

QUEENSWOOD UNITED CHURCH

ZONING BY-LAW AMENDMENT & SITE PLAN APPROVAL - RESUBMISSION

October 25, 2021

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1	10/25/22	ISSUED FOR 2B/23PA
2	12/15/21	ISSUED FOR 2B/23PA

Rev. Date Issued

PROJECT TEAM

OWNERS

United Property Resource Corp.
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 T: 416-618-2097

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United Church Canada

Queenswood United Church

360 Kennedy Lane East, Ottawa Ontario

Project No. 2103
 Scale
 Plot Date 10/25/22

COVER SHEET

A0.00

CITY FILE #D07-12-22-0002

360 Kennedy Ln E, Orléans, ON K1E 3P3	
1 Legal Address	Pcl 8-3, Sec 50m-77 ; Pt BLK 8, Pl 50m-77, Part 3, 50r5659 ; Cumberland
2 Municipal Address	360 Kennedy Ln E, Orléans, ON K1E 3P3
3 Applicable Zoning By-Laws	City of Ottawa Zoning By-Law No. 2008-250 (11B)
4 Zoning Designation	Minor Institutional Zone (11B)
5 Lot Area (m2)	12,208m ²
6 Total Building GFA (m2)	7,022.43m ²
7 Coverage (Area at Grade, m2)	2648.90
8 Sustainability Target	Passive House
9 Grade	87.74
10 Total Area of Renovated Space	0
Proposed Building Height	13.800m

- 1 Building Height is measured from Grade as defined above
- 2 Floor Heights are measures from grade at private road (geodetic el. 87.70m) to top of floor levels

Project Area Breakdown (m ²)	Gross Constructed Area									Gross Floor Area (GFA) as per 2008-250											
	Block 1 GCA	Block 2 GCA	Block 3 GCA	Block 4 GCA	Block 5 GCA	Block 6 GCA	Block 7 GCA	Block 8 GCA	Total	Existing Community	Community	Existing Residential	Residential Block 1	Residential Block 2	Residential Block 3	Residential Block 4	Residential Block 5	Residential Block 6	Residential Block 7	Residential Block 8	Total
BASEMENT	76.00 m ²	76.30 m ²	76.00 m ²	76.00 m ²	49.88 m ²	76.00 m ²	76.00 m ²	50.00 m ²	556.17 m ²	0.00 m ²	0.00 m ²	0.00 m ²	68.97 m ²	68.97 m ²	68.97 m ²	68.97 m ²	36.54 m ²	68.97 m ²	68.97 m ²	36.54 m ²	486.91 m ²
LEVEL 1	257.37 m ²	452.29 m ²	427.52 m ²	321.42 m ²	189.33 m ²	404.44 m ²	321.85 m ²	274.68 m ²	2648.90 m ²	187.35 m ²	0.00 m ²	0.00 m ²	213.61 m ²	376.03 m ²	366.35 m ²	278.24 m ²	151.29 m ²	355.34 m ²	282.09 m ²	231.74 m ²	2442.03 m ²
LEVEL 2	266.46 m ²	468.91 m ²	440.21 m ²	337.43 m ²	188.30 m ²	421.53 m ²	337.93 m ²	279.97 m ²	2740.73 m ²	0.00 m ²	0.00 m ²	0.00 m ²	222.27 m ²	390.42 m ²	375.66 m ²	292.04 m ²	156.77 m ²	368.95 m ²	293.55 m ²	235.96 m ²	2335.61 m ²
LEVEL 3	160.67 m ²	460.40 m ²	435.59 m ²	327.64 m ²	0.00 m ²	411.95 m ²	327.83 m ²	0.00 m ²	2124.08 m ²	0.00 m ²	0.00 m ²	0.00 m ²	133.18 m ²	360.96 m ²	334.61 m ²	282.92 m ²	0.00 m ²	359.80 m ²	284.41 m ²	0.00 m ²	1755.88 m ²
	760.49 m ²	1457.90 m ²	1379.32 m ²	1062.48 m ²	427.51 m ²	1313.91 m ²	1063.61 m ²	604.65 m ²	8069.87 m ²	187.35 m ²		0.00 m ²	638.04 m ²	1196.38 m ²	1145.58 m ²	922.17 m ²	344.59 m ²	1153.06 m ²	929.02 m ²	504.25 m ²	7020.44 m ²
Grand Total									8069.87 m²												7022.43 m²
FSI																					0.57

Gross Floor Area is defined by the total area of each floor whether located above, at or below grade, measured from the interiors of outside walls and including floor area occupied by interior walls and floor area created by bay windows, but excluding;

1. floor area occupied by shared mechanical, service and electrical equipment that serve the building (By-law 2008-326)
2. common hallways, corridors; stairwells, elevator shafts and other voids, steps and landings; (By-law 2008-326) (By-law 2017-302)
3. bicycle parking; motor vehicle parking or loading facilities;
4. common laundry, storage and washroom facilities that serve the building or tenants;
5. common storage areas that are accessory to the principal use of the building; (By-law 2008-326)
6. common amenity area and play areas accessory to a principal use on the lot; and (By-law 2008-326)
7. living quarters for a caretaker of the building. (surface de plancher hors oeuvre brute)

Gross Construction Area is defined by the total area of each floor located above, at or below grade, measured from the outside edge of exterior walls. There are no exclusions from the calculation other than exterior covered balconies.

Residential Suite Mix				
Block	Townhome	Stacked Dwelling	Side Entrance Stacked Dwelling	Total Buildings Per Block
1	2	0	2	4
2	4	1	2	7
3	5	1	1	7
4	0	2	2	4
5	4	0	0	4
6	0	3	2	5
7	0	2	2	4
8	6	0	0	6
Total	21	9	11	41
Number of Barrier Free Units (15%) OBC 3.8.2.1.(5)		9	11	

Residential Amenity Spaces (Zoning By-Law 2008-250 Table 137, Row 11 - Apartment Dwelling Low-Rise)					
	Total Amenity Area Required	Communal Amenity Area Required	Provided Outdoor Amenity	Overall Rate Required (m2)	Overall Rate Provided (m2)
Total Area (71 units)*	498m ²	120m ²	500m ²	15m ² per dwelling unit up to eight units, plus 6m ² per unit in excess of 8.	15m ² per dwelling unit for eight units, plus 6.03m ² for 63 units.
*Blocks 5 & 8 (10 units) do not count towards amenity per Zoning By-Law 2008-250 Table 137 row 12.					

Bedroom Mix				
	1 Bed	2 Bed	3 Bed	Total
No. of Units	20	40	21	81
% of Total	25%	49%	26%	100%

Car Parking Provided		
	Spaces Provided	Notes
Residential	76	provided at a rate of 0.75 per unit (resident) & 0.19 per unit (visitor)
Place of Worship	9	
Total	85	

Car Parking as per Zoning By-Law 569-2013 (senior citizen apartment building, subject to approval)				
Land Use	Units	Standard (spaces per unit)	Parking Required	
Residential				
Townhome	21	1 spaces per unit	21	
Stacked Dwelling	60	1 spaces per unit	60	
Sub-Total			81	
Non-Residential				
Resident Visitors	81	0.2	16	
Existing Visitors	92m2	10 spaces per 100m2	9	
Sub-Total			25	
Total			106	
1 Number of spaces ending in a fraction to be rounded up to the nearest whole number				

Bicycle Parking				
	Units/GFA	Rate	Spaces Required	Spaces Provided / Notes
Residential	81	0.5 spaces / unit	41	Bike Boxes (Townhomes) - 40 Basement (Stacked Dwellings) - 16
All Other Non-Residential Uses	92 m2	1 spaces per 1500 m2 GFA	0	Bike Rings (Public) - 18
Total Bicycle Parking			41	74 Spaces

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2	10/25/22	RE ISSUED FOR 2BA/SPA
1	12/15/21	ISSUED FOR 2BA/SPA

Rev. Date Issued

KPMB Architects
351 King St E, Suite 1200
Toronto, ON, Canada M5A 0L6
416.977.5104

United Church Canada

Queenswood United Church

360 Kennedy Lane East, Ottawa Ontario

Project No. 2103
Scale As indicated
Plot Date 10/25/22

STATISTICS SUMMARY



IMAGE 1 - SITE ENTRY



IMAGE 2 - BLOCK 2 TOWNHOUSES



IMAGE 3 - NORTH EAST CORNER VIEW



IMAGE 4 - BLOCK 5 UNITS



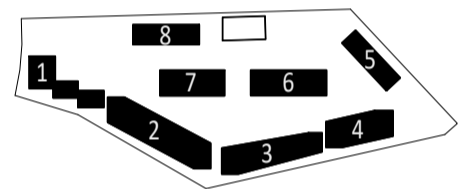
IMAGE 5 - CENTRAL PATH VIEW (LANDSCAPE TBD)



IMAGE 6 - SOUTH EAST VIEW

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KEY PLAN

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2	10/25/22	RE ISSUED FOR 2BA/SPA

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Queenswood United Church

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Project North True North

Project No. 2103
 Scale
 Plot Date 10/25/22

RENDERS

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**TOPOGRAPHIC PLAN OF SURVEY OF
 PART OF BLOCK 8
 REGISTERED PLAN 50M-77
 CITY OF OTTAWA**

FARLEY, SMITH & DENIS SURVEYING LTD. 2021

Scale 1: 300

Metric Note
 Distances and coordinates on this plan are in metres and can be converted to feet by dividing by 0.3048.

Distance Note
 Distances shown on this plan are ground distances and can be converted to grid distances by multiplying by the combined scale factor of 0.99997.

Bearing Note
 Bearings hereon are grid bearings derived from the Can-Net Real Time Network and are referred to the Central Meridian of MTM Zone 9 (75°30' West Longitude) Nad-83 (Original).
 For bearing comparisons, a rotation of 0°02'00" clockwise was applied to bearings on P1, P2.

Elevation Notes

- Elevations shown are geodetic and are referred to Geodetic Datum CGVD-1928-2578.
- It is the responsibility of the user of this information to verify that the job benchmark has not been altered or disturbed and that its relative elevation and description agrees with the information shown on this drawing.

Utility Notes

- This drawing cannot be accepted as acknowledging all of the utilities and it will be the responsibility of the user to contact the respective utility authorities for confirmation.
- Only visible surface utilities were located.
- Underground utility data derived from City of Ottawa utility sheet reference: 4. C-33-20, C-33-26, 13441.
- Sanitary and storm sewer grades and inverts were compiled from: Field measurement and City of Ottawa Utility Sheets.
- A field location of underground plant by the pertinent utility authority is mandatory before any work involving breaking ground, probing, excavating etc.

Notes & Legend

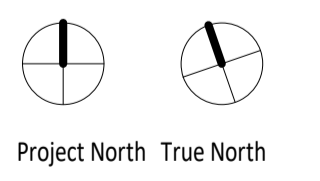
- Denotes**
- Survey Monument Planted
 - Survey Monument Found
 - IB Standard Iron Bar
 - W Iron Bar
 - (WIT) Witness
 - Mess Measured
 - (P1) Plan 50M-5559
 - (P2) Plan by (AGC) dated July 22, 1998 (Job No. C-063-98)
 - Acc. Accepted
 - MH-S Storm Maintenance Hole (Storm)
 - MH-S Sanitary Maintenance Hole (Sanitary)
 - MH-U Unidentified Maintenance Hole (Unidentified)
 - S Undergound Storm Sewer
 - W Undergound Water
 - H Undergound Hydro
 - G Undergound Gas
 - U Undergound Utility
 - R Undergound Rogers
 - LS Light Standard Catch Basin
 - FH Fire Hydrant
 - TB-B Bell Terminal Box
 - TB-C Cable Terminal Box
 - TB-H Hydro Terminal Box
 - TB-U Unidentified Terminal Box
 - S Sign
 - AC Metal Pole
 - Air Air Conditioner
 - Diameter
 - CLE Chain Link Fence
 - BF Board Fence
 - Inv. Invert
 - T/G Top of Grate
 - Elevation
 - U Underside of Eave
 - T/Frdn Top of Foundation
 - Centreline
 - +65.00 Location of Elevations
 - +65.00 Top of Concrete Curb Elevation
 - Deciduous Tree - The Symbol shown denotes location and trunk diameter only. Size of its root system/overhead canopy may be smaller/larger than the symbol size depicted on this plan.
 - Coniferous Tree - The Symbol shown denotes location and trunk diameter only. Size of its root system/overhead canopy may be smaller/larger than the symbol size depicted on this plan.

7	10/25/22	RE ISSUED FOR 28A/39A
1	12/15/21	ISSUED FOR 28A/39A
Rev.	Date	Issued

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 416.977.5104

United Church Canada
Queenswood United Church

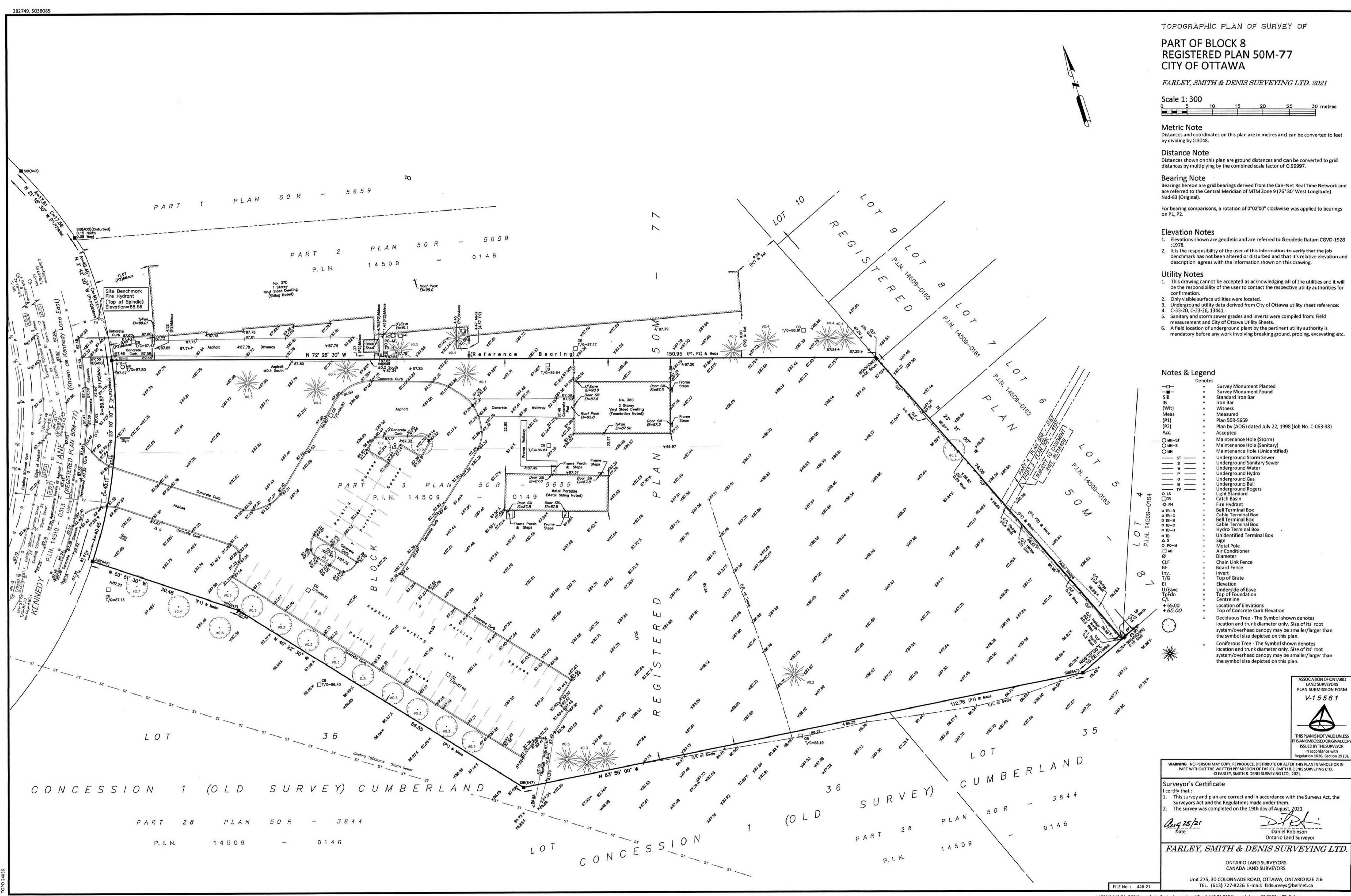
360 Kennedy Lane East, Ottawa Ontario



Project North True North

Project No. 2103
 Scale NTS
 Plot Date 10/25/22

SITE SURVEY



TOPO 242626

ASSOCIATION OF ONTARIO LAND SURVEYORS
 PLAN SUBMISSION FORM
V-15561

THIS PLAN IS NOT VALID UNLESS IT IS AN EMBOSSED ORIGINAL COPY ISSUED BY THE SURVEYOR. In accordance with Regulation 1205, Section 29 (3).

Surveyor's Certificate
 I certify that:
 1. This survey and plan are correct and in accordance with the Surveys Act, the Surveyors Act and the Regulations made under them.
 2. The survey was completed on the 19th day of August, 2021.

Aug 25/21
 Date
 Daniel Robinson
 Ontario Land Surveyor

FARLEY, SMITH & DENIS SURVEYING LTD.
 ONTARIO LAND SURVEYORS
 CANADA LAND SURVEYORS
 Unit 275, 30 COLONNADE ROAD, OTTAWA, ONTARIO K2E 7H6
 TEL. (613) 727-8226 E-mail: fidsurveyors@bellnet.ca

FILE No.: 446-21

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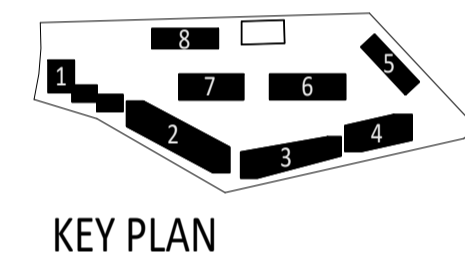


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LEGEND

---	PROPERTY LINE
---	SETBACK BOUNDARY
---	VISUAL BARRIER
---	PEDESTRIAN FRIENDLY
---	VEHICULAR ROADWAY
---	SNOW STORAGE
---	PARKING TURNAROUND SPACE
---	STAGING AREA FOR GARBAGE BINS
○	PROPOSED TREE
○	EXISTING TREE
○	BIKE PARKING/WASTE STORAGE
○	BIKE PARKING

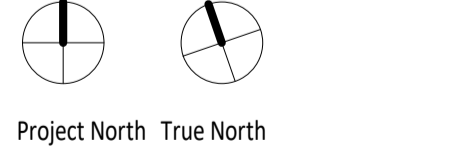


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 Scale As indicated
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CONCEPT PLAN

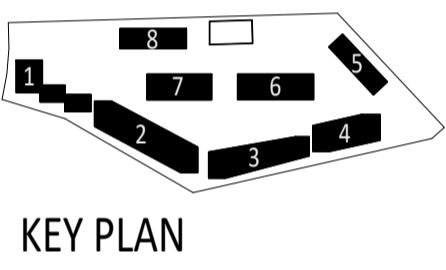
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LEGEND

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- VISUAL BARRIER
- PEDESTRIAN FRIENDLY
- VEHICULAR ROADWAY
- SNOW STORAGE
- PARKING TURNAROUND SPACE
- STAGING AREA FOR GARBAGE BINS
- PROPOSED TREE
- EXISTING TREE
- BIKE PARKING/WASTE STORAGE
- BIKE PARKING



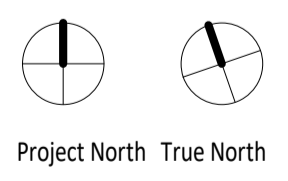
7	10/25/22	RE ISSUED FOR 28A/39A
1	12/15/21	ISSUED FOR 28A/39A

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360 Kennedy Lane East, Ottawa Ontario



Project No. 2103
 Scale As Indicated
 Plot Date 10/25/22

SITE PLAN
 RESIDENTIAL: 142 Spaces
 PUBLIC: 18 Spaces
 TOTAL: 160 Spaces

1 SITE PLAN
 1:300

Site Area: 12,208 m²
 Property Identification Number:
 Property Boundary Information From: Site Survey by Farley, Smith & Denis Surveying LTD.

Gross Floor Area (GFA) = the total area of each floor whether located above, at or below grade, measured from the interiors of outside walls and including floor area occupied by interior walls and floor area created by bay windows, but excluding;

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- common storage areas that are accessory to the principal use of the building; (By-law 2008-326)
- common amenity area and play areas accessory to a principal use on the lot; and (By-law 2008-326)
- living quarters for a caretaker of the building. (surface de plancher hors oeuvre brute)

GFA (Ottawa) Schedule		
Level	GFA	Comments
Block 1 (2 Stacked Dwellings, 2 Townhouses)		
BASEMENT	68.97 m ²	
LEVEL 1	213.61 m ²	
LEVEL 2	222.27 m ²	
LEVEL 3	133.18 m ²	
	638.04 m ²	
Block 2 (3 Stacked Dwellings, 4 Townhouses)		
BASEMENT	68.97 m ²	
LEVEL 1	376.03 m ²	
LEVEL 2	390.42 m ²	
LEVEL 3	360.96 m ²	
	1196.38 m ²	
Block 3 (2 Stacked Dwellings, 5 Townhouses)		
BASEMENT	68.97 m ²	
LEVEL 1	366.35 m ²	
LEVEL 2	375.66 m ²	
LEVEL 3	334.61 m ²	
	1145.58 m ²	

GFA (Ottawa) Schedule		
Level	GFA	Comments
Block 4 (4 Stacked Dwellings)		
BASEMENT	68.97 m ²	
LEVEL 1	278.24 m ²	
LEVEL 2	292.04 m ²	
LEVEL 3	282.92 m ²	
	922.17 m ²	
Block 5 (4 Townhouses)		
BASEMENT	36.54 m ²	
LEVEL 1	151.29 m ²	
LEVEL 2	156.77 m ²	
	344.59 m ²	
Block 6 (5 Stacked Dwellings)		
BASEMENT	68.97 m ²	
LEVEL 1	355.34 m ²	
LEVEL 2	368.95 m ²	
LEVEL 3	359.80 m ²	
	1153.06 m ²	

GFA (Ottawa) Schedule		
Level	GFA	Comments
Block 7 (4 Stacked Dwellings)		
BASEMENT	68.97 m ²	
LEVEL 1	282.09 m ²	
LEVEL 2	292.04 m ²	
LEVEL 3	284.41 m ²	
	929.02 m ²	
Block 8 (6 Townhouses)		
BASEMENT	36.54 m ²	
LEVEL 1	231.74 m ²	
LEVEL 2	235.96 m ²	
	504.25 m ²	
Grand total	6833.09 m ²	

RESIDENTIAL UNITS
 TOWNHOUSE: 21 Units
 STACKED DWELLINGS: (20x3) 60 Units
 TOTAL UNITS: 81

PARKING
 CHURCH PARKING: 9 Spaces
 RESIDENTIAL: 76 Spaces
 TOTAL: 85 Spaces

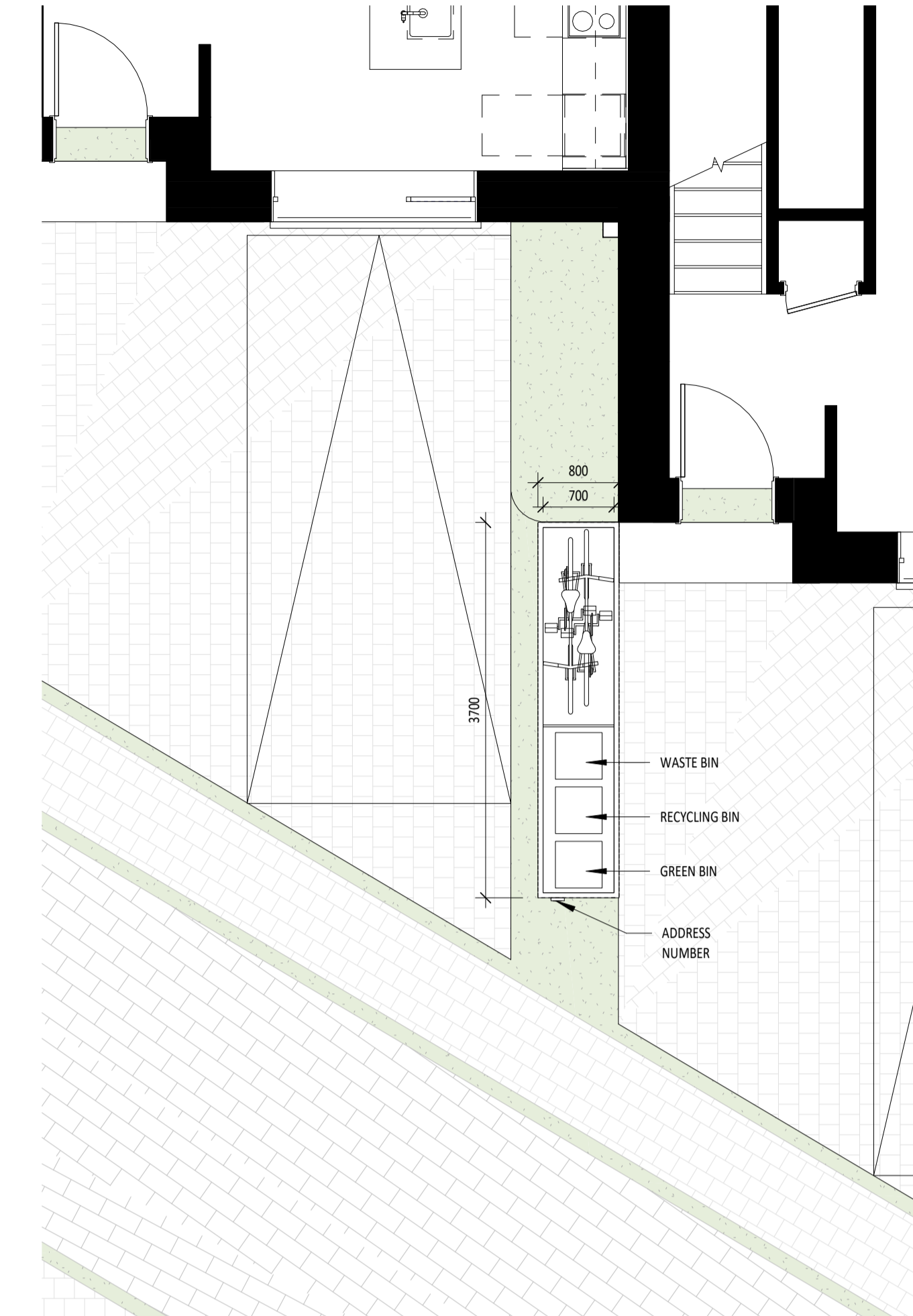
BIKE PARKING
 RESIDENTIAL: 142 Spaces
 PUBLIC: 18 Spaces
 TOTAL: 160 Spaces

CITY FILE #D07-12-22-002
 DWG # 18692

A1.03



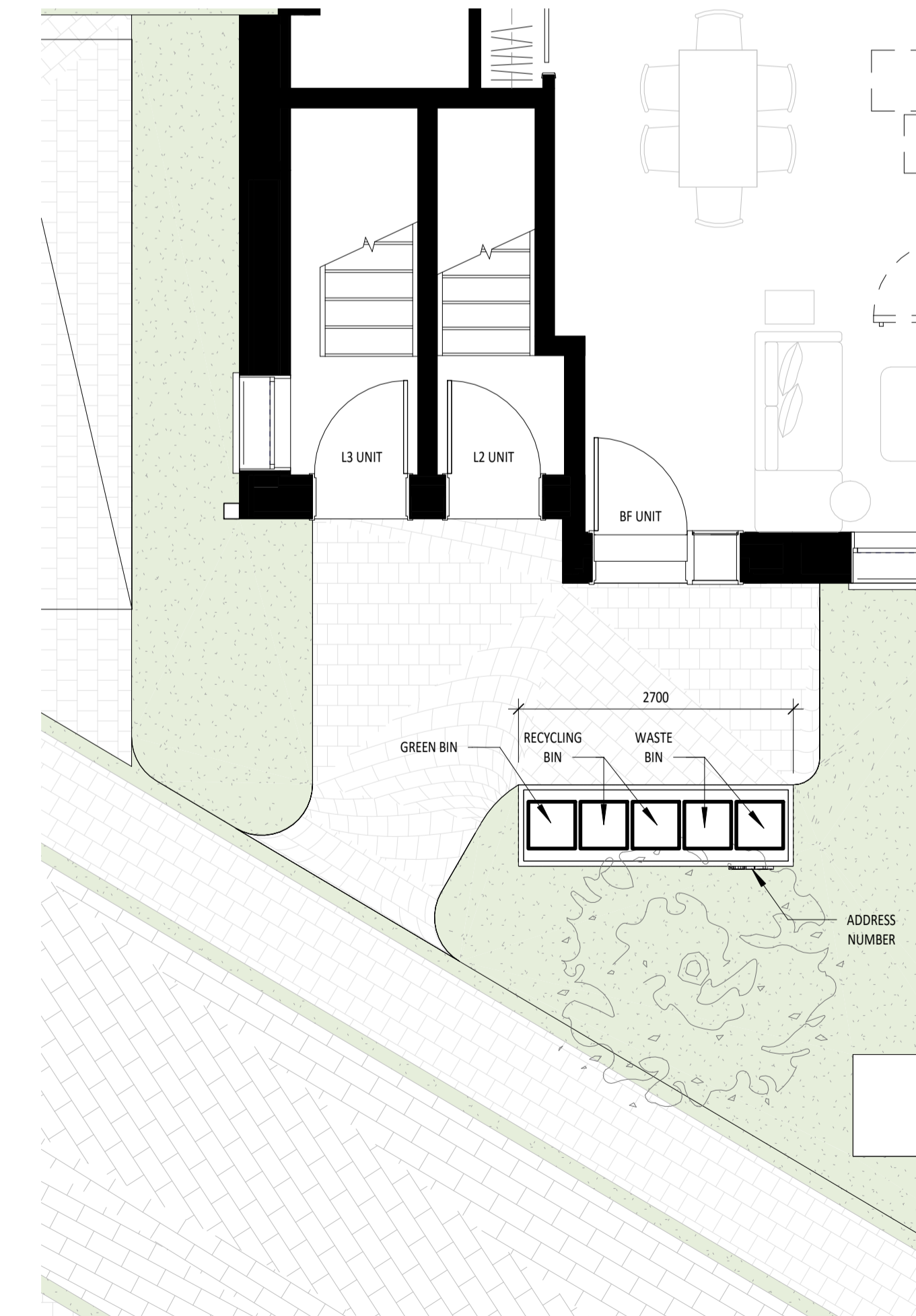
IMAGE 1 - FRONT VIEW OF THE TYP. TOWNHOUSE



TYP. TOWNHOUSE UNIT FRONT YARD STRATEGY



IMAGE 2 - FRONT VIEW OF THE TYP. WALK-UP UNITS



TYP. WALK-UP UNIT FRONT YARD STRATEGY

CITY FILE #D07-12-22-0002

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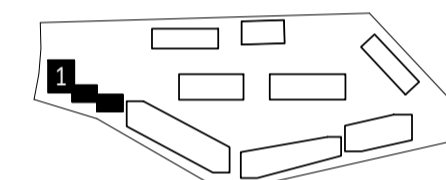
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FRONT YARD STRATEGY

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LEGEND	
(MA-1)	MASONRY
(WD-1)	WOOD FINISH
(MT-1)	METAL ROOF
(GL-1)	CLEAR GLAZING
(GL-2)	TRANSLUCENT GLAZING
(G1)	PAINTED METAL BALCONY PICKET GUARD RAIL



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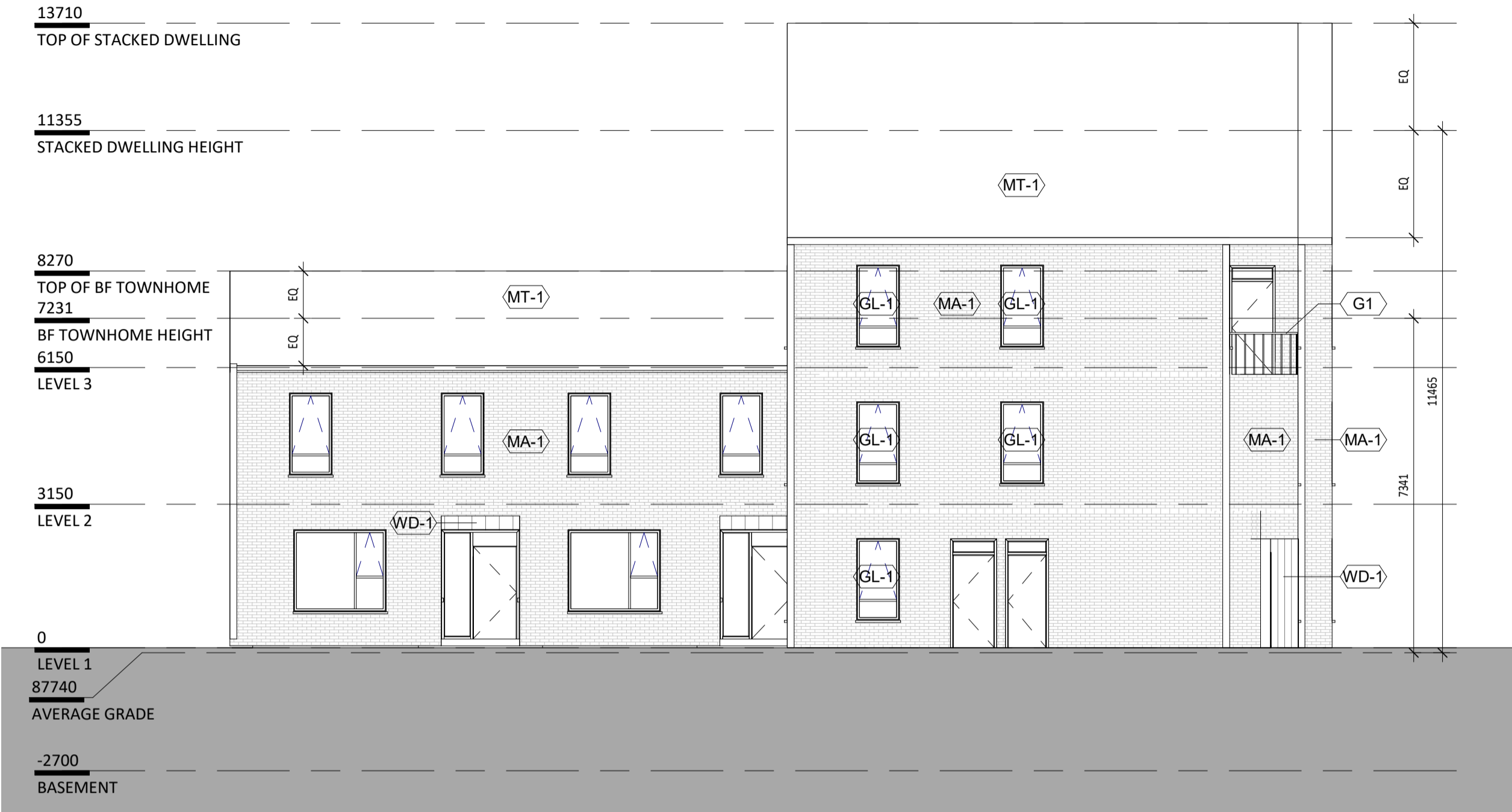
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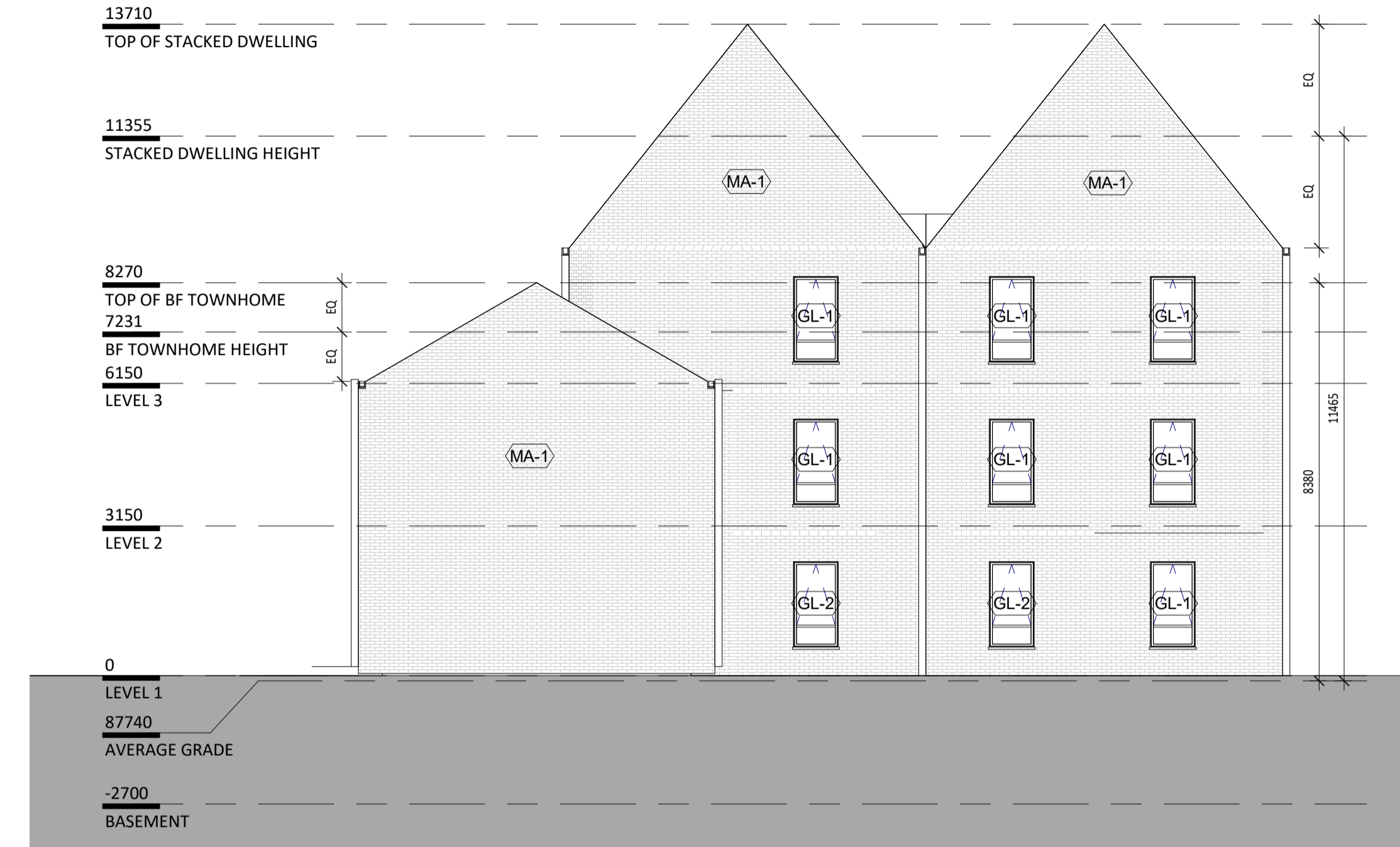
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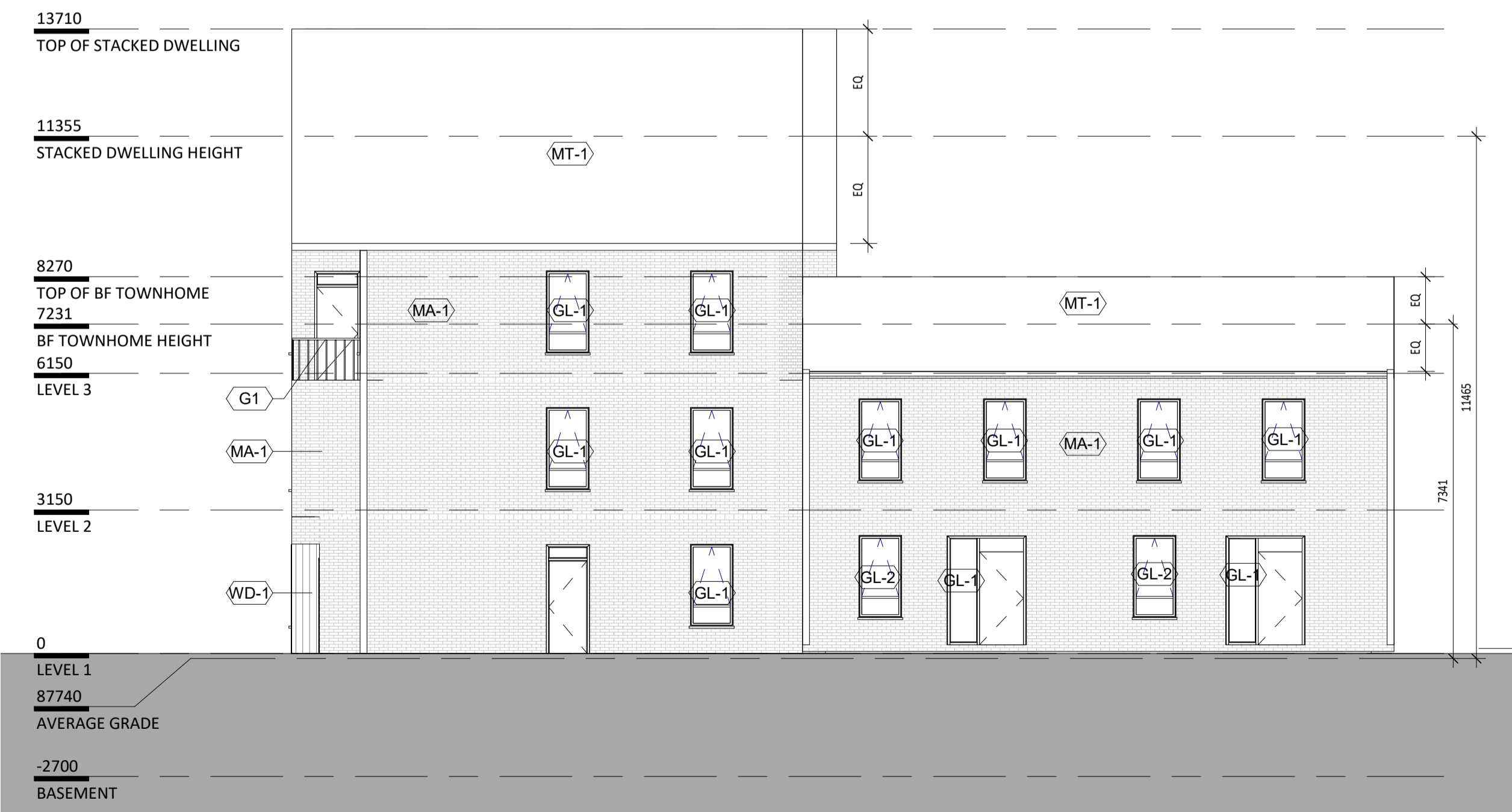
BLOCK 1 - ELEVATIONS



1 BLOCK 1 - NORTH ELEVATION
 1:100



2 BLOCK 1 - EAST ELEVATION
 1:100



3 BLOCK 1 - SOUTH ELEVATION
 1:100



4 BLOCK 1 - WEST ELEVATION
 1:100

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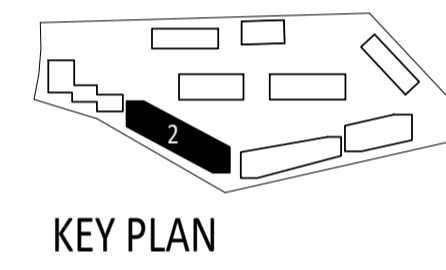
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1 BLOCK 2 - NORTH ELEVATION
 1:100

LEGEND

MA-1	MASONRY
WD-1	WOOD FINISH
MT-1	METAL ROOF
GL-1	CLEAR GLAZING
GL-2	TRANSLUCENT GLAZING
G1	PAINTED METAL BALCONY PICKET GUARD RAIL



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2 BLOCK 2 - SOUTH ELEVATION
 1:100

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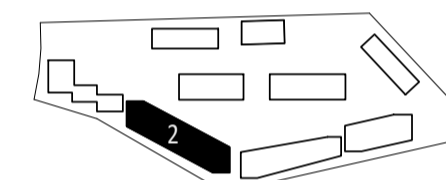
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BLOCK 2 - NORTH & SOUTH ELEVATIONS

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LEGEND	
	MASONRY
	WOOD FINISH
	METAL ROOF
	CLEAR GLAZING
	TRANSLUCENT GLAZING
	PAINTED METAL BALCONY PICKET GUARD RAIL



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BLOCK 2 - EAST & WEST ELEVATIONS



1 BLOCK 2 - EAST ELEVATION
 1:100



2 BLOCK 2 - WEST ELEVATION
 1:100

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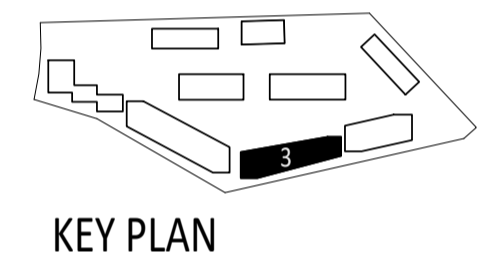
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1 BLOCK 3 - NORTH ELEVATION
 1:100

LEGEND

MA-1	MASONRY
WD-1	WOOD FINISH
MT-1	METAL ROOF
GL-1	CLEAR GLAZING
GL-2	TRANSLUCENT GLAZING
G1	PAINTED METAL BALCONY PICKET GUARD RAIL



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2 BLOCK 3 - SOUTH ELEVATION
 1:100

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BLOCK 3 - NORTH & SOUTH ELEVATIONS

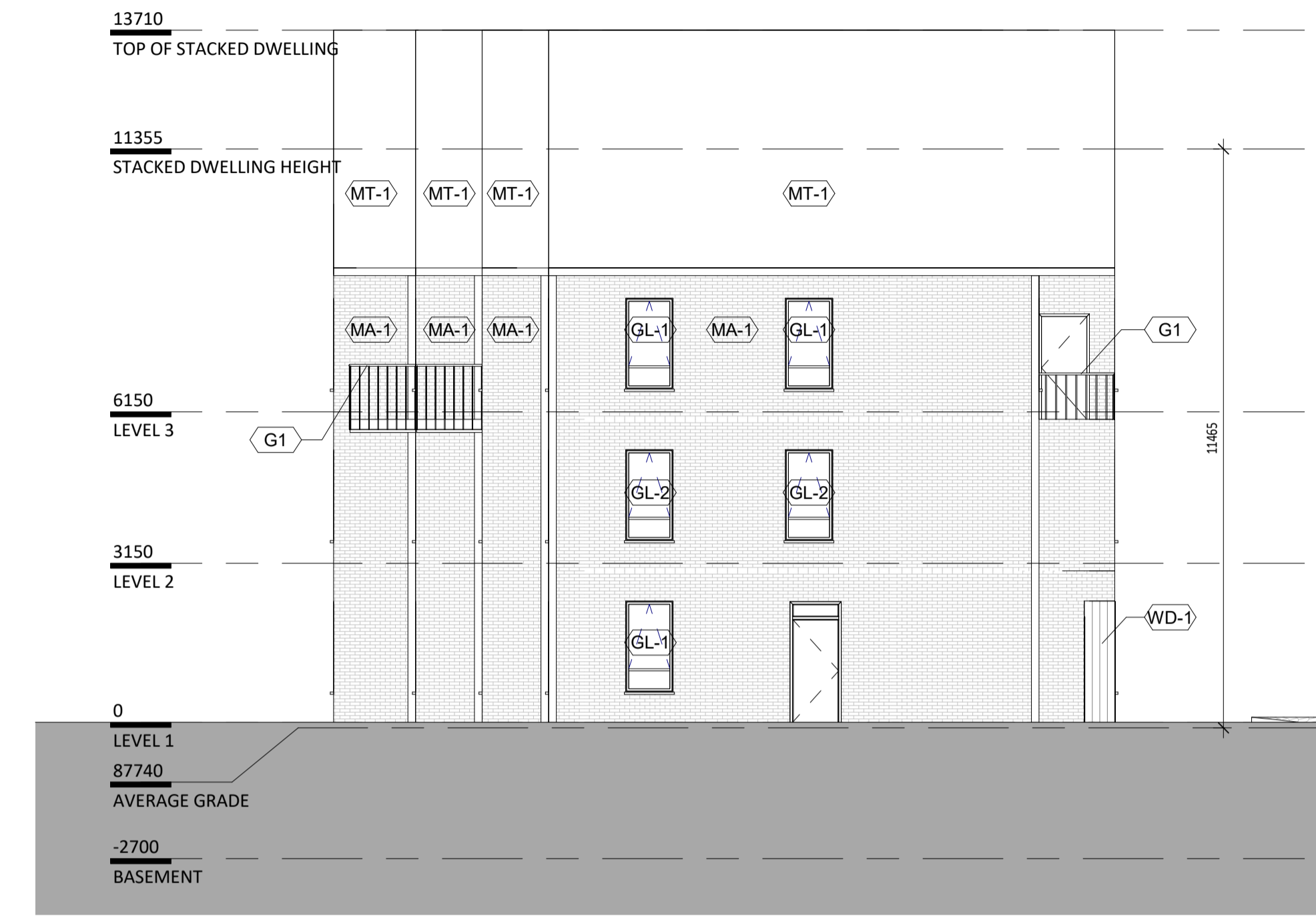
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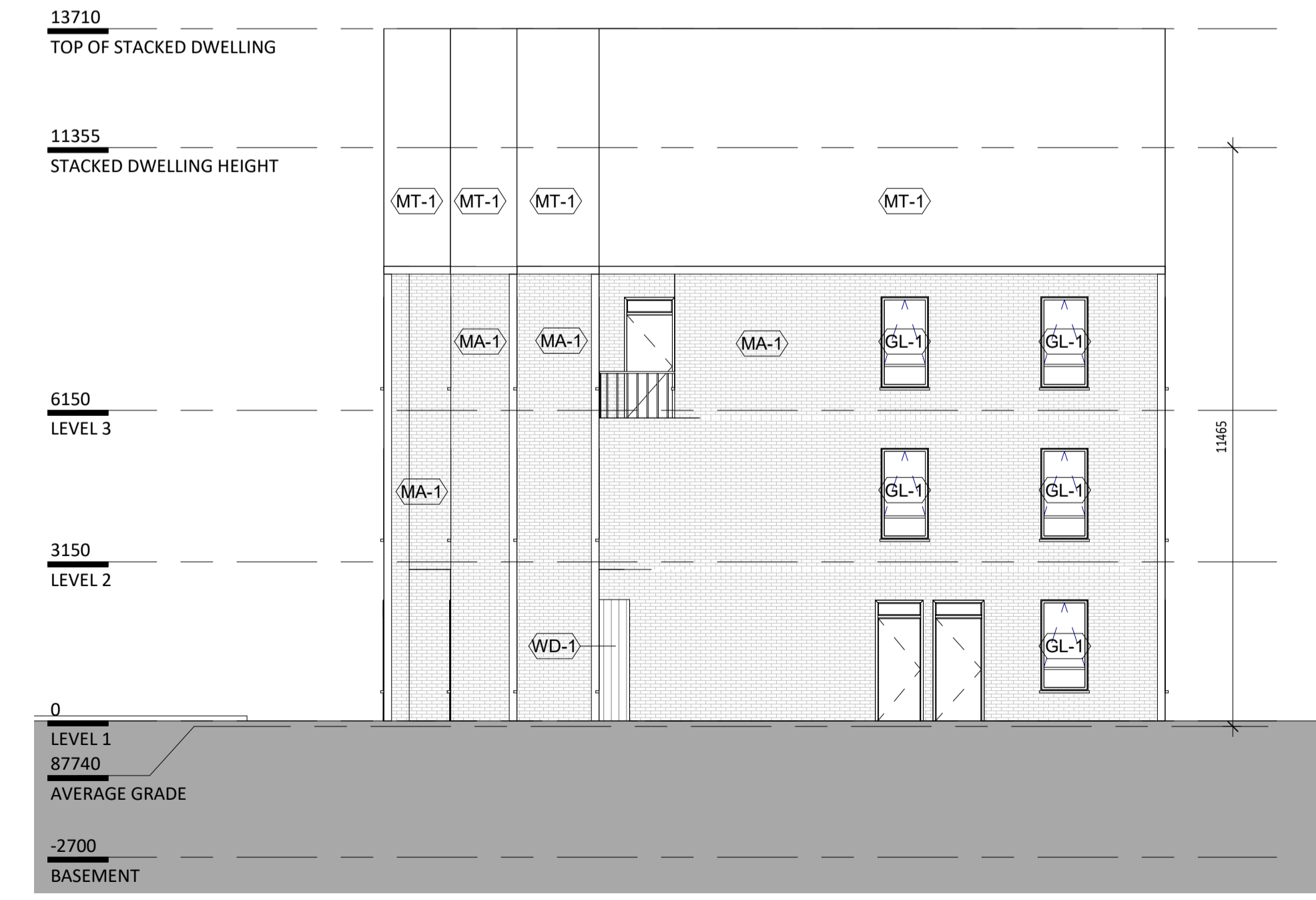
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2 BLOCK 4 - EAST ELEVATION
1:100



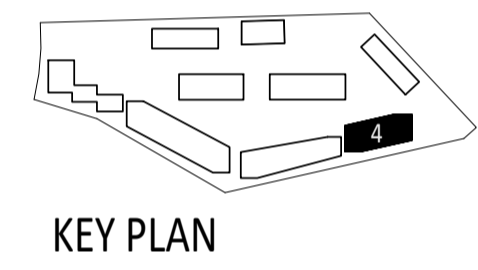
3 BLOCK 4 - SOUTH ELEVATION
1:100



4 BLOCK 4 - WEST ELEVATION
1:100

LEGEND

MA-1	MASONRY
WD-1	WOOD FINISH
MT-1	METAL ROOF
GL-1	CLEAR GLAZING
GL-2	TRANSLUCENT GLAZING
G1	PAINTED METAL BALCONY PICKET GUARD RAIL



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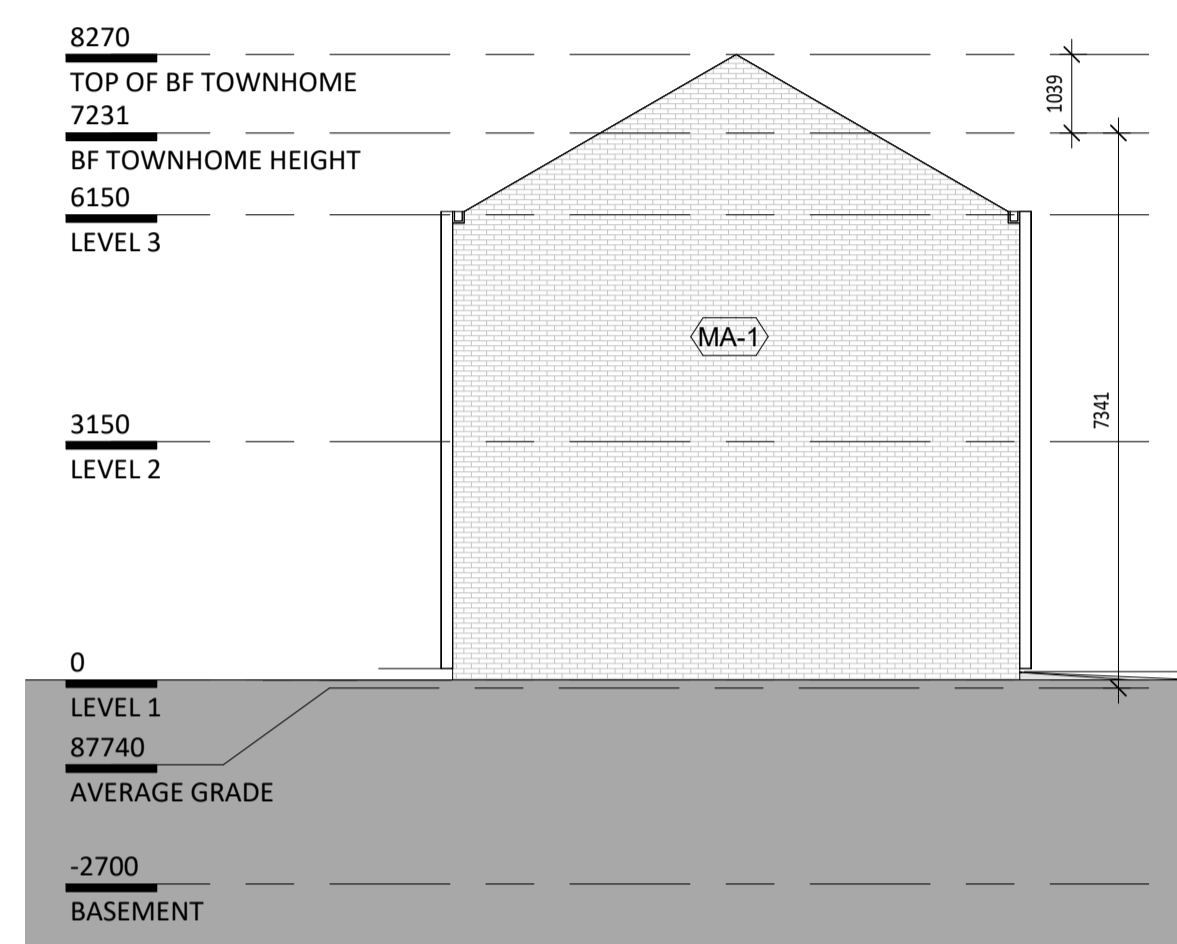
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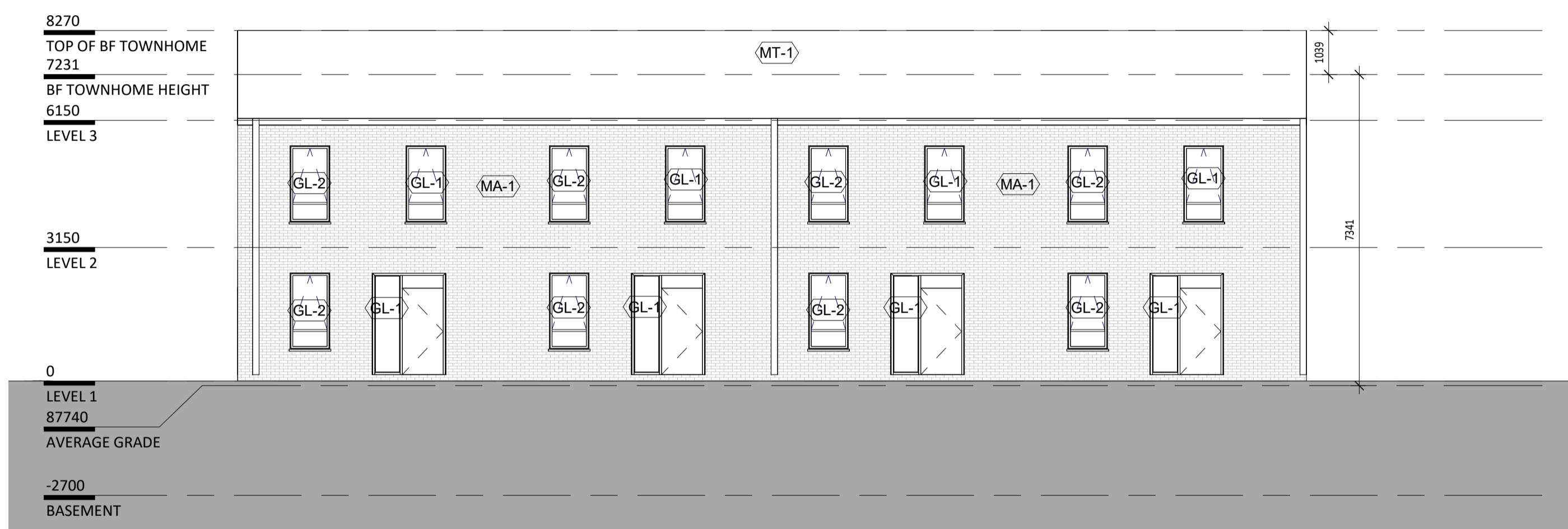
BLOCK 4 - ELEVATIONS

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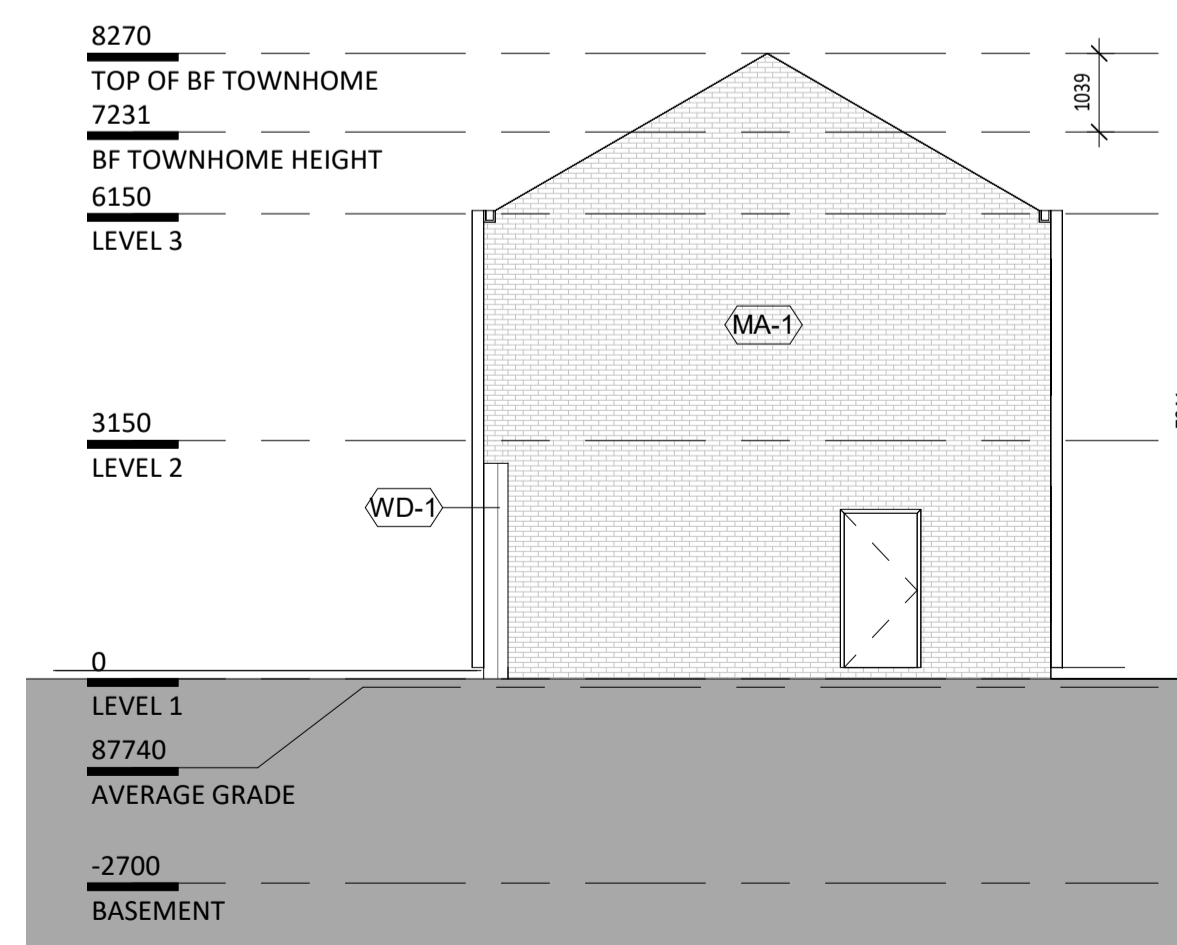
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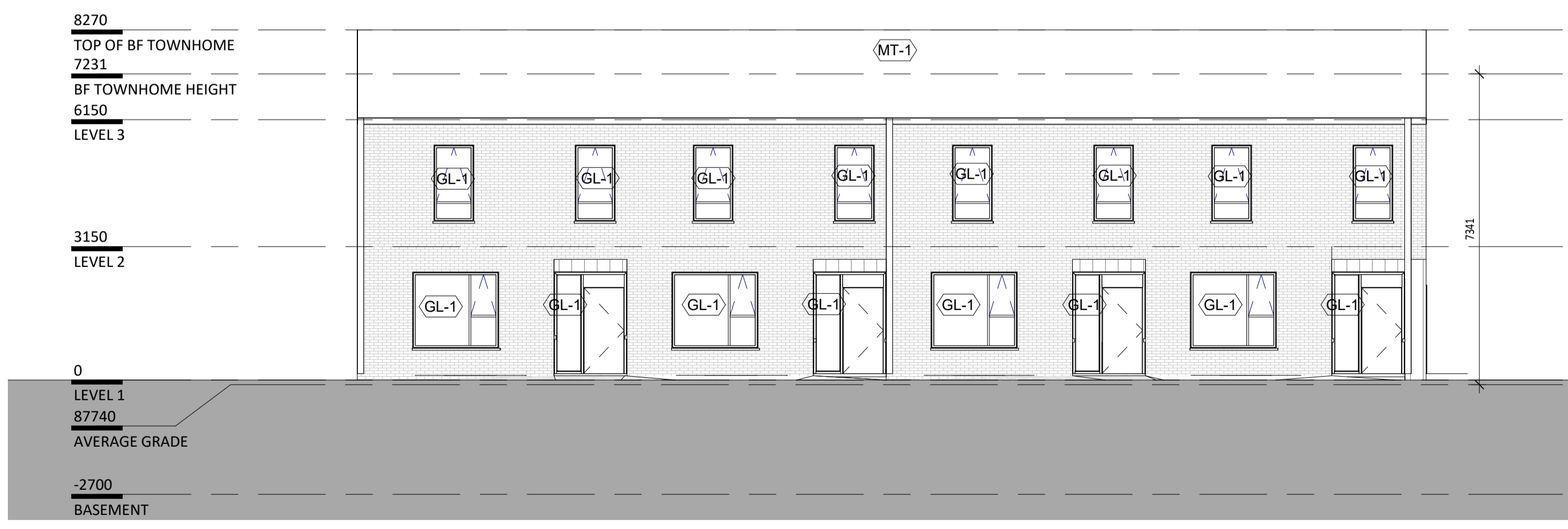
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2 BLOCK 5 - EAST ELEVATION
1:100



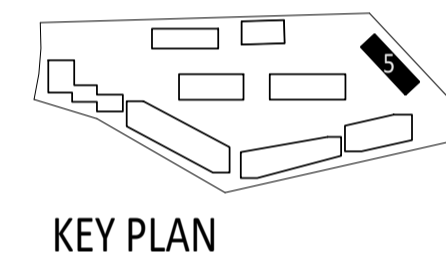
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1:100



4 BLOCK 5 - WEST ELEVATION
1:100

LEGEND

MA-1	MASONRY
WD-1	WOOD FINISH
MT-1	METAL ROOF
GL-1	CLEAR GLAZING
GL-2	TRANSLUCENT GLAZING
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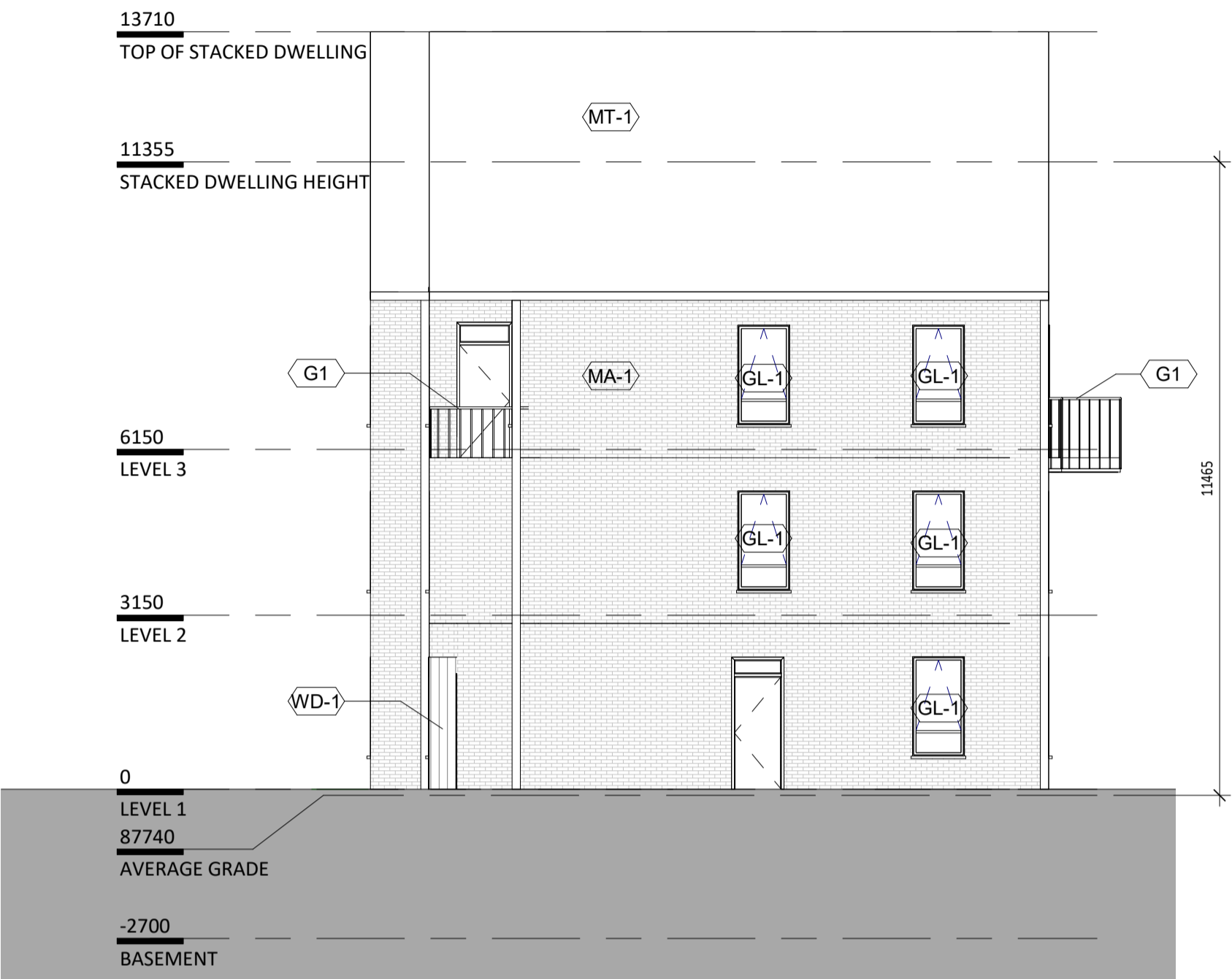
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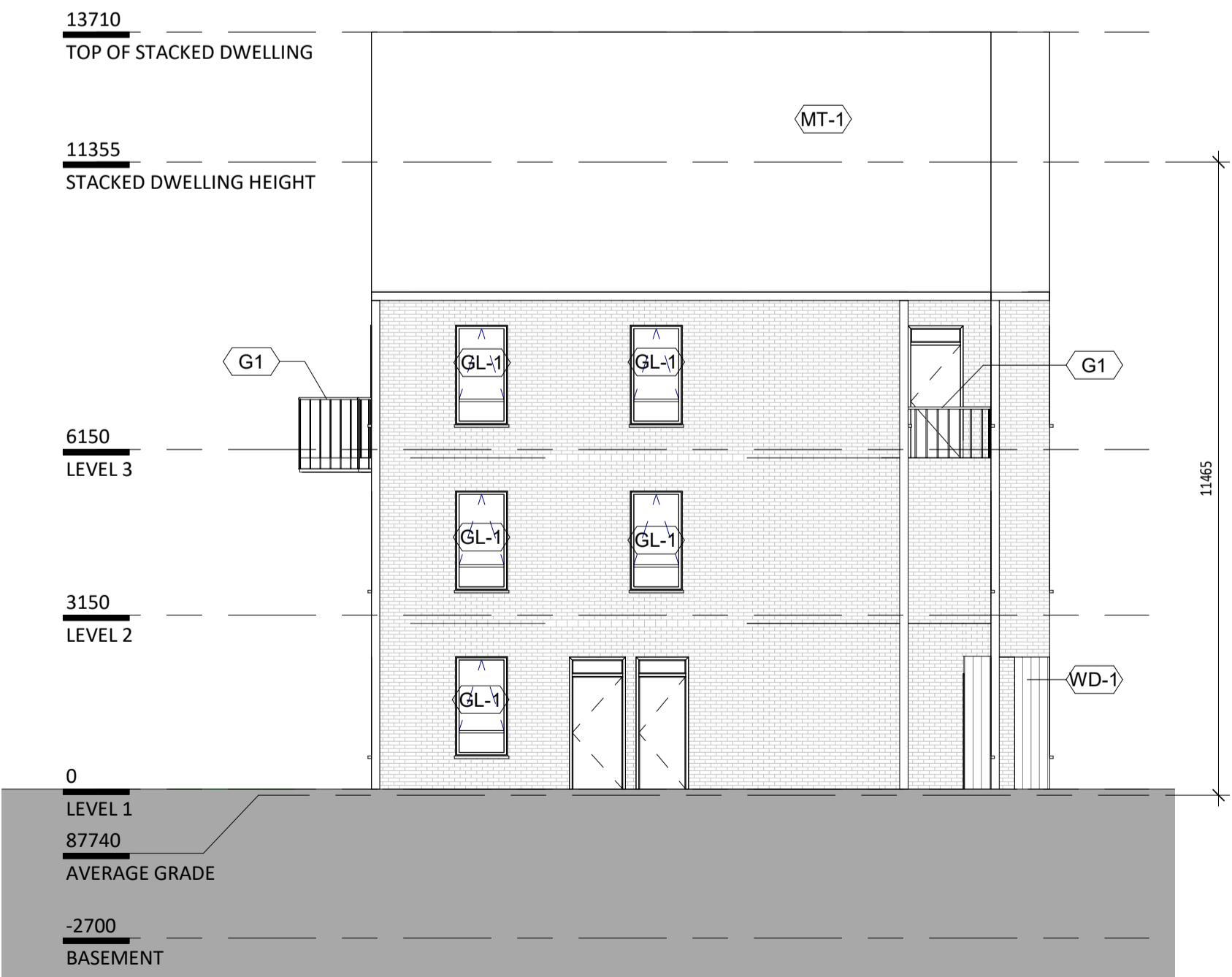
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2 BLOCK 6 - EAST ELEVATION
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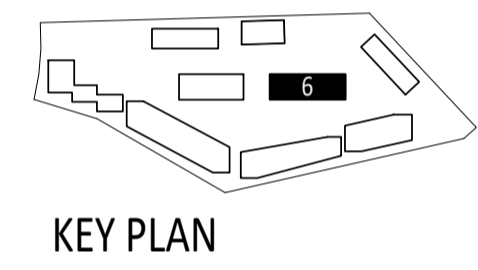
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4 BLOCK 6 - WEST ELEVATION
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LEGEND

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WD-1	WOOD FINISH
MT-1	METAL ROOF
GL-1	CLEAR GLAZING
GL-2	TRANSLUCENT GLAZING
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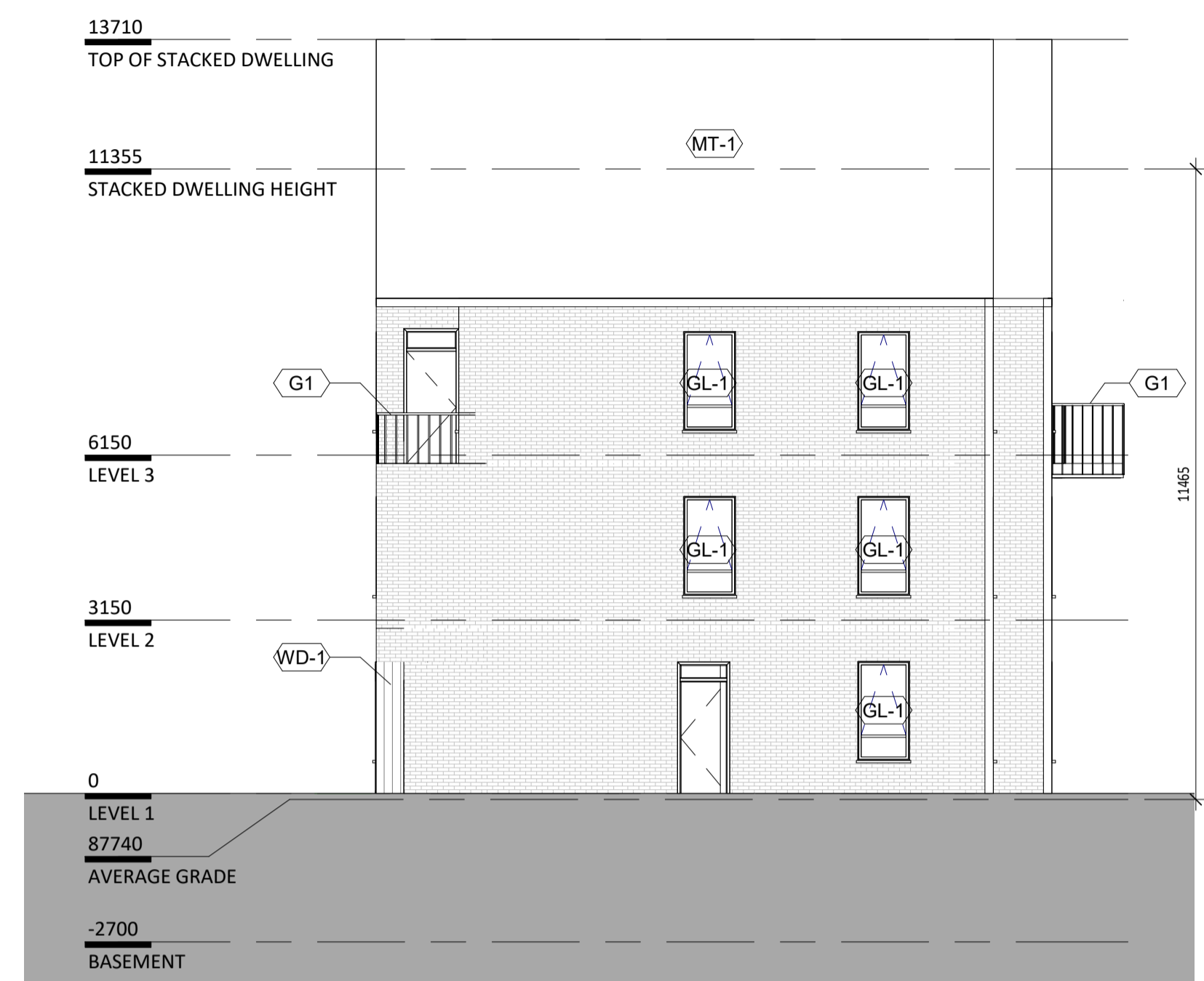
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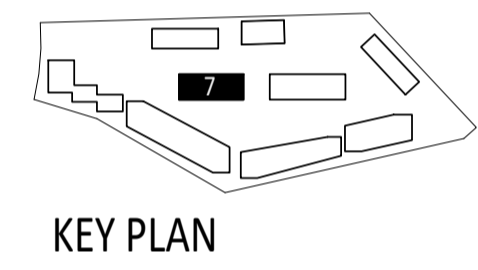
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2 BLOCK 7 - EAST ELEVATION
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LEGEND

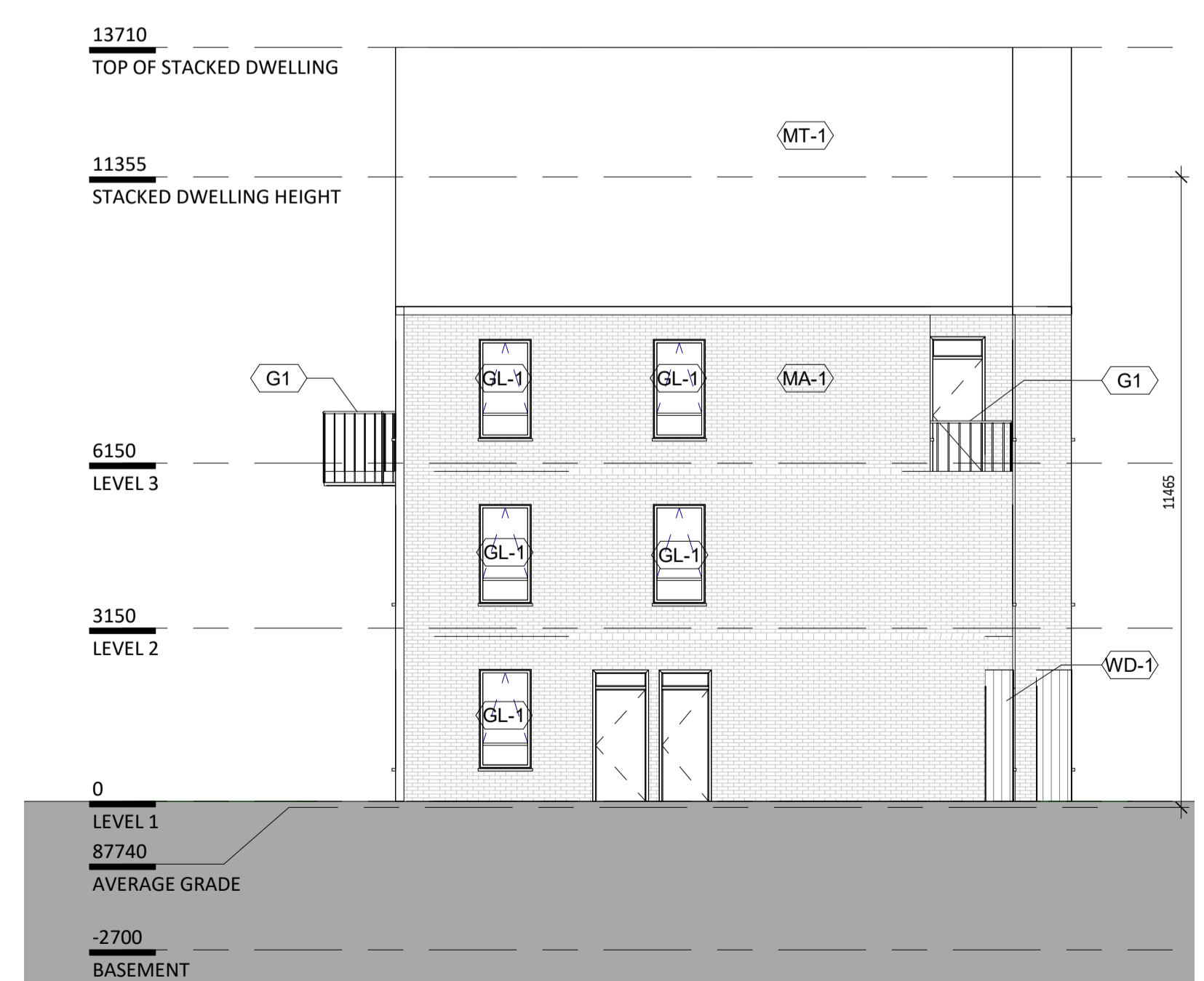
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MT-1	METAL ROOF
GL-1	CLEAR GLAZING
GL-2	TRANSLUCENT GLAZING
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3 BLOCK 7 - SOUTH ELEVATION
1:100



4 BLOCK 7 - WEST ELEVATION
1:100

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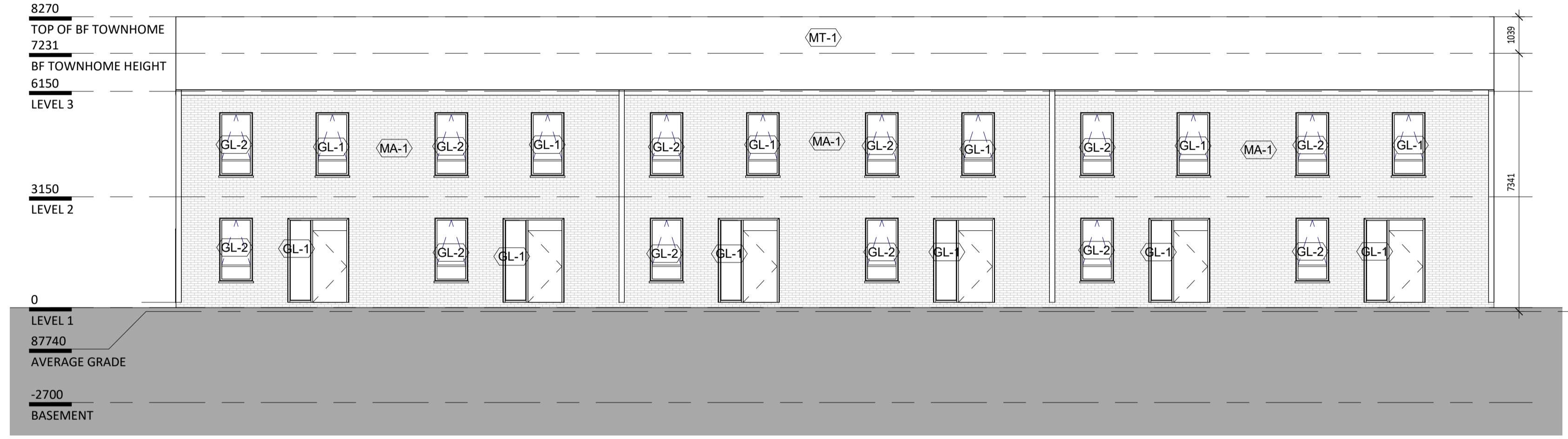
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BLOCK 7 - ELEVATIONS

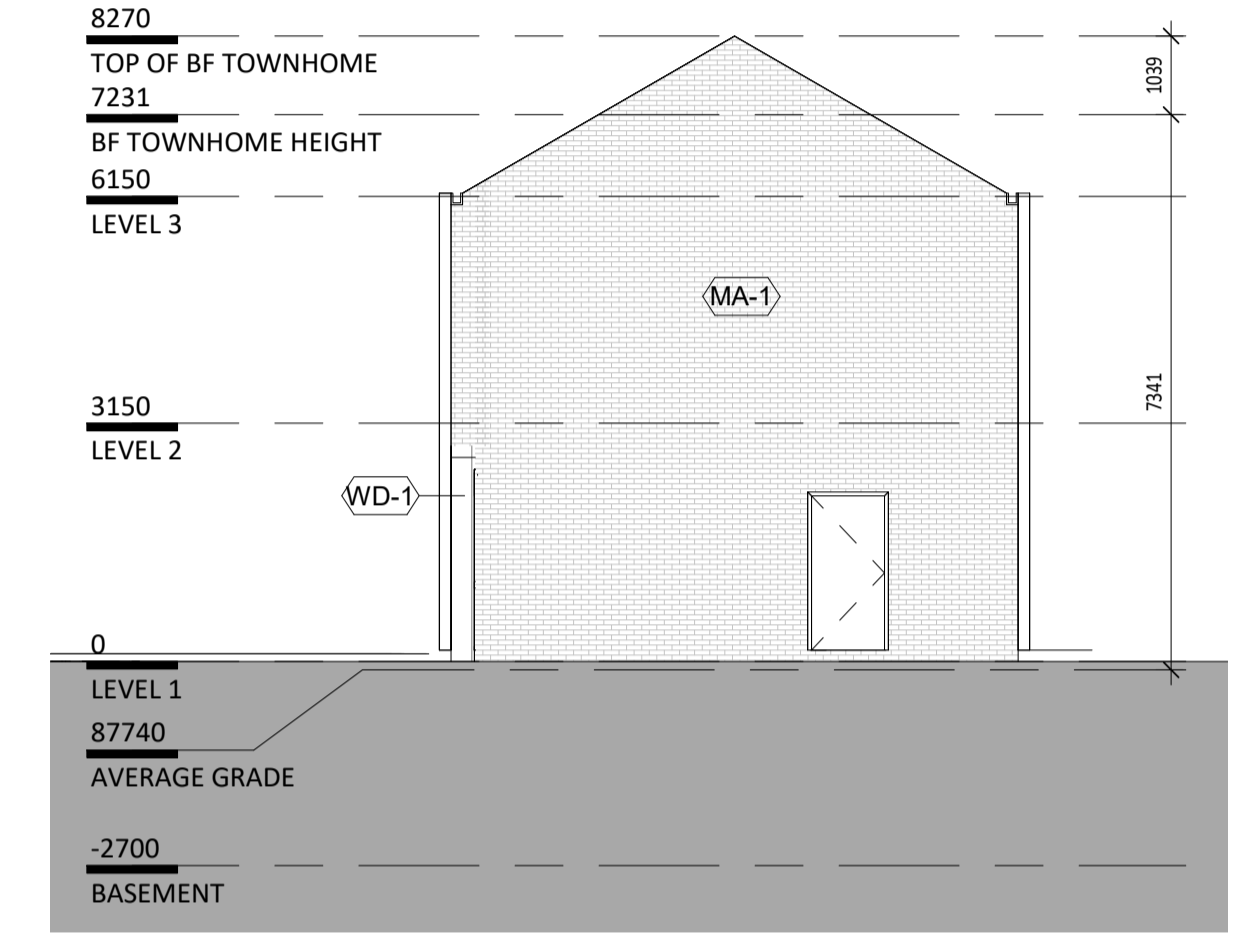
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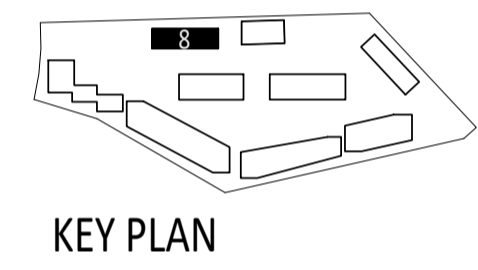
LEGEND	
MA-1	MASONRY
WD-1	WOOD FINISH
MT-1	METAL ROOF
GL-1	CLEAR GLAZING
GL-2	TRANSLUCENT GLAZING
GL	PAINTED METAL BALCONY PICKET GUARD RAIL



1 BLOCK 8 - NORTH ELEVATION
1:100



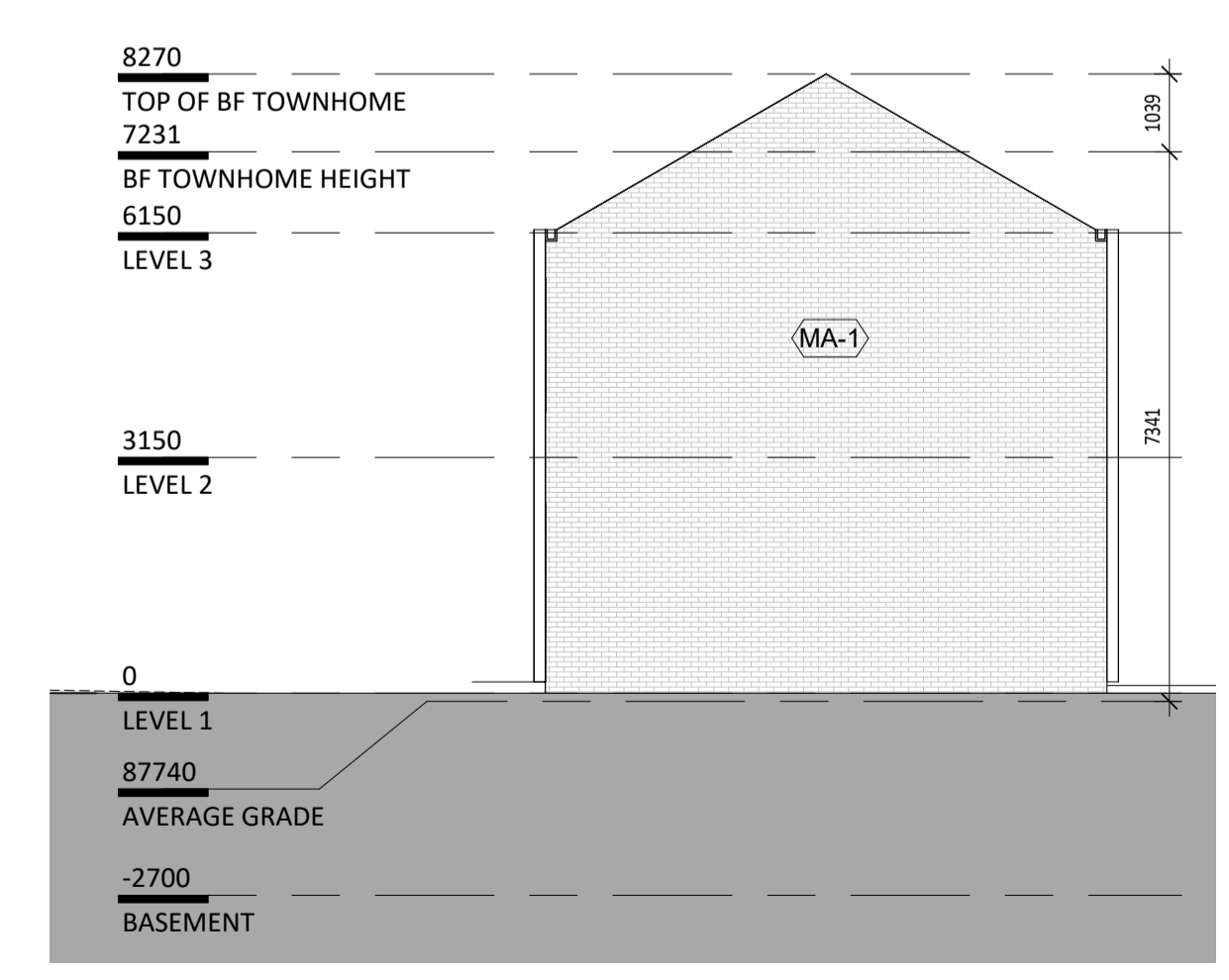
2 BLOCK 8 - EAST ELEVATION
1:100



Rev.	Date	Issued
2	10/25/22	ISSUED FOR 2BA/3PA
1	12/15/21	ISSUED FOR 2BA/3PA



3 BLOCK 8 - SOUTH ELEVATION
1:100



4 BLOCK 8 - WEST ELEVATION
1:100

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Queenswood United Church

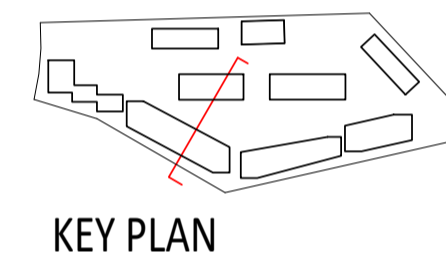
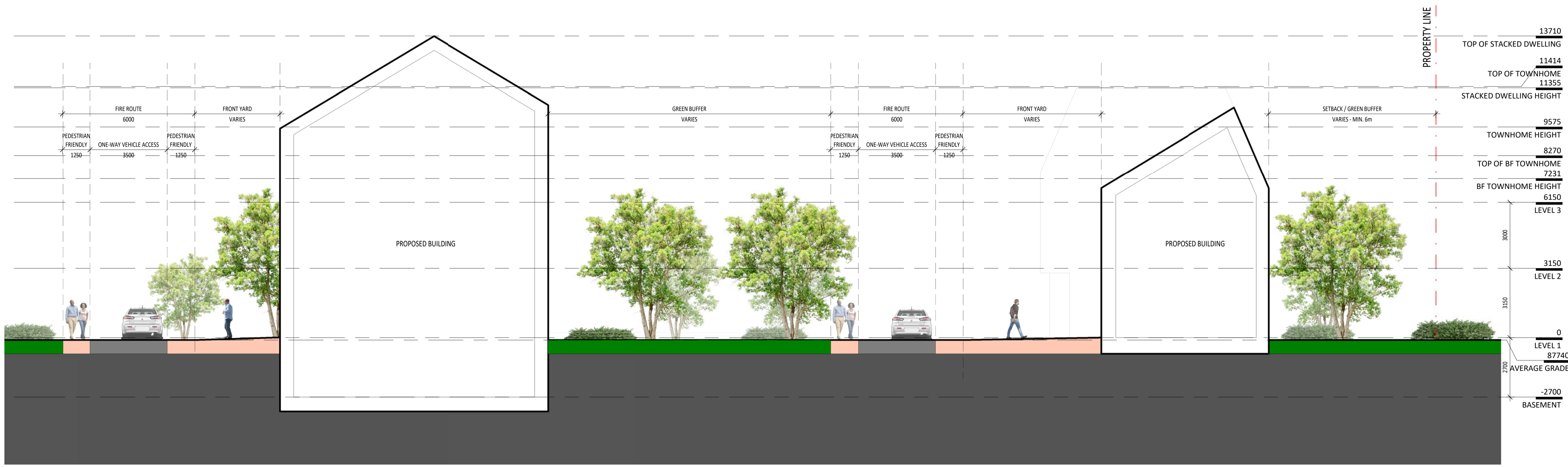
360 Kennedy Lane East, Ottawa Ontario

Project No. 2103
 Scale As indicated
 Plot Date 10/25/22

BLOCK 8 - ELEVATIONS

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- GENERAL NOTES:**
- Drawings are not to be scaled. Contractor will verify all existing conditions and dimensions required to perform the Work and will report any discrepancies with the Contract Documents to the Architect before commencing work.
 - The Architectural Drawings are to be read in conjunction with all other Contract Documents including the Project Manuals and the Structural, Mechanical and Electrical Drawings. In cases of difference between the Consultant's documents with respect to the quantity, sizes or scope of work, the greater shall apply.
 - Positions of exposed or finished Mechanical or Electrical Devices, fittings and fixtures are indicated on the Architectural Drawings. Locations shown on the Architectural Drawings shall govern over Mechanical and Electrical Drawings. Mechanical and Electrical items not clearly located will be located as directed by the Architect.
 - Dimensions indicated are taken between the faces of finished surfaces unless otherwise noted.
 - The architect has not been retained for supervision of construction and assumes no responsibility for means, methods and techniques of construction.
 - These documents are not to be used for construction unless specifically noted for such purpose.

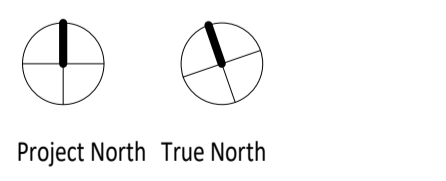


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2	10/25/22	RE-ISSUED FOR IBA/SPA

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Project No. 2103
 Scale 1 : 100
 Plot Date 10/25/22

SITE SECTION