

**DRAWING NOTES**

- 1 PROPERTY LINE
- 2 NEW ILLUMINATED GROUND SIGN
- 3 OUTLINE OF EXISTING BUILDING FOOTPRINT
- 4 BUILDING SHOWROOM ENTRANCE
- 5 EXISTING CHAINLINK FENCE TO REMAIN
- 6 TWO WAY PRIVATE APPROACH
- 7 TYPICAL PARKING SPACE 2800m x 5200m
- 8 ACCESSIBLE PARKING SPACE: 3800m x 5200m w/ PAINTED SPACE OF ACCESS & POST-MOUNTED SIGN TO COMPLY WITH OMA BODS. REFER TO SPEC. FOR PAINTING.
- 9 PAINT LINE, TYPICAL
- 10 EXISTING CONCRETE SIDEWALK, TO REMAIN.
- 11 EXISTING CONCRETE CURB, TO REMAIN.
- 12 EXISTING CONCRETE DEPRESSED CURB, TO REMAIN.
- 13 EXISTING ASPHALT PAVING, TO REMAIN.
- 14 EXISTING LANDSCAPE ISLAND, TO REMAIN.
- 15 EXISTING LANDSCAPE BUFFER, TO REMAIN.
- 16 EXISTING LANDSCAPED AREA, TO REMAIN.
- 17 EXISTING EXTERIOR LIGHT STANDARD, TO REMAIN.
- 18 EXISTING CUSTOMER PARKING, TO REMAIN.
- 19 EXIST. MOUNTABLE GUTTER CURB TO REMAIN.
- 20 EXIST. HYDRO ELECTRICAL POLE
- 21 EXIST. HYDRO ELECTRICAL LINES
- 22 NEW BOLLARDS
- 23 CONCRETE ISLANDS FLUSH W/ ASPHALT, NO CURB
- 24 LOADING SPACE REQUIRED PARKING
- 25 CUSTOMER AND STAFF
- 26 MENATORY & DISPLAY
- 27 BIKE RACKS
- 28 PARKING ISLANDS PAINTED ON ASPHALT

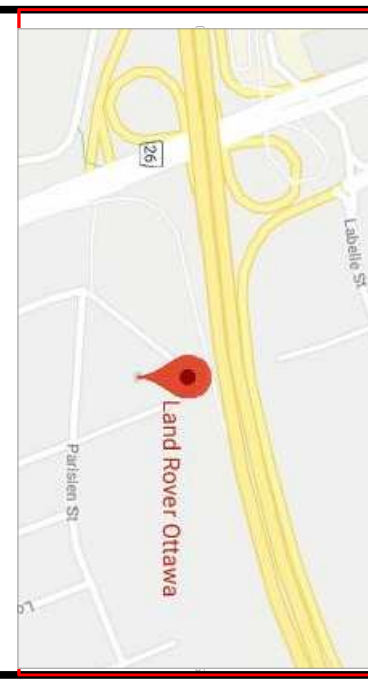
**GENERAL NOTES**

- 1 REFER TO LANDSCAPE/CIVIL ENGINEERING FOR ADDITIONAL DIMENSIONS AND DETAILED INFORMATION.
- 2 TYPICAL PARKING STAIL 2,800 X 5,200 MM

**NOTES**

It is the responsibility of the appropriate contractor to check and verify all dimensions on site and report all errors and/or omissions to the architect. Do not scale drawings. Do not scale drawings. This drawing may not be used for construction until signed by the architect. Copyright reserved.

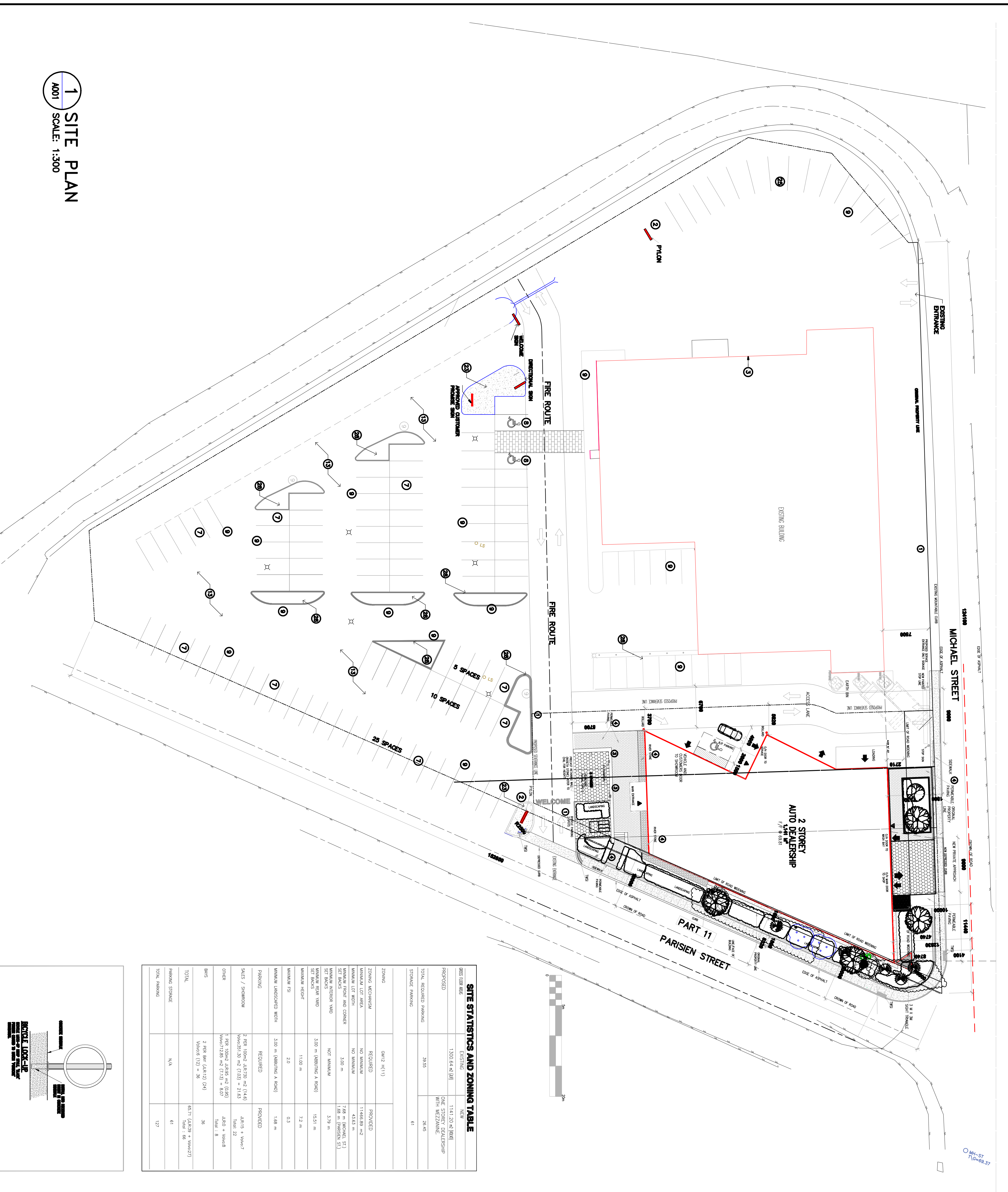
**LOCATION MAP**



**LEGAL DESCRIPTION**

PART OF LOTS 17 AND 18 REGISTERED PLAN Z3 CITY OF OTTAWA  
 SITE PLAN BASED ON ADV SURVEY AND TOPOGRAPHIC SKETCH DATED FEBRUARY 2021.

14	11-28-2022	ISSUED FOR GENERAL REVIEW
14	11-17-2022	ISSUED FOR GENERAL REVIEW
13	07-27-2022	ISSUED FOR CITY REVIEW
12	07-27-2022	ISSUED FOR CITY REVIEW
11	05-08-2022	ISSUED FOR REVIEW
10	03-03-2022	ISSUED FOR REVIEW
9	02-02-2022	ISSUED SITE PLAN CONTROL
8	11-24-2021	ISSUED SITE PLAN CONTROL
7	11-24-2021	ISSUED FOR REVIEW
6	10-14-2021	ISSUED FOR REVIEW
5	05-27-2021	ISSUED FOR REVIEW
4	04-11-2021	ISSUED FOR REVIEW
2	03-1-2021	ISSUED FOR REVIEW
1	11-11-2020	ISSUED FOR REVIEW



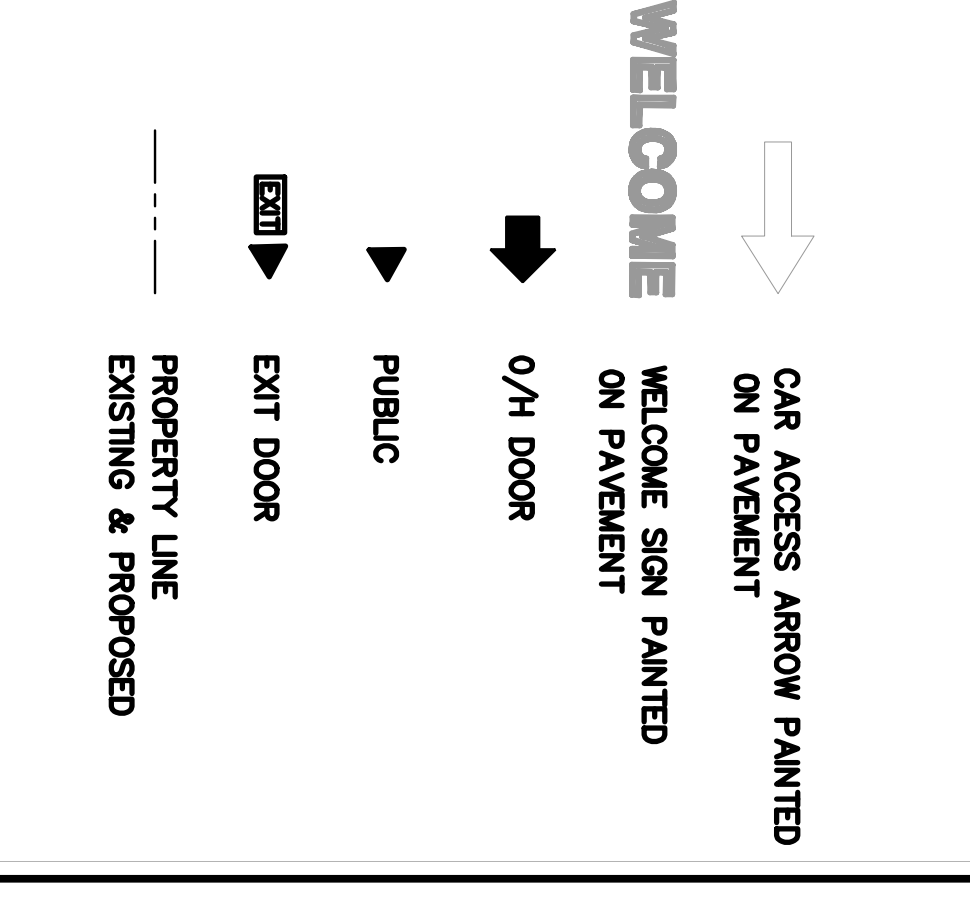
**SITE STATISTICS AND ZONING TABLE**

SIZES SHOW REAS	EXISTING	NEW
PROPOSED	1300.64 SQ. FT.	1141.20 SQ. METERS
TOTAL DEVELOPED PARKING	3150	2845
STORAGE PARKING		61

ZONING	0412 R(11)	PROPOSED
ZONING DESIGNATION	REQUIRED	PROPOSED
MINIMUM LOT AREA	NO MINIMUM	1146.89 m <sup>2</sup>
MINIMUM LOT WIDTH	NO MINIMUM	43.83 m
MINIMUM FRONT AND CORNER SET BACKS	3.00 m	7.68 m (MINIMUM 5.1)
MINIMUM FRONT YARD SET BACKS	NO MINIMUM	3.79 m
MINIMUM REAR YARD SET BACKS	3.00 m (REARING A ROAD)	15.91 m
MINIMUM HEIGHT	11.00 m	7.2 m
MINIMUM LOT COVERAGE WITH VARIATION	2.0	0.3
PARKING	REQUIRED	1.8 m
SIZES / SHOWROOM	2 PER 1000 sq. ft. (250 sq. ft. (230)) = 21.63	4815 + Vehicle 7
OTHER	1 PER 1000 sq. ft. (250 sq. ft. (230)) = 21.63	Table 22
BAYS	2 PER BAY (4312) (24)	4830 + Vehicle 8
TOTAL	Vehicle (12) = 36	36
PARKING STORAGE	N/A	6317 (4830 + Vehicle 7) + 1500 = 6317
TOTAL PARKING		61
		127

**LEGEND**



**1 SITE PLAN**  
 SCALE: 1:300

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**Project:**  
**VOLVO ST. LAURENT**  
**1328 MICHAEL STREET**  
**OTTAWA, ONTARIO**

**SITE PLAN**

Project No: 1811  
 Drawn By: DC  
 Date: OCTOBER 2022  
 Scale: AS SHOWN  
 Drawing No: SP 01

**DRAWING NOTES**

- 1 FEATURE VEHICLE DISPLAY
- 2 NEW VOLVO PYLON SIGN
- 3 BY CHANGING SIGNAGE
- 4 RESTRICTION AND PERMEABLE PAVING

**NOTES**

It is the responsibility of the appropriate contractor to check and verify all dimensions on site and report all errors and/or omissions to the architect. All site work must comply with all pertinent codes and by-laws. Do not scale drawings. This drawing may not be used for construction until signed by the architect. Copyright reserved.

**LOCATION MAP**



**LEGAL DESCRIPTION**

PART OF LOTS 17 AND 18 REGISTERED PLAN 23 CITY OF OTTAWA

SITE PLAN BASED ON AOV SURVEY AND TOPOGRAPHIC SKETCH DATED FEBRUARY 2021.

12	11-28-2022	ISSUED FOR GENERAL REVIEW
11	11-08-2022	ISSUED FOR GENERAL REVIEW
10	07-27-2022	ISSUED FOR CITY REVIEW
9	06-08-2022	ISSUED FOR REVIEW
8	05-26-2022	ISSUED FOR REVIEW
8	03-03-2022	ISSUED FOR REVIEW
7	11-24-2021	ISSUED FOR REVIEW
6	10-14-2021	ISSUED FOR REVIEW
5	05-27-2021	ISSUED FOR REVIEW
4	04-11-2021	ISSUED FOR REVIEW
2	03-1-2021	ISSUED FOR REVIEW
1	11-11-2020	ISSUED FOR REVIEW

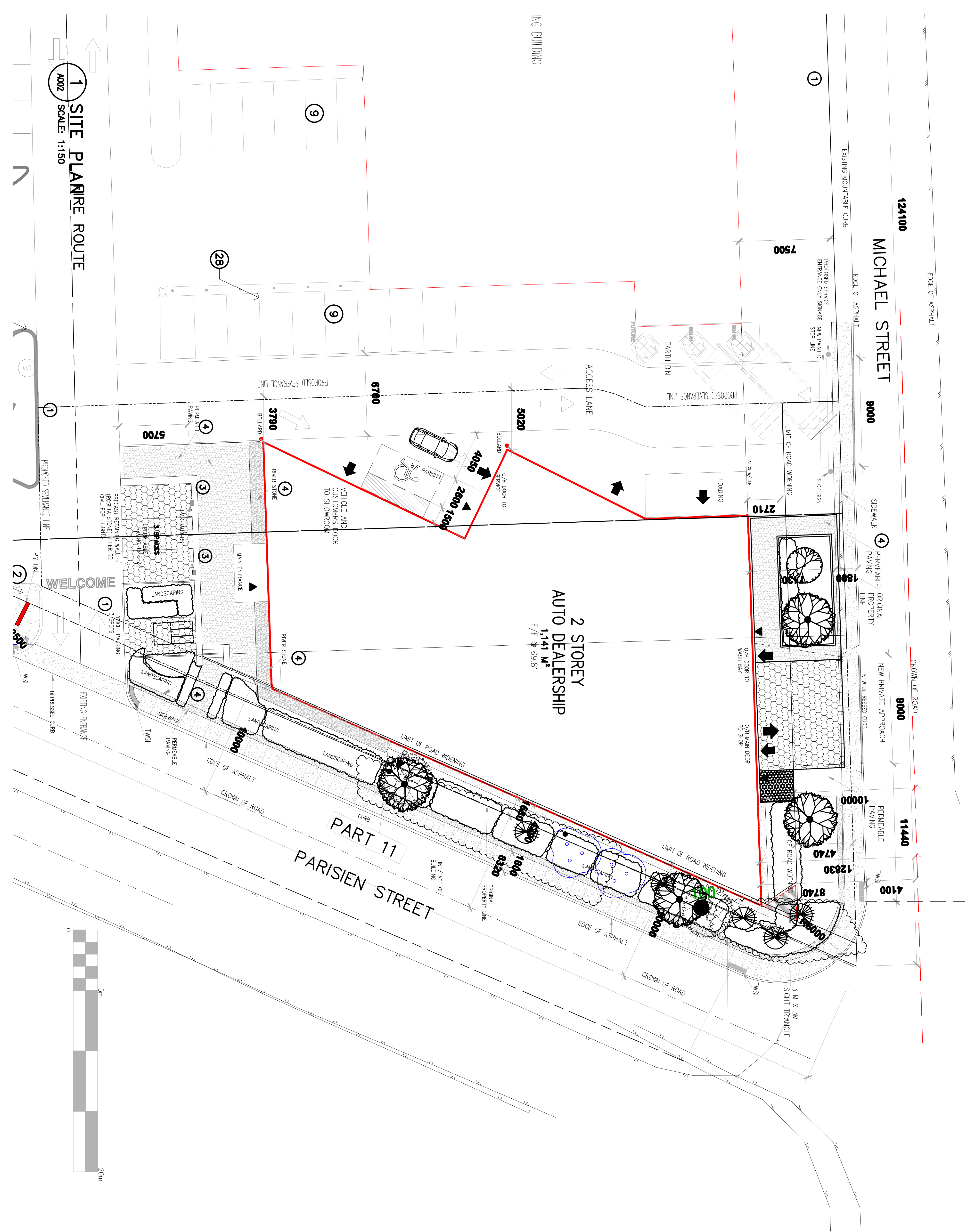
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**VOLVO ST. LAURENT**  
**1328 MICHAEL STREET**  
**OTTAWA, ONTARIO**

**SITE PLAN**

Project No: 1811  
 Drawn By: DC  
 Scale: AS SHOWN  
 Date: JUNE 2022  
 Drawing No: SP 02



**LEGEND**

- Car Access Arrow Painted on Pavement
- Welcome Sign Painted on Pavement
- 0/H Door
- Public
- Exit Door
- Property Line Existing & Proposed

1 SITE PLAN  
 SCALE: 1:150

