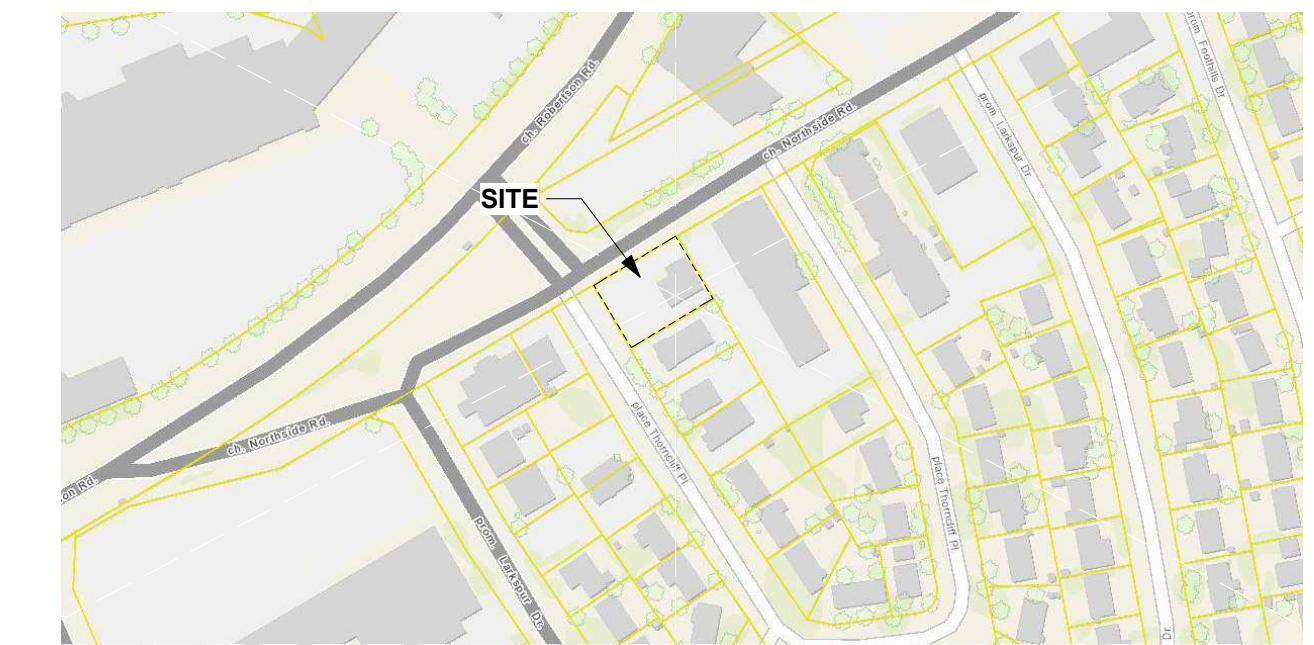


1 PROPOSED SITE PLAN  
1:150

SITE CONTEXT

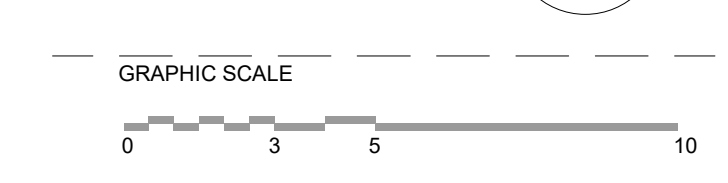


LEGEND

- SURFACES**
- GRASS
  - RIVERSTONE
  - CONCRETE PAVERS
  - POURED CONCRETE
  - ASPHALT PAVING
  - PROPOSED NEW BUILDING
  - EXISTING BUILDING TO REMAIN
  - EXISTING BUILDING TO BE DEMOLISHED
- LINES**
- PROPERTY LINE
  - SETBACK LINE
  - EXISTING FENCE
  - NEW FENCE
  - OVERHEAD WIRES
- VEGETATION**
- TREE: EXISTING TO REMAIN
  - TREE: EXISTING TO BE REMOVED
  - TREE: NEW PROPOSED
  - SHRUB: NEW PROPOSED
- SYMBOLS**
- DIRECTIONAL ARROWS
  - BUILDING ACCESS
  - BUILDING EGRESS
  - SIAMESE CONNECTION
  - UTILITY POLE
  - FIRE HYDRANT
  - CATCH BASIN / MANHOLE
  - DEPRESSED CURB
  - LANDSCAPE LIGHT
  - LIGHT POLE
  - WALL MOUNTED LIGHT
  - EXISTING GRADE ELEVATION
  - PROPOSED GRADE ELEVATION
  - LOT CORNERS
- PARKING**
- BIKE PARKING  
H: HORIZONTAL 0.6M x 1.8M  
V: VERTICAL 0.5M x 1.5M  
S: STACKED 0.37M x 1.8M
  - CAR PARKING  
R: RESIDENTIAL  
V: VISITOR
  - BF PARKING  
R: RESIDENTIAL  
V: VISITOR
  - BF PARKING (TYPE A)  
R: RESIDENTIAL  
V: VISITOR
  - BF PARKING (TYPE B)  
R: RESIDENTIAL  
V: VISITOR

GENERAL NOTES

- NOTE-A:**
- ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS AND SPECIFICATIONS, INCLUDING OTHER CONSULTANTS DRAWINGS AND SPECIFICATIONS. ANY DISCREPANCIES BETWEEN DRAWINGS WILL BE REPORTED TO THE PROJECT LEAD IMMEDIATELY FOR CLARIFICATION PRIOR TO COMMENCING ANY CONSTRUCTION.
- NOTE-B:**
- ALL GENERAL SITE INFORMATION AND CONDITIONS HAVE BEEN COMPILED FROM EXISTING PLANS AND SURVEYS.
- NOTE-C:**
- CONTRACTOR IS RESPONSIBLE TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ALL ERRORS AND / OR OMISSIONS TO THE ARCHITECT.
- NOTE-D:**
- REFER TO LANDSCAPE PLAN FOR ALL EXTERIOR LANDSCAPING.
- NOTE-E:**
- DO NOT SCALE DRAWINGS.
- NOTE-F:**
- ALL CONTRACTORS MUST COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS.
- SURVEY INFO**
- TOPOGRAPHIC SURVEY OF:  
42 NORTHSIDE ROAD
- LOT 378 & LOT 377  
NORTHSIDE ROAD  
REGISTERED PLAN NO.403318  
CITY OF OTTAWA  
AOV - 2021



PROJECT INFORMATION

SITE SUMMARY			
ADDRESS	42 NORTHSIDE ROAD		
CURRENT ZONING	CM3 H(18.5)		
SITE AREA	1233.62 m <sup>2</sup>		
PROPOSED USE	RESIDENTIAL - 51 UNITS		
BUILDING AREA	886.70 m <sup>2</sup>		
ZONING SUMMARY			
LOT AREA	REQUIRED	PROPOSED	
LOT WIDTH	0.00 m	40.52 m	
MIN. LOT WIDTH	0.00 m	0.00 m	
MAX. BUILDING HEIGHT	13.00 m	16.25 m	
MAX. PARAPET HEIGHT	0.30 m	0.30 m	
SET BACKS			
- FRONT YARD	3.00 m (max.)	3.00 m (max.)	
- CORNER SIDE YARD	3.00 m (max.)	2.00 m (max.)	
- INTERIOR SIDE YARD	3.00 m (max.)	3.00 m (max.)	
- REAR YARD	7.50 m (max.)	1.50 m (max.)	
- MAX. FSI	2	2.62	
MIN LANDSCAPED REQ	3.00 m	2.00 m	
VEHICULAR PARKING			
MIN RES. PARKING SPACES	REQUIRED	PROPOSED	
MIN VISITOR PARKING SPACES	55	10	
MIN ACCESSIBLE PRKG SPACES	1	2	
TOTAL PARKING SPACES	65	59	
BICYCLE PARKING			
MIN PARKING SPACES	REQUIRED	PROPOSED	
	26	35	
WASTE MANAGEMENT CONTAINERS			
GARBAGE (3y bins)	REQUIRED	PROPOSED	
FIBER (2y bins)	1	1	
RECYCLING (360L carts)	2	2	
ORGANICS (240L carts)	1	1	
AMENITY AREA			
PRIVATE (balconies)	REQUIRED	PROPOSED	
COMMUNAL INT.	153.00 m <sup>2</sup>	415.02m <sup>2</sup>	
COMMUNAL AT GRADE	0 m <sup>2</sup>	0 m <sup>2</sup>	
BUILDING SUMMARY			
	UNITS	GFA - OBC	GFA - CITY
BASEMENT P2	0	1096.07 m <sup>2</sup>	0.00 m <sup>2</sup>
BASEMENT P1	0	1081.39 m <sup>2</sup>	0.00 m <sup>2</sup>
LEVEL 1	0	800.73 m <sup>2</sup>	349.69 m <sup>2</sup>
LEVEL 2	0	860.28 m <sup>2</sup>	780.85 m <sup>2</sup>
LEVEL 3	0	779.36 m <sup>2</sup>	702.16 m <sup>2</sup>
LEVEL 4	0	779.36 m <sup>2</sup>	702.16 m <sup>2</sup>
LEVEL 5	0	779.36 m <sup>2</sup>	702.16 m <sup>2</sup>
ROOF	0	0.00 m <sup>2</sup>	0.00 m <sup>2</sup>

KEYNOTE DESCRIPTIONS

- BALCONY ABOVE
- OUTLINE OF BUILDING ABOVE(LEVEL 2)
- NEW STONE PATHWAY
- EXISTING CONCRETE SIDEWALK
- NEW CONCRETE PATHWAY
- NEW ASPHALT PATHWAY
- UNDERGROUND P1-P2 PARKING OUTLINE
- PRIVACY SCREEN
- 1.8m PRIVACY FENCE
- 3x HORIZONTAL BICYCLE SPACES
- EXISTING CONCRETE CURB DEPRESSION TO BE REMOVED TO MATCH EXISTING CONTINUOUS CURB AND SIDEWALK
- SIAMESE CONNECTION
- PROPOSED FIRE ROUTE SIGN LOCATION
- UNDERGROUND PARKING EXHAUST / INTAKE

89 Saint-Joseph Boulevard, Gatineau QC J8Y 3W5  
Tel : 819-600-1555



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PROJECT TEAM / EQUIPE DU PROJET :

CIVIL  
KOLLAARD ASSOCIATES ENGINEERS  
210 PRESCOTT STREET, KEMPTVILLE, ON K0J0J

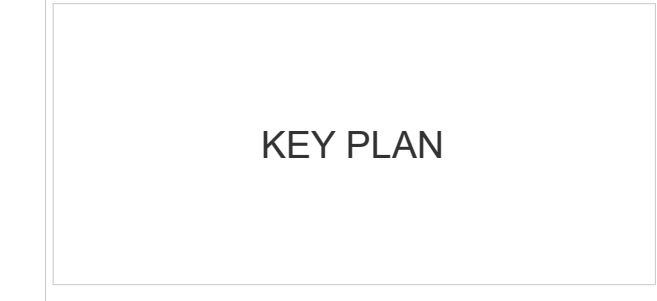
LANDSCAPE  
LASHLEY + ASSOCIATES CORPORATION  
SUITE 202, 950 GLADSTONE AVENUE

PLANNING  
PAUL ROBINSON CONSULTING  
100 Palomino Drive, Ottawa, Ontario K2M 1N3

TRANSPORTATION  
STANTEC CONSULTING LTD  
400 - 1331 CLYDE AVENUE OTTAWA ON K2C 3G4

400 - 1331 CLYDE AVENUE OTTAWA ON K2C 3G4

KEY PLAN / PLAN CLÉ :



CLIENT :



Tel : XXX-XXX-XXXX | www.WEBSITE.com

revision	description	date
1.3	SPC SUB.#3	22-06-24
1.2	66% PACKAGE	22-05-31
1.1	SPC SUB.#2	22-04-25
1.0	SPC SUB.#1	21-12-21

PROJECT NAME / NOME DU PROJET :

**42 Northside Road**

DRAWING NAME / NOM DU DESSIN :

**SITE PLAN**

DRAWING INFORMATION / INFORMATION DU DESSIN :

PROJECT NO. / NO. DE PROJET : **21087**

DATE : **06/17/2022**

DRAWN BY / DESSINÉ PAR : **JK/CK**

REVIEWED BY / VÉRIFIÉ PAR : **ES/IER**

SCALE / ÉCHELLE : **As indicated**

PROJECT PHASE / PHASE DU PROJET : **1.2**

DWG NO. / NO. DESSIN : **A050**

REVISION NO. / NO. DE RÉVISION : **1.3**