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PROJECT TEAM / ÉQUIPE DU PROJET :

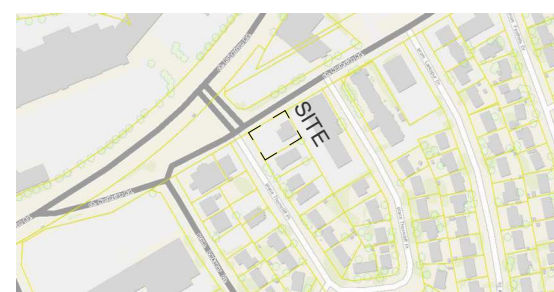
CIVIL
KOLLAARD ASSOCIATES ENGINEERS
210 PRESCOTT STREET, KEMPTVILLE, ON K0J0J

LANDSCAPE
LASHLEY + ASSOCIATES CORPORATION
SUITE 202, 950 GLADSTONE AVENUE

PLANNING
PAUL ROBINSON CONSULTING
100 Palomino Drive, Ottawa, Ontario K2M 1N3

TRANSPORTATION
STANTEC CONSULTING LTD
400 - 1331 CLYDE AVENUE OTTAWA ON K2C 3G4

KEY PLAN / PLAN CLÉ :

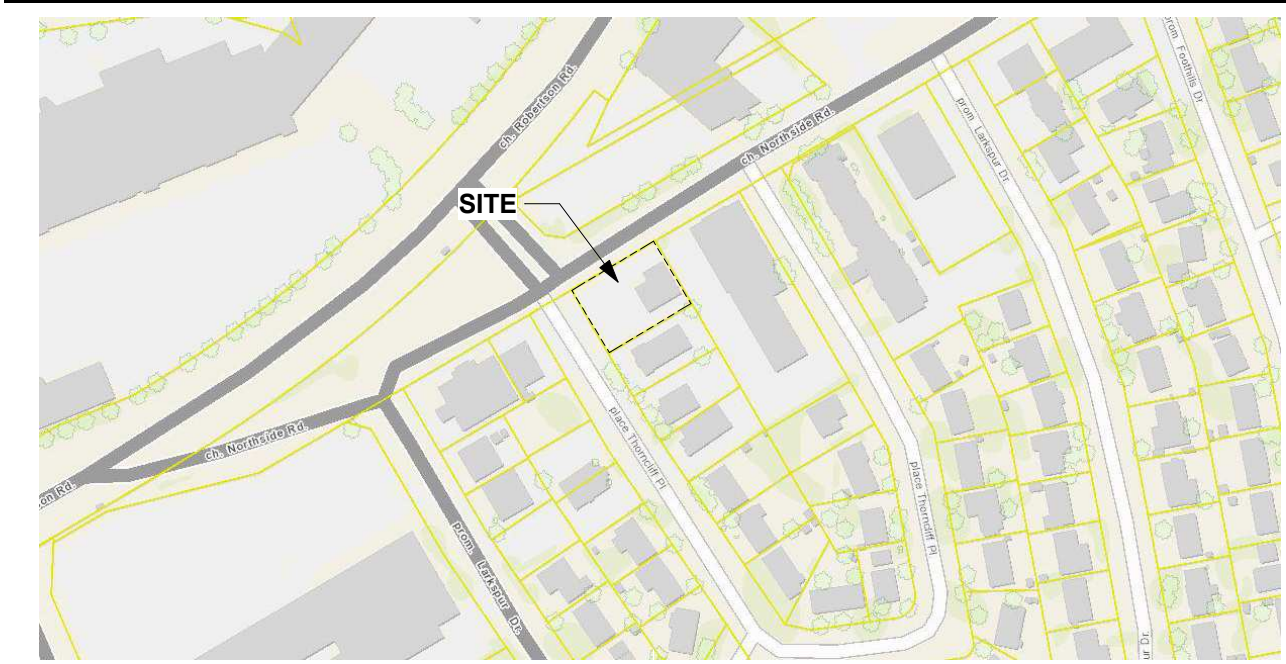


CLIENT :



Tel : 780-436-9015 | www.rohitgroup.com

SITE CONTEXT



LEGEND

SURFACES

- GRASS
- RIVERSTONE
- CONCRETE PAVERS
- POURED CONCRETE
- ASPHALT PAVING
- PROPOSED NEW BUILDING
- EXISTING BUILDING TO REMAIN
- EXISTING BUILDING TO BE DEMOLISHED

LINES

- PROPERTY LINE
- SETBACK LINE
- EXISTING FENCE
- NEW FENCE
- OVERHEAD WIRES

VEGETATION

- TREE: EXISTING TO REMAIN
- TREE: EXISTING TO BE REMOVED
- TREE: NEW PROPOSED
- SHRUB: NEW PROPOSED

SYMBOLS

- DIRECTIONAL ARROWS
- BUILDING ACCESS
- BUILDING EGRESS
- SIAMESE CONNECTION
- UTILITY POLE
- FIRE HYDRANT
- CATCH BASIN / MANHOLE
- DEPRESSED CURB
- LANDSCAPE LIGHT
- LIGHT POLE
- WALL MOUNTED LIGHT
- EXISTING GRADE ELEVATION
- PROPOSED GRADE ELEVATION
- LOT CORNERS

PARKING

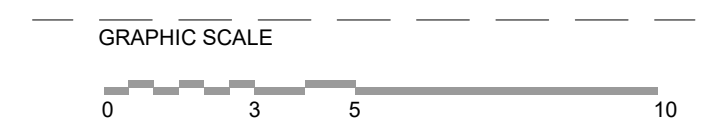
- BIKE PARKING
H: HORIZONTAL 0.6M x 1.8M
V: VERTICAL 0.5M x 1.5M
S: STACKED 0.37M x 1.8M
- CAR PARKING
R: RESIDENTIAL
V: VISITOR
- BF PARKING
R: RESIDENTIAL
V: VISITOR
- BF PARKING (TYPE A)
R: RESIDENTIAL
V: VISITOR
- BF PARKING (TYPE B)
R: RESIDENTIAL
V: VISITOR

GENERAL NOTES

- NOTE-A :**
- ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS AND SPECIFICATIONS, INCLUDING OTHER CONSULTANTS DRAWINGS AND SPECIFICATIONS. ANY DISCREPANCIES BETWEEN DRAWINGS WILL BE REPORTED TO THE PROJECT LEAD IMMEDIATELY FOR CLARIFICATION PRIOR TO COMMENCING ANY CONSTRUCTION.
- NOTE-B :**
- ALL GENERAL SITE INFORMATION AND CONDITIONS HAVE BEEN COMPILED FROM EXISTING PLANS AND SURVEYS.
- NOTE-C :**
- CONTRACTOR IS RESPONSIBLE TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ALL ERRORS AND / OR OMISSIONS TO THE ARCHITECT.
- NOTE-D :**
- REFER TO LANDSCAPE PLAN FOR ALL EXTERIOR LANDSCAPING.
- NOTE-E :**
- DO NOT SCALE DRAWINGS.
- NOTE-F :**
- ALL CONTRACTORS MUST COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS.

SURVEY INFO

TOPOGRAPHIC SURVEY OF :
42 NORTHSIDE ROAD
LOT 378 & LOT 377
NORTHSIDE ROAD
REGISTERED PLAN NO.403318
CITY OF OTTAWA
ADV - 2021



PROJECT INFORMATION

42 NORTHSIDE ROAD
CURRENT ZONING: OMS H(18.5)
SITE AREA: 1233.62 m²
PROPOSED USE: RESIDENTIAL - 51 UNITS
BUILDING AREA: 886.70 m²

ZONING SUMMARY

	REQUIRED	PROPOSED
LOT AREA	0.00 m ²	1233.62 m ²
LOT WIDTH	0.00 m	40.52 m
MIN. LOT WIDTH	0.00 m	0.00 m
MAX. BUILDING HEIGHT	13.00 m	16.25 m
MAX. PARAPET HEIGHT	0.30 m	0.30 m

SET BACKS

	REQUIRED	PROPOSED
- FRONT YARD	3.00 m (min.) 0.00 m (max.)	3.00 m (min.) 0.00 m (max.)
- CORNER SIDE YARD	3.00 m (min.) 0.00 m (max.)	3.00 m (min.) 0.00 m (max.)
- INTERIOR SIDE YARD	3.00 m (min.) 0.00 m (max.)	3.00 m (min.) 0.00 m (max.)
- REAR YARD	7.50 m (min.) 0.00 m (max.)	1.50 m (min.) 0.00 m (max.)
- MAX. FSI	2	2.62

MIN LANDSCAPED REQ

	REQUIRED	PROPOSED
MIN LANDSCAPED REQ	3.00 m	2.00 m

VEHICULAR PARKING

	REQUIRED	PROPOSED
MIN RES. PARKING SPACES	55	10
MIN VISITOR PARKING SPACES	10	10
MIN ACCESSIBLE PRKG SPACES	1	1
TOTAL PARKING SPACES	65	59

WASTE MANAGEMENT CONTAINERS

	REQUIRED	PROPOSED
MIN PARKING SPACES	26	69

AMENITY AREA

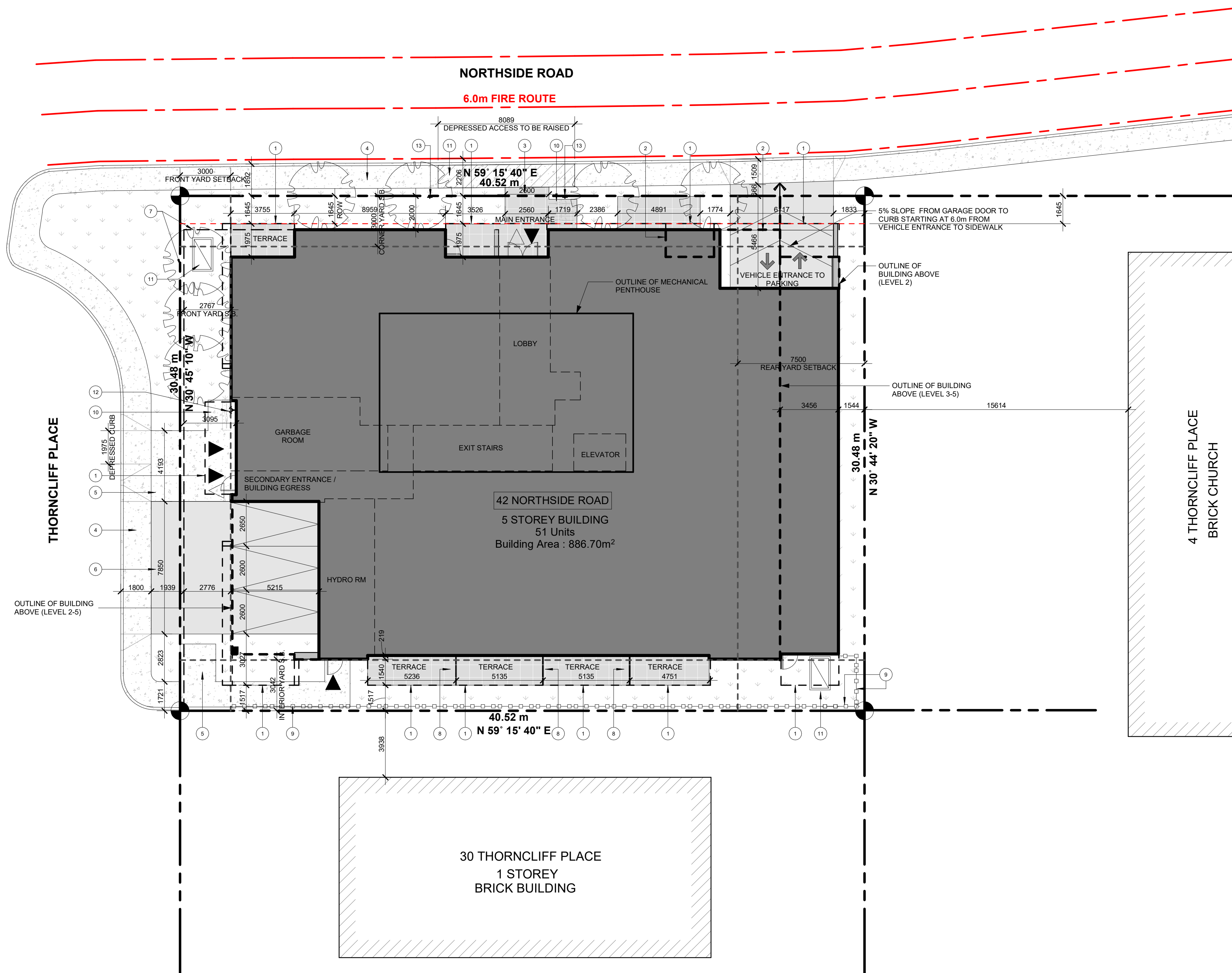
	REQUIRED	PROPOSED
PRIVATE (balconies)	153.00 m ²	415.02m ²
COMMUNAL INT.	153.00 m ²	127.18m ²
COMMUNAL AT GRADE		0 m ²

BUILDING SUMMARY

	UNITS	GFA - OBC	GFA - CITY
BASEMENT P2	0	1096.07 m ²	0.00 m ²
BASEMENT P1	0	1081.39 m ²	0.00 m ²
LEVEL 1	0	800.73 m ²	349.69 m ²
LEVEL 2	0	860.28 m ²	780.85 m ²
LEVEL 3	0	779.36 m ²	702.16 m ²
LEVEL 4	0	779.36 m ²	702.16 m ²
LEVEL 5	0	779.36 m ²	702.16 m ²
ROOF	0	0.00 m ²	0.00 m ²

KEYNOTE DESCRIPTIONS

- 1 BALCONY ABOVE
- 2 OUTLINE OF BUILDING ABOVE(LEVEL 2)
- 3 NEW STONE PATHWAY
- 4 EXISTING CONCRETE SIDEWALK
- 5 NEW CONCRETE PATHWAY
- 6 NEW ASPHALT PATHWAY
- 7 UNDERGROUND P1-P2 PARKING OUTLINE
- 8 PRIVACY SCREEN
- 9 1.8m PRIVACY FENCE
- 10 3x HORIZONTAL BICYCLE SPACES
- 11 UNDERGROUND PARKING EXHAUST / INTAKE
- 12 SIAMESE CONNECTION
- 13 PROPOSED FIRE ROUTE SIGN LOCATION



1 PROPOSED SITE PLAN
1:150

42 Northside Road

DRAWING NAME / NOM DU DESSIN :

SITE PLAN

DRAWING INFORMATION / INFORMATION DU DESSIN :

PROJECT NO. / NO. DE PROJET : **21087**

DATE : **22-08-20**

DRAWN BY / DESSINÉ PAR : **JK/CK**

REVIEWED BY / VÉRIFIÉ PAR : **ES/ER**

SCALE / ÉCHELLE : **As indicated**

PROJECT PHASE / PHASE DU PROJET : **4**

DWG NO. / NO. DESSIN : **A050**

REVISION NO. / NO. DE RÉVISION : **1.4**