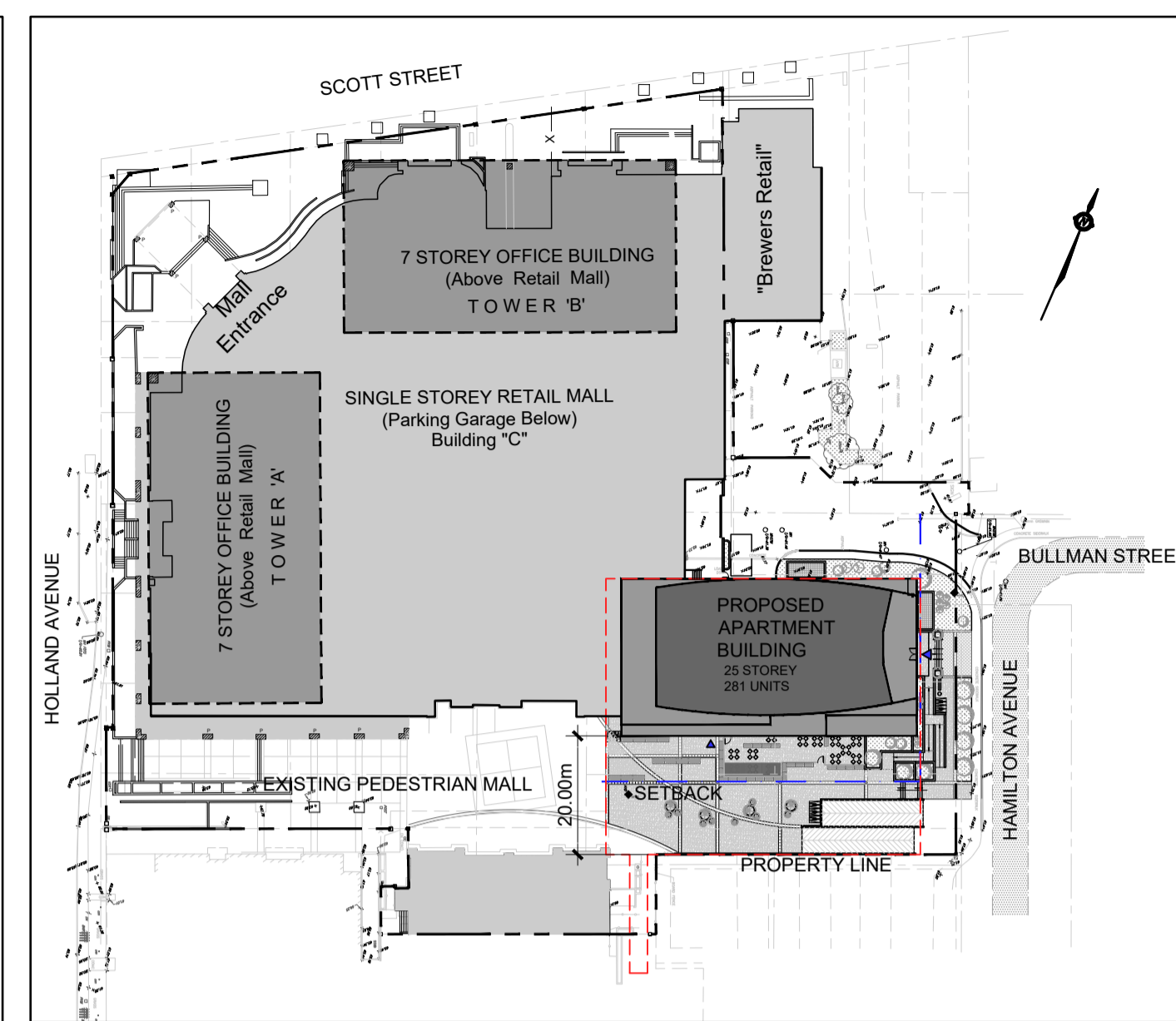


1 SITE PLAN
A-001 SCALE 1:300



KEY PLAN

SURVEY INFORMATION TAKEN FROM:
TOPOGRAPHIC PLAN OF SURVEY OF SOUTHERLY AND PART OF THE EASTERLY BOUNDARIES OF PIN 04034-0192 BEING PART OF WESTERLY LIMIT OF HAMILTON AVENUE AND PART OF LOTS 1300, 1313, 1482 AND 1507, AND PART OF HINTON AVENUE (CLOSED BY JUDGES ORDER CR158315) REGISTERED PLAN 157 CITY OF OTTAWA

SURVEYOR'S CERTIFICATE

- I CERTIFY THAT:
- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
 - THE SURVEY WAS COMPLETED ON THE 8th DAY OF MAY, 2020.

STANTEC GEOMATICS Ltd
400-1331 Clyde Ave. Ottawa, Ontario, K2C 3G4
Tel.: (613) 722-4420
www.stantec.com

PROJECT INFORMATION:

BUILDING CLASSIFICATION:
THE BUILDING IS CLASSIFIED AND DESIGN TO CONFORM TO THE ONTARIO BUILDING CODE 2017 (CURRENT EDITION) PART 3

OCCUPANCY:
GROUP C, SPRINKLERED, 25 STOREY (3.2.2.42)

BUILDING STATISTICS:
BUILDING AREA (FOOTPRINT): ±1270 m²
GROSS AREA BY OBC.: 22046 m²
NUMBER OF STOREYS ABOVE GRADE: 25
NUMBER OF STOREYS BELOW GRADE: 2
BUILDING SPRINKLERED: YES
OF STREET ACCESS ROUTES: 1
CONSTRUCTION TYPE: NON-COMB.
FLOOR ASSEMBLY & F.R.R.: 2 HOURS

ZONING INFORMATION

NOTE: ALL ZONING DEFINITIONS AND REQUIREMENTS AS PER CITY OF OTTAWA ZONING BY-LAW 2008-250

ZONING MECHANISM	REQUIRED	PROVIDED
DEFINITION	MC12 [2148] F(3.0) S99, 100 MIXED-USE CENTRE ZONE	APARTMENT
MIN. LOT WIDTH	NO	
MIN. LOT AREA	NO	±15507 m ²
MIN. SOUTHERLY YARD SETBACK	12.3 m	20.0 m
ALL OTHER YARD SETBACK	6 m	EAST: ±6.60 m EXISTING NORTH: ±16.22 m
MAX. BUILDING HEIGHT	140 m ABOVE SEA LEVEL ±77.05 m ABOVE EXISTING PEDESTRIAN MALL	25 STOREY, 77.05 m ABOVE EXISTING PEDESTRIAN MALL 140 m ABOVE SEA LEVEL
MAX. FLOOR SPACE INDEX	3	2.48
PARKING REQUIREMENTS AREA Z:	NO REQUIRED 30 VISITOR PARKING	30 VISITOR PARKING
LOADING SPACE		2 EXISTING, 1 PROPOSED
BICYCLE PARKING SPACE	141 (0.5 / UNIT)	281 (1 / UNIT)
BUILDING FOOTPRINT (PROJECTION)	EXISTING	±8640 m ²
	PROPOSED	1282 m ²
	TOTAL	±9922 m ²
GROSS FLOOR AREA	EXISTING	±21530 m ²
	PROPOSED	16877 m ²
	TOTAL	±38407 m ²
AMENITIES (281 UNITS)	COMMON	843 m ² (3 m ² / unit)
	TOTAL	878 m ² (3.12 m ² / unit)
PROPOSED GROSS FLOOR AREA (ABOVE GRADE)	1686 m ² (6 m ² / unit)	2341 m ² (8.33 m ² / unit)
		16877 m ²



LEGEND

- PROPERTY LINE
- YARD SETBACK
- SCHEDULE 100 BLOCK 'D'
- RETAINING WALL
- NEW CURB
- DEPRESSED CURB
- PROPOSED BUILDING (TOWER)
- PROPOSED BUILDING (PODIUM)
- EXISTING BUILDING
- FIRE ROUTE
- LANDSCAPED AREA REFER TO LANDSCAPE DWG.
- ENTRANCE
- BIKE RACK
- LIGHT STAND
- FIRE HYDRANT
- FIRE DEPARTMENT CONNECTION

no.	revision	date
3	ISSUED FOR SITE PLAN APPLICATION	14 Jan. 2022
2	REISSUED FOR ZONING AMENDMENT	17 Sept. 2021
1	ISSUED FOR ZONING AMENDMENT	30 July 2020

N45 ARCHITECTURE INC.
71 Bank Street, 7th Floor - Ottawa, Ontario, K1P 5N2
tel. 613.224.0095 fax 613.224.9811

project
HOLLAND CROSS PHASE 3 RESIDENTIAL

HOLLAND AVE, OTTAWA, ON.

construction north seal

drawing title
SITE PLAN

scale AS SHOWN	drawn by J. J.
date JUNE 2020	checked by R.M.
project number 20-540	drawing number A-001
CONTRACTOR TO VERIFY ALL DIMENSIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE WORK COMMENCES. DO NOT SCALE DRAWINGS.	
	revision