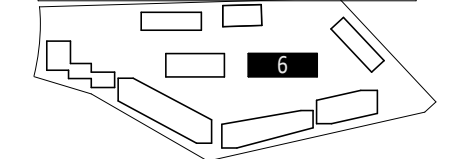
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LEGEND	
BRK-2X	MASONRY VENEER (SEE SPEC.)
WD-2A	EXTERIOR GRADE WOOD CLADDING (SEE SPEC.)
MT-1	STANDING SEAM METAL ROOF (SEE SPEC.)
GL-1	CLEAR GLAZING (SEE SPEC.)
GL-1a	TEMPERED CLEAR GLAZING (SEE SPEC.)
GL-2	FROSTED PRIVACY GLAZING (SEE SPEC.)
G-1	PAINTED METAL BALCONY PICKET GUARD RAIL
---	BRICK LEDGE ANCHORED TO STRUCTURE (SEE DETAILS)
---	SCHEDULED LOOSE UNTEL (SEE STRUCT.)
---	TYP. VERTICAL MASONRY MOVEMENT JOINT



KEY PLAN

1	02/28/25	RE ISSUED FOR SPA 5
2	11/26/24	RE ISSUED FOR 2BA SPA
4	06/02/23	RE ISSUED FOR 2BA SPA
3	02/24/23	RE ISSUED FOR 2BA SPA
2	09/01/22	RE ISSUED FOR 2BA SPA
1	12/15/21	ISSUED FOR 2BA SPA

Rev	Date	Issued
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416.977.5104

Kindred Works
QUEENSWOOD COMMONS

360 Kennedy Lane East, Ottawa Ontario

Project No. 2103
Scale 1:100
Plot Date 11/06/24

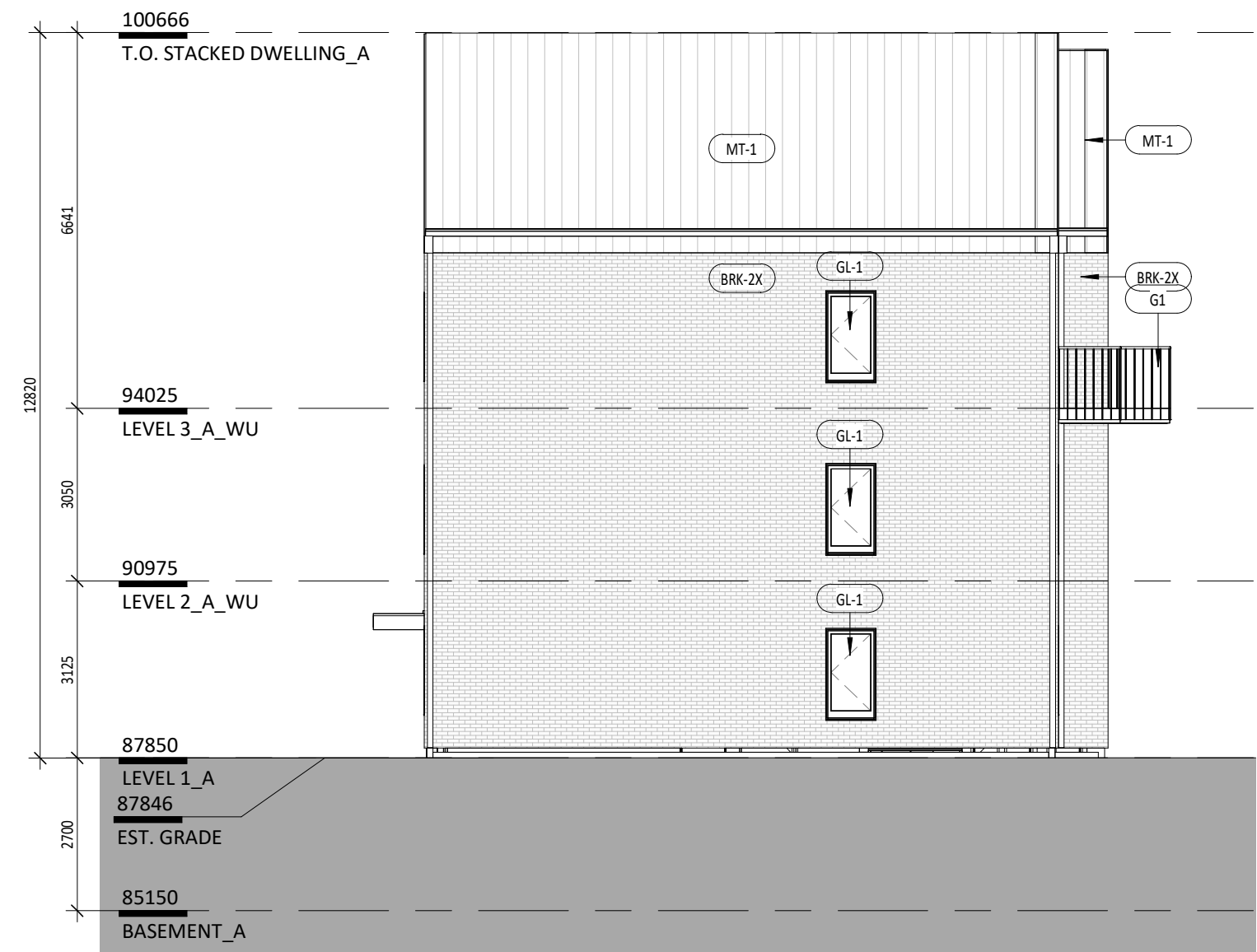
BLOCK 6 - ELEVATIONS

CITY FILE #D07-12-22-0002

A5.08Z



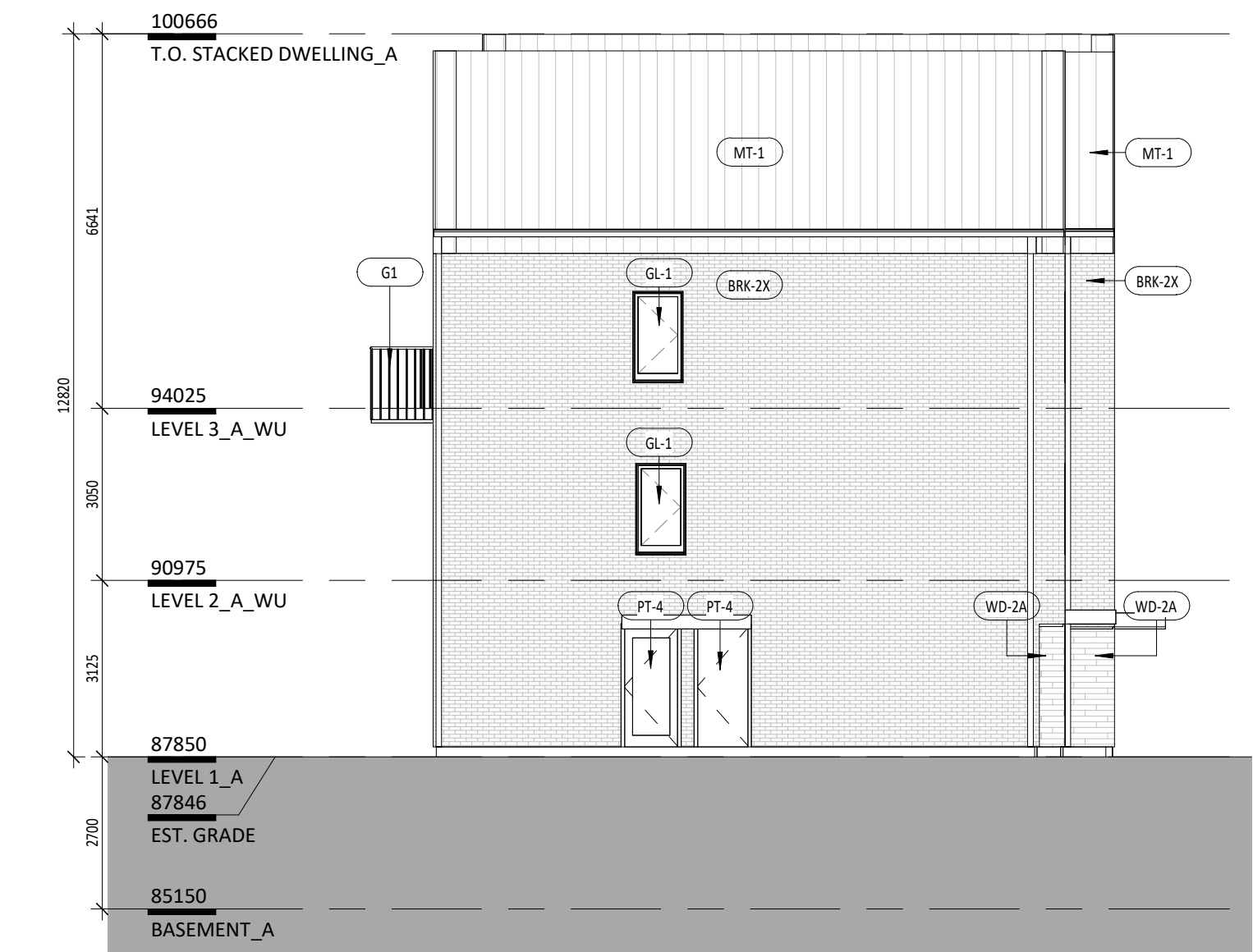
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1:100



2 BLOCK 7 - EAST ELEVATION - SPA
1:100



3 BLOCK 7 - SOUTH ELEVATION - SPA
1:100

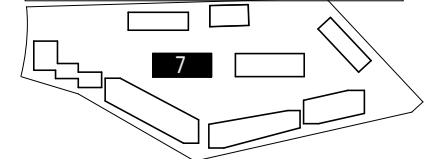


4 BLOCK 7 - WEST ELEVATION - SPA
1:100

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LEGEND	
	MASONRY VENEER (SEE SPEC.)
	EXTERIOR GRADE WOOD CLADDING (SEE SPEC.)
	STANDING SEAM METAL ROOF (SEE SPEC.)
	CLEAR GLAZING (SEE SPEC.)
	TEMPERED CLEAR GLAZING (SEE SPEC.)
	FROSTED PRIVACY GLAZING (SEE SPEC.)
	PAINTED METAL BALCONY PICKET GUARD RAIL
	BRICK LEDGE ANCHORED TO STRUCTURE (SEE DETAILS)
	SCHEDULED LOOSE UNTEL (SEE STRUCT.)
	TYP. VERTICAL MASONRY MOVEMENT JOINT



KEY PLAN		
1	02/28/25	RE-ISSUED FOR SPA 5
2	11/26/24	RE-ISSUED FOR 2BA SPA
3	06/02/23	RE-ISSUED FOR 2BA SPA
4	02/24/23	RE-ISSUED FOR 2BA SPA
5	09/01/22	RE-ISSUED FOR 2BA SPA
6	12/15/21	ISSUED FOR 2BA SPA
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Kindred Works
QUEENSWOOD COMMONS

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Project No. 2103
Scale 1:100
Plot Date 11/06/24

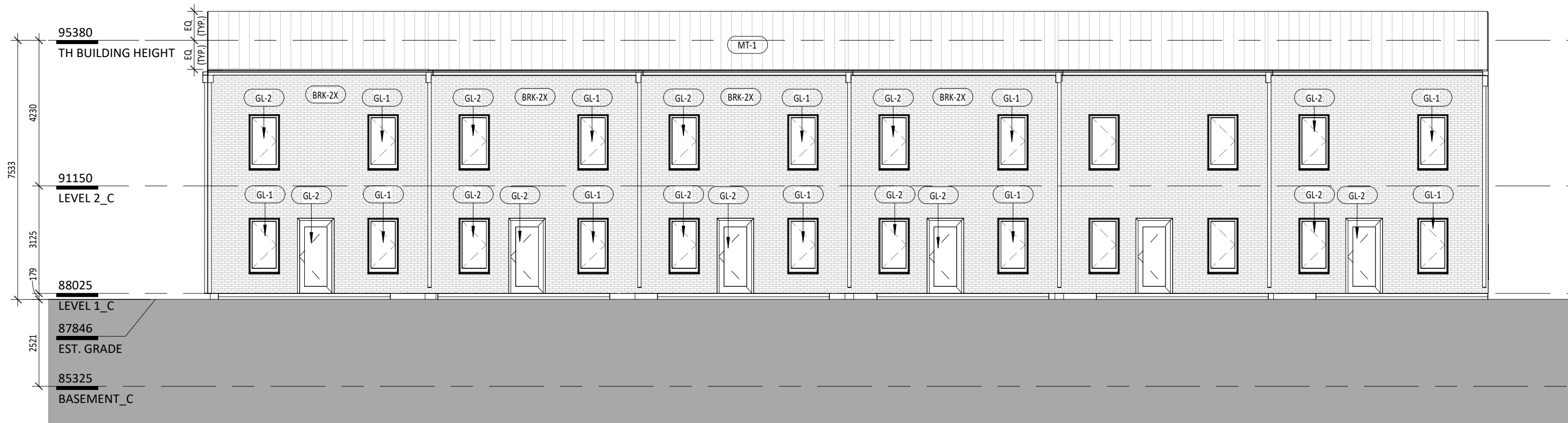
BLOCK 7 - ELEVATIONS

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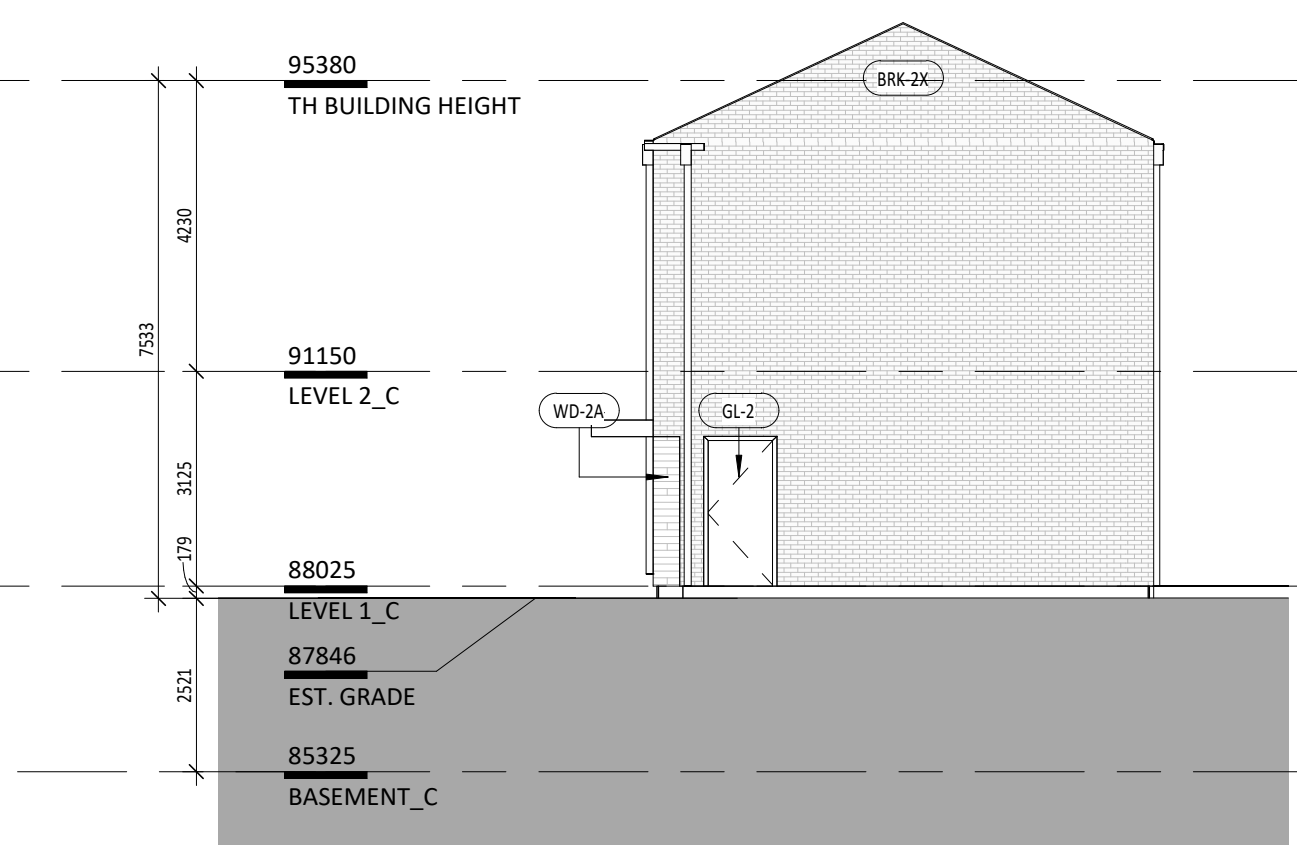
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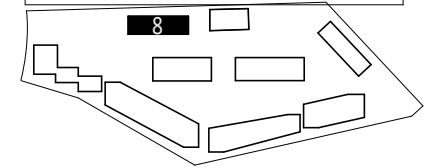


1 BLOCK 8 - NORTH ELEVATION - SPA
1 : 100



2 BLOCK 8 - EAST ELEVATION - SPA
1 : 100

LEGEND	
BRK-2X	MASONRY VENEER (SEE SPEC.)
WD-2A	EXTERIOR GRADE WOOD CLADDING (SEE SPEC.)
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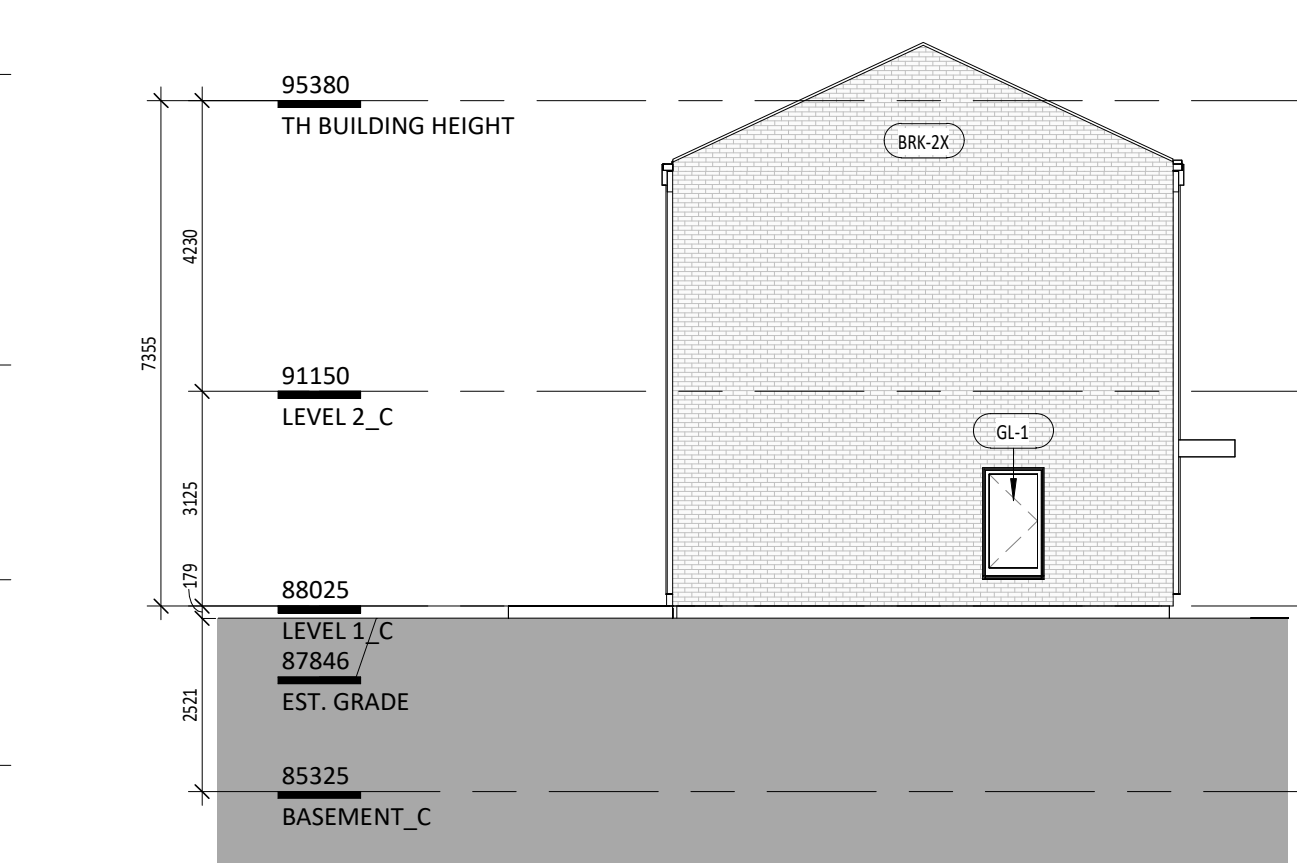
360 Kennedy Lane East, Ottawa Ontario

Project No. 2103
Scale 1 : 100
Plot Date 11/06/24

BLOCK 8 - ELEVATIONS



3 BLOCK 8 - SOUTH ELEVATION - SPA
1 : 100



4 BLOCK 8 - WEST ELEVATION - SPA
1 : 100

CITY FILE #D07-12-22-0002

A5.10Z