

# A CULTURAL HERITAGE IMPACT STATEMENT

109 – 115 DALHOUSIE STREET, OTTAWA



V3 February 2022  
COMMONWEALTH HISTORIC RESOURCE MANAGEMENT  
For: ETHOS Development



COMMONWEALTH



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# 1.0 INTRODUCTION

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## 1.1 Introduction

The City of Ottawa has requested this Cultural Heritage Impact Statement (CHIS). The purpose of the CHIS is to identify the cultural heritage resources and values that may be impacted by the construction of a four-storey infill apartment building at 109 – 115 Dalhousie Street. The proposal includes the retention and rehabilitation of two side-by-side semi-detached houses, both of which have been identified as contributing properties within the context of the Lowertown West Heritage Conservation District (LWHCD). Lowertown West was formally recognized under Part V of the Ontario Heritage Act by the City of Ottawa in 1994 (By-law 192-94).

This CHIS follows the content outline recommended by the City of Ottawa for Cultural Heritage Impact Statements. The following documents were used in the preparation of this report:

Parts IV and V of the Ontario Heritage Act;

Lowertown West Heritage Conservation District Study. 1993;

Summary Heritage Sheets 109-111 Dalhousie Street, and 113-115 Dalhousie Street 1985;

Zoning By-law R4.

Standards and Guidelines for the Conservation of Historic Places in Canada, Second Edition, 2010; and, Preliminary concept site plan and rendered perspective views. ETHOS Development, June 29, 2020.

## 1.2 Owner and Contact Information

**Address:** 109 – 115 Dalhousie Street, Ottawa, Ontario

**Owner:** ETHOS Development

**Contact:** Adam Sarumi, Managing Director

Email: adam@ethosdevelopments.com

w: [www.ethosdevelopments.com](http://www.ethosdevelopments.com)

m: 613-276-5433 | p: 613-212-2226

## 1.3 Site Location, Current Conditions, and Introduction to Development Site

The development site is located in the Byward Market neighbourhood and is bound by Dalhousie Street to the west, Boteler Street to the north, Bolton Street to the south, and King Edward Avenue to the east. The mid-block development site contains two properties that have been identified as contributing properties within the context of the HCD; a two-storey brick clad flat roofed semi-detached constructed in 1906 at 109-111 Dalhousie Street and a one-and-one-half-storey half-storey gable roofed frame building constructed in 1878 at 113-115 Dalhousie Street. On the west side of the street across from the two properties is a Sussex residential high-rise.

Within the development site the proposal is to construct a four-storey infill building in the rear yards of the two properties. The building at 109-111 Dalhousie will be rehabilitated and the gable roofed frame building at 113-115 will be moved off site during construction of the new apartment and positioned adjacent to 109-111 where the front portion will be restored.

Adjacent properties include a two-storey brick clad flat roofed apartment building constructed circa 1912 to the north, and a two and one-half storey wood clad frame building with a gable roof constructed prior to 1870 to the south. The development site is adjacent to the rear yards of six lots, three each on Boteler and Bolton Streets.



Figure 1: Aerial view illustrating the built context within the block and adjacent to the development site. The development site sits on an extra deep lot in the centre of a collection of eight heritage properties. Site arrowed. Source: Geottawa

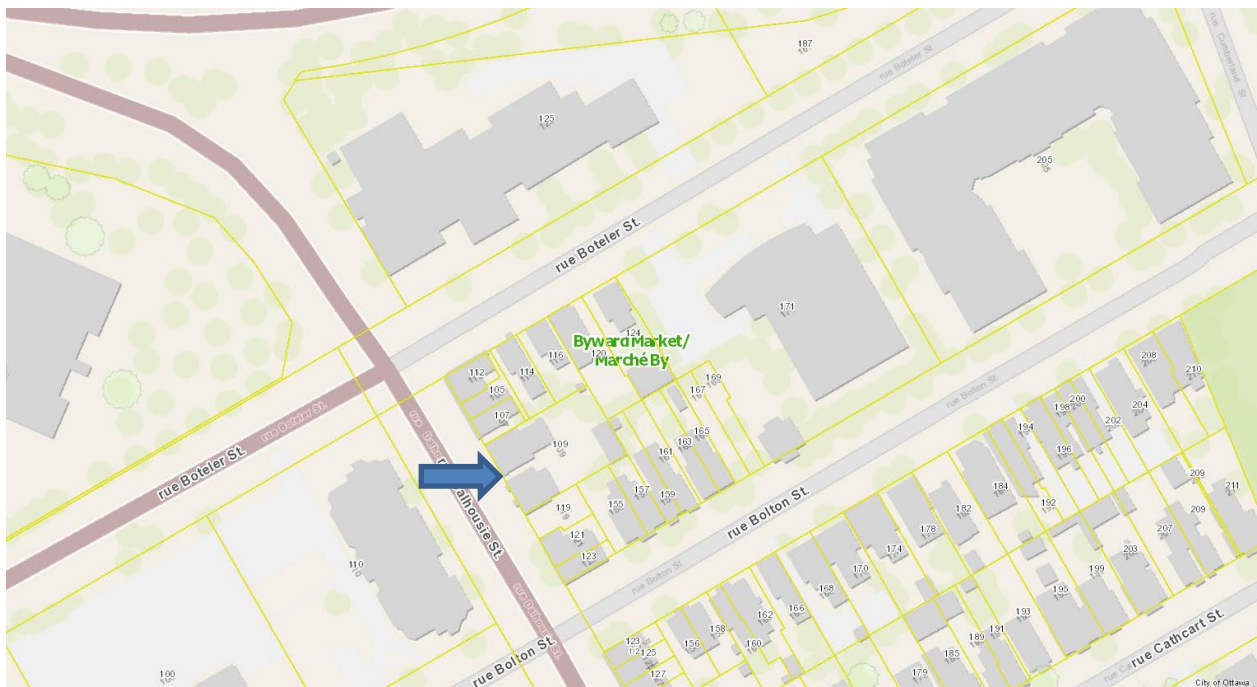


Figure 2: Block plan illustrating the built context surrounding the development site. Note the varying lot depths,

and widths within the block. Site arrowed. Source: Geotown

#### 1.4 Street/Heritage/Neighbourhood Character

The heritage character of the east side of Dalhousie Street between Boetler and Bolton Streets is established by detached side-by-side row houses set close to the property line with minimal front yards covered with hard surfaces. The character of the west side of Dalhousie Street is established by circa 1970 high-rise apartment building.



Figure 3: Street view looking south-east to 109-111 Dalhousie Street circa 1906 (left), 113-115 Dalhousie Street circa 1876 (right centre) and 121-123 Dalhousie Street circa 1870. Source: Google Earth



Figure 4: Street view of 109-111 Dalhousie Street (right) within the development site and the adjacent apartment building to the north (left). Source: Google Earth



Figure 5: Street view of 121-123 Dalhousie Street an early wood frame side-by-side row house constructed prior to 1870. The parking area to the left of the building is associated the building. Source: Google Earth



Figure 6: View looking north on Dalhousie Street at the corner of Bolton Street to the mid-block development site (below the traffic light). Source: Google Earth



Figure 7: View looking south-east from the corner of Boteler Street. The mid-block development site is to the right.

Note the eclectic mix of heritage buildings within the block. Source: Google Earth



Figure 8: View looking south to the development site with 112 (right) 114 (centre) and 116 (left) Boteler. Source: Google Earth



Figure 9: View to the back of the development site from Bolton Street with the gabled dormers of 113-115 Dalhousie Street in view with the brick and vinyl clad property at 109-111 in the centre of the image. Source: Google Earth





Figure 10: Sussex Place is an 11storey apartment tower directly across the street from 109-115 Dalhousie Street. Source Google Earth.

## 1.5 Relevant Information from Council Approved Documents

### **Official Plan**

#### **Dalhousie “Traditional Mainstreet Designation” within Official / Secondary Plan (CDP / Secondary Plan**

### **Section 60 - Heritage Overlay**

The development site is subject to the heritage overlay.

Zoning By-law Residential R4 Zones Changes to be voted on by Council on September 23, 2014.

Relief from Section 60 of the Zoning By-law is sought as part of this application to permit the proposed development, which seeks demolition of a rear portions of each of the existing buildings to the east of the site to permit an addition where the overlay applies. Although the proposed development does not meet provisions of the heritage overlay related to building location, side yard setbacks, and building heights, relief from these provisions is appropriate in accommodating the restoration and conservation of the existing cultural heritage resources.

## 2.0 HERITAGE RESOURCE DESCRIPTION AND HISTORY

### 2.1 Neighbourhood and Development Site History

The development site is located in an area of Lowertown that was developed beginning circa 1870 extending through to circa 1912. The 1.5-storey worker’s cottage at 113-115 Dalhousie Street was constructed circa 1878, and the two-storey brick clad side-by-side at 109-111 Dalhousie Street was constructed circa 1906.

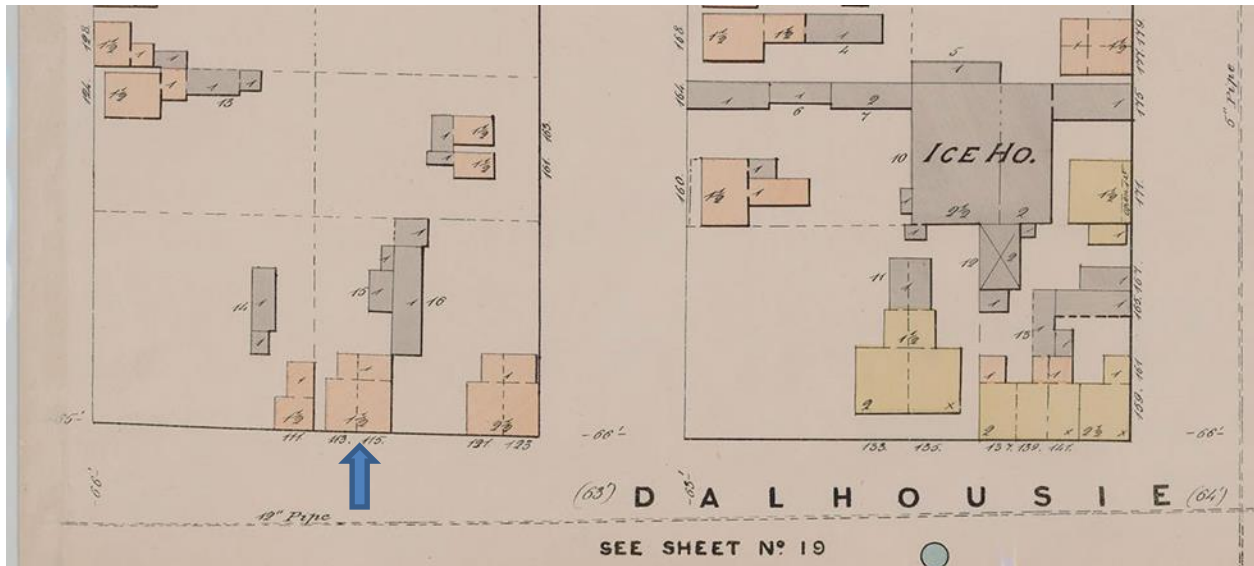


Figure 11: 1878 Fire Insurance Plan Detail Sheet 15. The building shown on the plan at 113-115 is the small worker’s cottage on the site (arrowed). Source: Library and Archives Canada.

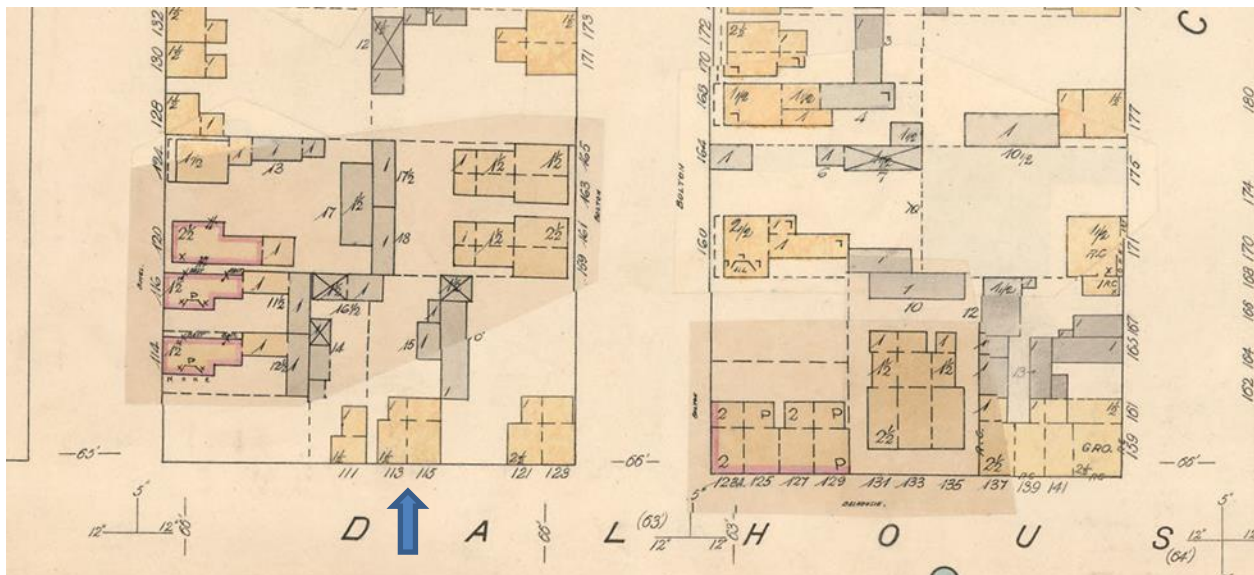


Figure 12: 1901 Fire Insurance Plan Volume 1, Sheet 15 Detail. The building shown on the plan at 113-115 is the small worker’s cottage on the site (arrowed). Source: Library and Archives Canada.

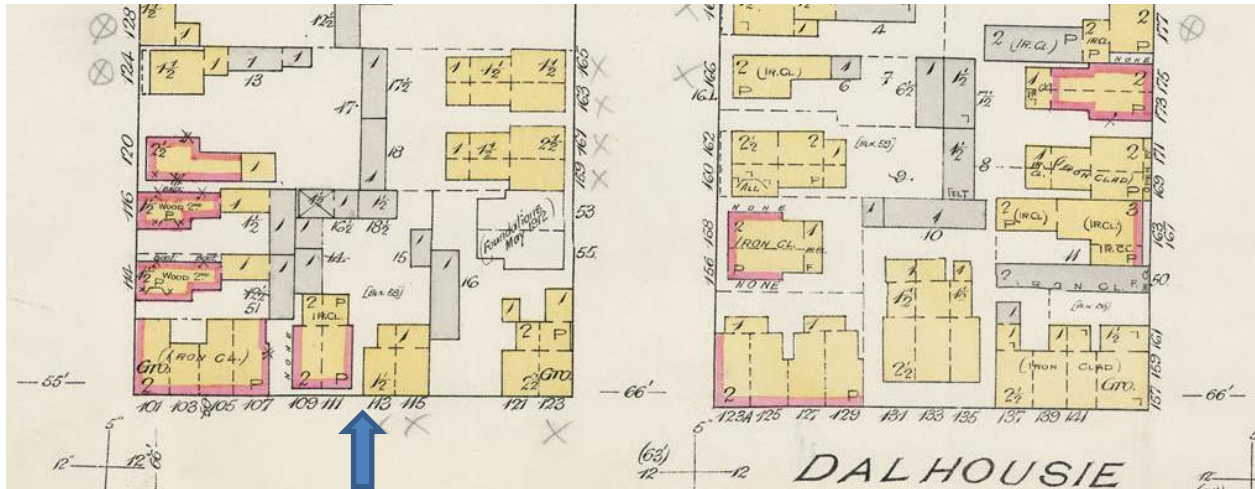


Figure 13: May 1912 Fire Insurance Plan Volume 1, Sheet 15 Detail. The row house shown on the plan at 113-115 Dalhousie Street is the small wood clad workers cottage on the site (arrowed) and the existing brick clad side-by-side row house at 109-111 Dalhousie Street had replaced a wood structure noted on earlier fire insurance plans. been completed. Source: Library and Archives Canada.

## 2.2 Built Heritage

The proposed development will include the rehabilitation of the two semi-detached houses. The two-storey flat roofed brick clad building at 109-111 Dalhousie Street retains its form, and character defining details except for the cornice that has been altered. The exterior brickwork has been painted, and some brick replacement is evident on the west elevation at the foundation level. The existing one-over-one light, single hung wood window assemblies will be replaced with new insulated glass units to match the form and general detailing of the existing, and the doors and transom lights replaced.

Figure 14: Historic photograph (n.d.) of a worker's cottage and a brick clad house in Lowertown. Note the exterior finishes – wood siding and shingles, baseboard at the base of the wall and simple corner board and window and door trim. Note the lack of entrance canopies, the minimal eave overhang, and the single hung multi-pane sash. Note the cornice detailing on the brick building. Source: Library and Archives Canada.



The 1.5-storey wood frame cottage will be rehabilitated. The work will include the removal of the existing vinyl siding and asphalt shingle roof, and the installation of new wood siding, a new wood shingle or standing seam metal roof, and window and door trim. In the absence of any photographs of the building, historic photographs of typical worker's cottage will be used to inform the restoration of exterior finishes and detailing.



Figure 15: Historic photograph (n.d.) of workers cottages in Lowertown. Note the exterior finishes – wood siding and shingles, baseboard at the base of the wall and simple corner board and window and door trim. Note the entrance canopies, the minimal eave overhang, and the single hung multi-pane sash. Source: Newton, M. (1980). *The Search for Heritage in Ottawa's Lower Town*. *Urban History Review / Revue d'Histoire Urbaine*, 9 (2), 21–37. <https://doi.org/10.7202/1019334ar>



Figure 16: View of a restored worker's cottage in Lowertown. Note the metal roof. Source: Historic Places Canada



*Figure 17: Historic photograph of worker's cottages in Lowertown. n.d. The finishes and detailing – wood-siding, roof finishes dormers, windows both doubles hung (left) and casement (right) and simple entrance canopies are typical of the area. Source: Canadian Inventory of Historic Buildings (CIHB)*

## 3.0 STATEMENT OF CULTURAL HERITAGE VALUE

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### 3.1 Statement of Cultural Heritage Value

#### DESCRIPTION OF HISTORIC PLACE

The Lowertown West Heritage Conservation District comprises many blocks of residential and institutional development within Ottawa's central core. The district is immediately north of the Byward Market, south of the Ottawa River and east of the Rideau Canal. Lowertown is one of the earliest settlement areas in the City of Ottawa, with development starting in 1827 and continuing until the beginning of the twentieth century. The dwellings in Lowertown West demonstrate a wide range of architectural types. The richness of the heritage character of Lowertown West is strongly related to the variety of these buildings, their various materials, scale and form, and the layering of additions and alterations, which have occurred over time.

Lowertown West was formally recognized under Part V of the Ontario Heritage Act by the City of Ottawa in 1994 (By-law 192-94).

#### HERITAGE VALUE

Lowertown West is associated with the early settlement of Bytown (later Ottawa) and exhibits a unique architectural character. Lowertown's general form derives from the distribution of land in 1827 when Colonel John By laid out Bytown as an Upper and Lower Town. Streets were principally east-west between the Rideau Canal and the Rideau River, with north-south connectors as needed. This original street grid is primarily intact today, although some of the names have changed to commemorate prominent figures in the development of the area. After the Vesting Act in 1843, land was finally granted with deeds of ownership and institutions gained a greater prominence in Lowertown, most notably the Roman Catholic Church. The ensuing development of Lowertown was largely speculative, driven in part by the coming of the railway in 1854, and by the expansion of the city after the announcement of the choice of the national capital in 1857.

Lowertown experienced another boom period starting in the 1870s, despite a crushing depression that affected its working-class inhabitants. During this period, Sussex drive was built up and the Catholic institutions expanded. The boom period ended abruptly at the outbreak of World War I, and little further development took place until the urban renewal projects starting in the 1960s.

The heritage value of Lowertown West is also derived from its associations with the histories of the working-class Irish and French settlers of Ottawa. Most inhabitants of Lowertown were itinerant labourers, working on the canal in the earliest years, or connected with the squared timber trade. The early population of Lowertown was more than half Irish Catholic, with the remainder being French Canadian. However, toward the end of the 19th century, the French presence in Lowertown grew as the Irish Catholics moved to other parts of the city. While overall ethnic and religious profiles remained

stable in Ottawa, occupational profiles shifted strongly as the Civil Service tripled its employees between 1900 and 1910 and Lowertown quickly evolved from a labourer's neighbourhood to one, which served government employees.

Lowertown West exhibits variety, scale, coherence, sense of place and landmarks within its architectural composition. The age, style, or architectural attractiveness of individual buildings is less important to the urban character than the aggregate urban quality that results. The range of building materials, proportions, setbacks, and profiles varies considerably along each street, but an overall similarity emerges from the diversity that dignifies the older buildings and embraces the newer ones.

Most of the buildings are vernacular in character and cannot be clearly identified stylistically. The richness of the heritage character of Lowertown West is strongly related to the variety of these buildings, their various materials, scale and form, and the layering of additions and alterations, which have occurred over time. The effect is one of generally small-scale buildings, with patterns of lot occupation, building forms and styles that have evolved but do not differ dramatically in urban effect from their historic precedents. These qualities are distinctive to the area, are representative of the earliest phases of settlement, and are a unique part of the city's heritage.

Sources: Lowertown West Heritage Conservation District Study, May 1993, City of Ottawa

#### CHARACTER-DEFINING ELEMENTS

Character defining elements that contribute to the heritage value of the Lowertown West Heritage Conservation District include its:

- large variation of vernacular architectural styles and expressions
- early “workers' cottages,” commonly one-and-a-half or two-and-a-half-storey double houses with central or side chimneys, built using traditional materials and techniques.
- single or double houses of the mid-19th century with front gable, wood verandas and distinct wood decorative elements
- flat roofed structures of the late 19th century, which predated the modern apartment complex and often included wood verandas and carriageways.
- use of various local materials, including wood, brick veneer and grey stone
- primarily low-density residential streets marked with institutional buildings.
- grand scale institutional buildings, in the Gothic Revival and Second Empire styles
- dominant institutional landmarks, most notably those of the Roman Catholic Church
- general form and land distribution that recalls the original survey by Colonel John By for the English Crown in 1827.
- east-west street layout with north-south connectors, as originally planned by Colonel By.
- intact streetscapes built to a human scale.
- layout as the first settlement area in the City of Ottawa.
- features that reflect the original French and Irish working-class settlers of Bytown.

## 4.0 DESCRIPTION OF PROPOSED DEVELOPMENT

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### 4.1 Description of the Proposed Development

The development proposal includes the retention and rehabilitation of the two existing semi-detached houses, and the construction of a four-storey infill apartment building in the rear yard that will accommodate twenty-five units with bicycle parking at the rear. There is no vehicular parking.

#### **Public Realm**

The property is directly across the street from a high-rise tower. The existing historic buildings occupy most of the frontage, and their relationship to the street will be unchanged. The northern semi-detached will be rehabilitated, with active front doors. The cottage will be shifted slightly to the north and abut the brick semi-detached. The design calls for it to be used as amenity space for the new apartment. One of the existing front doors will provide access to the apartments. The other existing front door will open into the amenity space (Figure 21). The remaining frontage at the southern corner of the site allows access to the main accessible entrance to the apartment. This area requires the elimination of a portion of the existing cottage and introduction of masonry tile accent feature.

#### **Building Design**

The building is designed to suit the context and attempts to maintain visual emphasis on the heritage buildings in front. The building is set back from the two existing buildings by approximately 10'. It will be clad in stucco, banding and window trim details, and will be a light topi-grey with a grey mansard type roof on the street facade. The mansard treatment is limited to the east and west facades along both sides the stucco will be continuous to the cornice. Contemporary detailing on the balconies, introduces a non-traditional feature to the front facade. The balconies although not traditionally found in Lowertown are a response to the global pandemic and the importance of access the outdoors during extended periods of lockdown.

The cottage will be removed from the site while the new apartment is under construction. When placed back on site, it will be set next to the brick semi-detached, be adapted as indoor amenity space that flows into the entrance and elevator foyer. The rear portion of the structure will be demolished and replaced with a masonry accent wall. The second-floor structure within the cottage will be removed creating a cathedral ceiling. The entrance doors have been modified to make them accessible entrances. The stone wall although not a traditional feature, is intended to accentuate the glazed entrance doors to the interior.

#### **Massing and Scale**

The development intent is to build a new 4-story apartment in a desirable and transit served area of the city. The zoning supports the 4-storey apartment building on this lot. It will be necessary to apply for an exemption to the Section 60 heritage overlay. Engineering best practice and City policy requires that any new development be designed to manage rainwater, prevent any contribution to flash flooding, and ensure the safety of surrounding properties. Because the city discourages the running of lines under a



building, it is proposed to shift the cottage at 115-17 north, to abut the semi at 109-11. This allows space along the southern lot line to manage stormwater.

In order to meet the intent of the Lowertown conservation guidelines, the proposed massing of the apartment building is setback behind the two existing buildings to reduce its visibility and retain visual emphasis on the historic buildings. The height and massing of the proposed apartment is respectful of the side and rear setbacks and is appropriate in this mixed neighbourhood.

### Heritage

The northern semi-detached is in fair to good condition and will continue to be used as townhouse style units. The entrances to the two units will be maintained. A structural post will be added to support the apartment above, but the location of this post has been designed with minimal impact to the interior layout. The rear portion of this building will be demolished. Repairs to the exterior will be undertaken, as necessary. These include replacement of the original cornice, selective repointing of the brick, which will be either repainted or if feasible the paint removed, the front porch will be repaired with a new railing and skirting, and windows and doors replaced.

The cottage (southern semi-detached) is resting on an eroding foundation and covered in layers of cladding. In order to facilitate construction and provide staging it will be moved off-site in one piece. The rear wings of both buildings and an accessory shed will be demolished. The area it occupied will be used as staging for the construction of the apartment.

Following off-site conservation the cottage will be relocated to the north of its present position. When the cottage is returned to the site it will be placed on a new foundation located adjacent to the brick semi. It will be reclad in wood lapped siding and wood trim; windows will be replaced, and the two entrances made universally accessible with traditional looking doors. This will involve lowering the sill and widening the door frames to meet accessibility code. As per the existing relationship, the canopies over the front doors will be reinstated. The canopies and the main eave will overhang the front lot line. A traditional colour scheme is proposed for the exterior siding and trim. The roof will be re-shingled with cedar and the two front doors replace. The design calls for creating a notch into the south façade and creating an alcove entrance.



Figure 18 & 19: Rendered perspective views of the development site with the two retained row houses and the infill development behind. Source: Rosaline J. Hill Architects Inc. 2021.

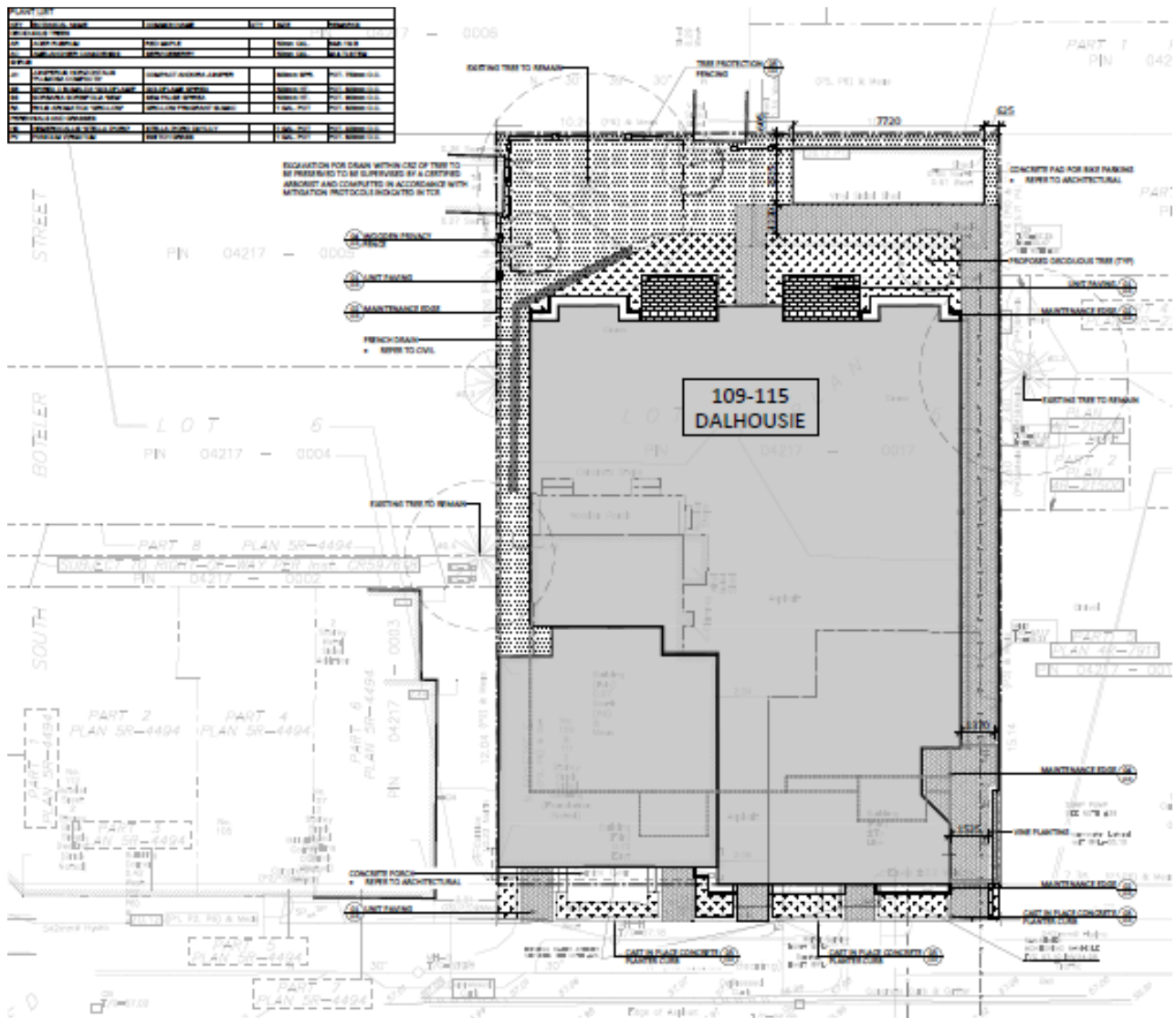


Figure 20: Preliminary site plan of the proposed development. Source: CVS Landscape Architects 2022.



Figure 21: Plan views of the proposed development including the two retained row houses and the infill development behind. The 25 units are colour coded to indicate number of bedrooms. Source: Rosaline Hill Architects Inc. 2022



Figure 22: Elevations of the development. Note the modified mansard treatment of the 4<sup>th</sup> floor. Source: Rosaline Hill Architects Inc. 2022



Figure 23: Street view with the two historic buildings shifted next to each other. The mansard treatment of the front façade helps to reduce the visual impact. Source Roseline Hill Architects 2022.



Figure 24: Artists rendering of the Interior perspective suggesting the treatment of the cottage with the interior opened up and serving as an amenity area for the building.



Figure 25: Plan views of the proposed development including the two retained row houses and the infill development behind. The 25 units are colour coded to indicate number of bedrooms. Source: Rosaline Hill Architects Inc. 2022

#### 4.2 Conservation of the Worker’s Cottage at 115 Dalhousie (Preliminary)

The following is a summary of the site visit conducted on April 7, 2021. Ian Hunter of Commonwealth met with Adam Sarumi, and Rosaline J. Hill on site to inspect the small cottage at 115 Dalhousie Street.

##### General Comments

**Site Drainage:** The small cottage is surrounded by asphalt surfaces that extend to the base of the exterior walls. The asphalt surfacing may have been installed when the pebble dash stucco was applied to the exterior walls. Surface drainage at the north-east corner directs water into the crawl space and deterioration of the wood sill plate is evident.



Figure 26: view of the 113-115 front façade from the 1992 inventory form illustrating the rendered stucco on the south elevation and the angel stone treatment on the front façade. City of Ottawa inventory form.

**Built Heritage:** The small cottage measures 24’ X 30’ in plan and would appear to be a timber frame structure set on a discontinuous limestone foundation. The perimeter of the foundation was accessible in four areas on the exterior; south-east corner in two areas where the limestone foundation walls were

visible; west elevation to the side of the front entrance and the north-east corner where no foundations were evident.

The building has a crawl space that is not accessible from the interior. The interior of the crawl space was visible from the hole adjacent to the entrance. There appeared to be a concrete mass below the wall separating the two units, related to the water and sewer connections.



Figure 26: View documenting the crawl space below the worker's cottage. Source: Commonwealth

The exterior wall sill plate was evident on the west elevation where the asphalt surfacing had eroded adjacent to one of the entrances. The wall thickness below the sill plate measured approximately 12" thick; an 8" timber sill plate with an accumulation of various exterior finishes that measures 4" in thickness. The exterior finishes include the vinyl siding applied to strapping; pebble dash stucco applied to an expanded metal lath; and strapping applied to the exterior board sheathing secured to the timber frame structure. The exterior walls excluding the interior and exterior finishes measured 6" in thickness which would be consistent with a timber frame structure.

The roof structure was evident from an access hatch in a small closet on the second-floor level. A pole rafter and horizontal board sheathing were evident although the attic was not accessed.

Alternatives:

**Discussion:**

The existing foundations below the small cottage will have to be raised and a new foundation inserted below the small cottage. The building will have to be moved to facilitate the proposed new infill development behind the two buildings, and to facilitate the construction of a new foundation.

The building is a significant built heritage element within the heritage conservation district. Its importance is related to its age c.1870 and form which is defined by the timber frame structure. The accumulated exterior finishes are of less significance except for any original board sheathing applied to the timber frame structure.

**Options**

**Move the building off-site during the construction phase.**

- Risks associated with vandalism and cost of moving the building two times, and storage costs.

- Remove exterior finishes from the timber frame, and record.
- Dismantle the timber frame structure for subsequent reconstruction. Dependent upon the condition of the sill plates – foundation and rafter.
- This option was not seen as appropriate and was abandoned.

#### Next Steps:

- Provide access to the crawl space to facilitate inspection of the foundations, and timber frame structure.
- Complete an as-found recording and condition report.
- Remove exterior finishes from the elevations to confirm if the building is a timber frame structure.
- Determine the extent that the rear can be dismantled without compromising the structural integrity prior to moving.
- Determine a temporary site for relocating the building during construction.
- Undertake the move and secure the building against vandalism.

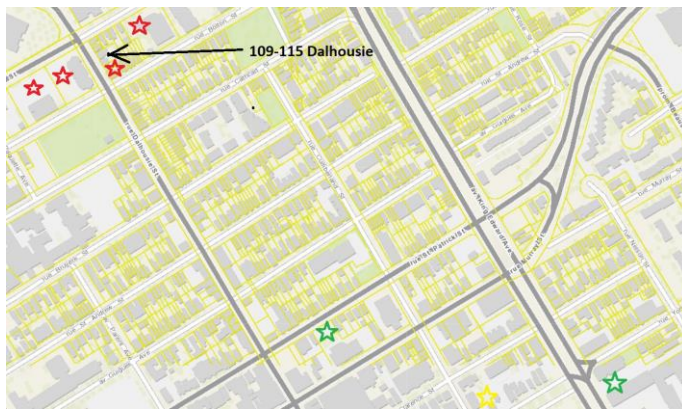


Figure 27: The owner is in negotiations with a number of nearby sites and is working with CDS House Movers Ltd. to assess potential locations for storing the house during construction.

1. 119 Dalhousie St, Ottawa K1N-7C1 No. Not interested in renting or leasing out any space for home or staging during construction
2. Embassy of the Republic of Korea - 150 Boteler St, Ottawa, ON K1N 5A6 - No. Unable to approve request.
3. Sussex Place Apartment (Arnon) - 100 & 110 Boteler St, ON K1N-8W8 - "no space available to accommodate long term request"
4. 327 King Edward Ave Ottawa, Ottawa K1N-7M5 - we believe owner of property can accommodate space here
5. 282 St. Patrick's St, Ottawa, ON K1N-5K5 - owner of lot is currently seeing if they have adequate space
6. 339 Cumberland St, Ottawa, ON K1N-7J3 - waiting to hear back from owner of property

### 4.3 Conservation of the two Existing Buildings

#### Materiality and Design

The plan calls for the retention of the brick cladding at 109-11 Dalhousie, replacement of the cornice and rehabilitating the interior as two individual apartments. Work required to the exterior will be noted



along with specifications. The 1912 fire insurance plan (Figure 13) documents that the building at 109-111 was originally wood frame with brick facing and the cottage was wood frame with a wood siding. No historic images have been sourced to document the original buildings. This is a distinctive house form which has been adopted throughout Lowertown.



Figure 27: Elevation of 281-283 Clarence illustrating many of the same features. Built in 1898 in an Italianate style including two storey, flat roof, double entrance doors, corbelled brick banding, arched headed windows scaled between ground and second floor, masonry foundation, painted red brick and heavy metal cornice. Source City of Ottawa inventory.

Other images in Lowertown neighbourhood provide reference for the treatment of doors, windows, and the roof cladding. (See Figures 14, 15, 16 and 17).

The small cottage will be moved off the site during construction and relocated slightly north next to the brick building. The existing siding will be stripped away, and a horizontal lap siding will be installed.

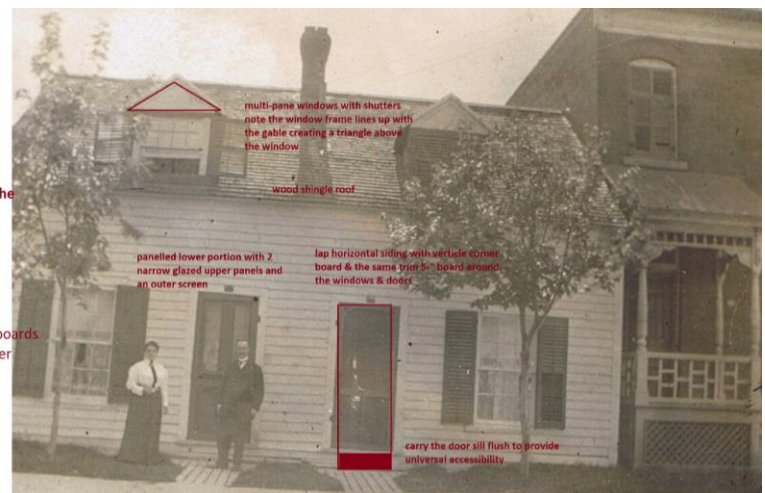
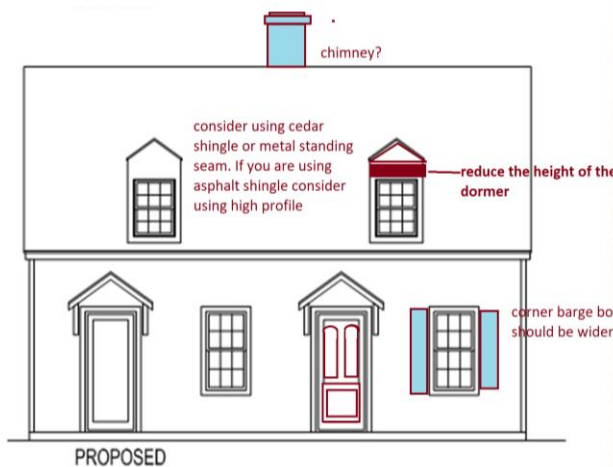


Figure 28: Reference photo of a house in Lowertown with similar characteristics to 115 Dalhousie Street. The notes are provided to suggest possible finishes that will be appropriate to 113-115. Source: Archives Canada with Commonwealth notes.

#### 4.4 Lowertown Guidelines Conservation and Maintenance

The guidelines outline appropriate steps that should be considered. They are included here as a means of reviewing proposed changes. The main elements that need to be addressed are on the exterior – the

chimney, the roof material, the siding material, openings, including windows and doors and the foundation.

### **Roofs and Chimneys**

Direction: The photo of the Aubin house, (Figure 28) illustrates common features of the Lowertown cottages. The cottage 115 most likely had a central chimney that has been removed, and that explains why there is a slump in the ridge. ( Inspection of the attic space will determine if there are any signs of a chimney. Quite often the upper part of the chimney would be removed but only to below the roofing.)

Note the shallow eave extension, the shingle roof, the double dormer, entrance doors and shutters. The roof was either wooden shingle or standing seam metal roof - both were very common. When inspecting and stripping finishes if the underside of the roof sheathing is an original board as apposed to plywood there should be signs of nails at regular intervals indicating a shingle roof.

### **Cladding**

1. *Original cladding should be conserved and maintained. Conservation of historic cladding is preferable to replacement.*
2. *If original cladding requires replacement, it must be replaced in kind. Only deteriorated portions should be replaced. If the original cladding material is no longer being produced, alternatives may be sought with the assistance of heritage staff.*
3. *Removal of inappropriate cladding material (e.g., vinyl siding) and restoration of historic cladding material is encouraged.*

### **Windows and Doors**

1. *Replacement windows should match the historic windows in size, shape, materials, and divisions. Where no documentary evidence of the original windows exists, replacement windows should be based on local examples of houses of a particular historical style.*
2. *The material of replacement windows should match the originals; however, alternate materials may be approved. Multi-paned windows should have appropriate muntin and mullion bars. Snap-in-muntin and mullion bars will not be supported.*
3. *New Infill Windows may be wood, metal clad wood, steel, or other materials as appropriate. Multi-paned windows should have appropriate muntin bars.*

Direction: The image “Worker Cottage” (figure 17 ) shows two types of windows - casement on the right and double hung on the left. The French-Canadian tradition is a casement window whereas if the builder were English, the double hung window would have been used. Given that the initial tenants were English names, there is a good chance the owner/builder was English, who rented to his countrymen.

### **Outstanding Items**

The primary outstanding item is moving the cottage. The conservation report will need to address:

1. A plan and fully detailed outline of the relocation procedure from start to finish. Where it will be moved to and how it will be protected during storage. A number of sites near the property have been considered and the owner is in discussions to secure a site. He is working with CDS House Movers Ltd. In determining the most appropriate site.
2. A plan showing what portion of the building will be demolished and what steps will be taken to ensure its structural stability.
3. A project scope, including new components – foundation, roof structure, features that will be removed and stored separately – windows, doors.
4. A list of finishes and specs outlining i.e., siding, trim, windows, and doors, roof shingle.

## 5.0 IMPACT OF THE PROPOSED DEVELOPMENT

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This section specifically addresses the impacts of the development proposal on the cultural heritage values of the Lowertown West Heritage Conservation District (LWHCD) itemized in Section 3.0. The assessment criteria are outlined in Sections 7.3 and 7.4 of the LWHCD study, which follows.

### 5.1 Section 7.3.4. Alterations and Additions to Existing Buildings

Review of alterations and additions to existing buildings is required by the Ontario Heritage Act as part of the District designation to ensure that they do not detract from nor obscure the heritage character of either the applicant's building or the district as a whole.

- The development proposal includes the retention and rehabilitation of the two semi-detached row houses maintaining the rhythm and character of the streetscape. The new apartment is set back giving the heritage buildings prominence on the street. To give more visibility to the existing massing and roof forms on the south elevation, the full end gable of the cottage can be interpreted from the street.



The balconies appear as a negative impact as they tend to overhang the existing buildings and are not a traditional feature. This is mitigated by the need for residential units to have access during times of lockdown such as the pandemic.

### 5.2 Section 7.4 Streetscape Guidelines

The cultural heritage impact statement will do the following: [Amendment #96, February 22, 2012]

1. Describe the positive and adverse impacts on the heritage resource or heritage conservation district that may be expected to result from the proposed development;

**Positive impacts include:**

- The development proposal includes the retention and rehabilitation of the two semi-detached row houses maintaining the rhythm and character of the streetscape;
- The proposal retains the four entrances to the two row houses;
- The entrance for the new infill development in the rear yard of the site will be located along the south property line;
- The proposal includes the restoration of the exterior finishes on the worker's cottage including the wood siding and trim, wood shingle or standing seam metal roof; and,
- The proposal retains the existing fenestration pattern and includes the rehabilitation of the window and door assemblies for both building.

**7.4.1 Residential Streets (East-West Streets)**

*A. Building Pattern: The pattern of building development- the consistency of the building setback line, the narrow pattern of lot divisions, the consistent heights of the buildings within the residential area are fundamental characteristics, which give distinction and form to the streetscapes of the Lowertown neighbourhood.*

**Recommendations:**

1. *These recommendations apply to both new buildings as well as additions and alterations to existing buildings on the street.*
2. *Maintain the building front yard setback line established by the existing neighbouring buildings on the street.*
3. *Maintain the general overall height of buildings as established by the existing neighbouring buildings on the street.*
4. *When development takes place across several property lines, encourage the articulation of the original lot divisions in the façade of the new buildings so that the buildings read as a combination of smaller elements.*

**Discussion:** The existing lot pattern within the block includes small narrow lots with variable depths fronting onto Boteler and Bolton Streets (Figure 2). The large deep lot is adjacent to the rear yards of six properties, and the infill building will reduce the open space associated with the lot and modify the positioning of the workers cottage.

The apartment height exceeds the height of existing neighbouring buildings.

Increased shadowing of the two storey properties on Boteler Street with shallow lot depths.

**7.4.2 Dalhousie Street**

*The commercial nature and increased street width of Dalhousie Street sets it apart from the character of the surrounding residential neighbourhood. This differentiation should be encouraged and requires different guidelines for the streetscape.*

**Recommendations:**

1. *For new construction as well as additions and alterations, the front building setback line established by the existing buildings on Dalhousie Street should be maintained as a consistent build-to line down the length of the street.*

Discussion: No impact. The front building setback line although varying slightly between the two retained buildings will be maintained.

2. *Street related commercial activities, and cafes and restaurants are to be at grade with residential or commercial office space on the upper floors. Emphasis of commercial activities should be on providing services to the adjacent residential community. Highway commercial activities, such as strip malls and gas stations, should be discouraged.*

Discussion: No impact. No commercial uses are being proposed.

3. *A co-ordinated streetscape improvement study and plan, similar to the study for King Edward Avenue, should be undertaken. The possibility of reducing the street width and increasing the sidewalk width for pedestrian use, sidewalk cafes and for street furnishings such as trees and benches should be explored.*

Discussion: The front yards of the two properties are presently covered in asphalt. The two entrances to each of the properties will be maintained presenting no opportunities to develop small, landscaped gardens with some greenery as illustrated in Figure 23.

4. *A co-ordinated streetscape furnishings plan should be undertaken, as part of the above-noted study, developing a consistent vocabulary of streetlight fixtures, signage, bus shelters, benches. Street tree planting, tree grates and guards, as well as garbage receptacles.*
5. *Parking for the buildings on Dalhousie Street should be located on the street or to the rear of the properties.*

Discussion: No vehicular parking is being proposed within the development site. There will be bicycle parking with a bicycle storage shed at the rear of the property.

## **7.5 Conservation Guidelines**

### **7.5.1 Principles and Definitions**

The conservation guidelines are based on the following principles:

1. The character of the area is based strongly on architectural variety, as it is a mixture of buildings from different periods and buildings, which have been gradually altered over time. It is important to maintain this diversity.

Discussion: The proposed development will have a positive impact on the architectural variety of the streetscape, as the two existing row-houses are being conserved and rehabilitated.

2. *The guidelines should not encourage restoring Lowertown to an artificially set time period, like Lowertown West circa 1900, but should stimulate a greater appreciation for the way in which each building, contributes to the architectural fabric of the neighbourhood.*

Discussion: The brick clad row-house at 109-111 constructed circa 1906 will be retained in its existing form and detailing; missing elements and deteriorated features will be restored. The small worker's row-house will be retained, and exterior finishes of both buildings will be restored including cleaning the brick, repairing cornice details, and replacing windows of 109-11.

The wood siding, and wood shingle or standing seam metal roof will be reintroduced for 113-115.

3. *Much of the area consists of modest residential buildings, which are vernacular in design. Many of these buildings have been severely altered because their value as a historical and architectural resource has not been recognized. The guidelines should encourage better conservation of these structures.*

Discussion: The two semi-detached row houses within the development site maintain their original form and detailing except for the exterior finishes on the small worker's cottage that will be restored as part of the development.

4. *Conservation, rather than restoration, is seen to be the most urgent concern in the District. Conservation should stabilize and protect structures from deterioration or from alterations, which do not recognize their heritage quality.*

Discussion: The development proposal recognizes the contribution of the two heritage properties to the streetscape of Lowertown, and the importance of conserving existing forms and character defining features.

#### *Renovation and Rehabilitation*

*Property owners may seek to improve their buildings by adding new services, adding additions or in some manner modifying their buildings to accommodate their present-day functional needs. In all cases, this work should attempt to conserve the heritage character of the building. The required alterations should demonstrate a sensitivity to the original design of the building in materials, architectural form, scale, and detail.*

#### **7.5.5 Guidelines for Infill Buildings**

*Infill buildings may be either additions to existing structures or new structures on vacant lots.*

*Recommendations:*

1. *Infill buildings must respect the scale, set-backs, architectural design, and materials of neighbouring buildings.*

Discussion: The proposal is to construct a four-storey infill building behind the two existing buildings. The scale of the proposed infill building generally respects the scale of the two-storey brick clad row-house at 109-111 Dalhousie Street within the development site, and the adjacent two and one-half storey building at 121-123 Dalhousie Street at the corner of Bolton Street. The proposed design includes finishes that respect the materials within the development site and adjacent buildings, including 105-107 Dalhousie Street to the north, 112-116 Boteler Street, and 115-117 Bolton Street that abut the rear side yard of the development site. The scale of the infill building is adjacent to the one and one-half storey worker's cottage at 113-115 Dalhousie Street within the development site. The proposal is to construct the four-storey building abutting the roof ridge of the worker's cottage, which sets it back approximately 10' from the front facade. An alternative would be to set the west wall of the infill building further to the east and reduce the size of the balcony. This would visually provide more separation distance but would limit the size and number of new units in the apartment.

2. *Small-scale development, working within existing lot divisions, should be encouraged.*

Discussion: The proposed development works within the existing lot divisions.

3. *Contemporary design should contribute to and enhance the continuing architectural evolution of the District. Infill buildings should not attempt to appear older than they are.*

Discussion: The proposal for addressing the two existing buildings is described in Chapter 5. The infill building is design as a contemporary expression using a mansard treatment of the upper floor and a colour palette that respectful.

### 5.3 Standards and Guidelines for the Conservation of Historic Places in Canada

1. Conserve the heritage value of an historic place. Do not remove, replace, or substantially alter its intact or repairable character defining elements. Do not move a part of an historic place if its current location is a character-defining element.

Discussion:

The relocation of the workers cottage and its repositioning responds to engineering best practice and City policy requires that any new development be designed to manage rainwater, prevent any contribution to flash flooding, and ensure the safety of surrounding properties. Because the city discourages the running of lines under a building, it is proposed to shift the cottage at 115-17 north, to abut the semi-detached at 109-11. This allows space along the southern lot line to manage the city's preference not to have services under buildings.

It also responds to the physical limitations of the site and the necessity for a staging area. There is a plan in place for the conservation of the brick semi-detached and a detailed plan for the removal of the workers cottage, its restoration, and repositioning.

11. Conserve the heritage value and character-defining elements when creating any new additions to an historic place or any related new construction. Make the new work physically and visually compatible with, subordinate to and distinguishable from the historic place

Discussion:

The apartment has been setback to establish its subordination to the two heritage houses along the front property line. From the south views of the end gable of the cottage have been maintained. A mansard treatment has been introduced the wood panels eliminated, and the palette of materials and colour simplified. An alternative that was considered but abandoned was the use of a traditional red brick similar to the semi-detached.

## 6.0 ALTERNATIVES AND MITIGATION STRATEGIES

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### 6.1 Alternatives

A number of options have been considered over the course of planning this development.

- The mansard treatment of the apartment and the neutral colour palette visually reduces the scale of the four -storey along the street.
- Providing a simpler material palette and reducing the industrial character of windows and finishes.
- Cladding the apartment with a traditional material such as brick.
- Removing the proposed tree has opened up views of the end gable of the cottage from the street. The new entrance with transom and sidelights is respectful. The use of the masonry accent might not be necessary.

### 6.2 Mitigation measures

- Maintain the general overall height of buildings as established by the existing neighbouring buildings on the street and zoning has been maintained.
- The development will extend across two property lines and maintains the articulation of the original lot divisions and although the cottage has shifted, the façades of the heritage buildings reads as a combination of smaller elements within the overall development.
- The massing and material palette of the apartment is neutral and helps to maintain the role as background.
- The use of masonry and the scale of the side entrance with transom and sidelights defines the entrance to the apartments but detracts from the vernacular character.

### 6.3 Conclusions

The scale of the proposed infill development respects and demonstrates a sympathetic handling of the two existing buildings on the site. The scale of the worker's cottage and the two-storey semi-detached townhouse could have easily been lost. Both buildings are redeveloped to best display the overall streetscape and the traditional placement of homes close to the street. This plan acknowledges the predominant form of buildings within the block as two stories in height. The existing buildings are maintained and the taller structure setback to reduce the visual intrusion of a 4-storey apartment directly on the street. This project is a fitting addition to the conservation efforts within Lowertown.



## 7.0 AUTHORS QUALIFICATIONS

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**Commonwealth Historic Resource Management** is a consulting firm that offers professional services related to conservation, planning, research, design, and interpretation for historical and cultural resources. A key focus of the practice is planning and assessment of heritage resources as part of the development process.

**John J. Stewart**, B.L.A., O.A.L.A., C.S.L.A., CAHP, a principal of Commonwealth is a specialist in the planning and design of cultural resources, building conservation, and commercial area revitalization. A graduate of the University of Guelph, he received additional training at Cornell University (USA) and Oxford University (UK) and holds a diploma in the Conservation of Monuments from Parks Canada, where he worked as Head, Restoration Services Landscape Section. Before Commonwealth's formation, Stewart served for four years as the first director of Heritage Canada's Main Street Program.

Stewart is a founding member of the Canadian Association of Heritage Professionals. He has served as the Canadian representative of the Historic Landscapes and Gardens Committee of ICOMOS and the International Federation of Landscape Architects. Stewart is a panel member with the Ottawa Urban design Review Panel and a board member of Algonquin College Heritage Carpentry Program.

**Ian Hunter Architectural Technologist** is a specialist in the research and building conservation. Experience in the heritage conservation field extends over 30 years primarily working for Commonwealth Historic Resource Management.

Ian Hunter undertook the research; John Stewart managed the project and prepared the report.

## 8.0 PRE-APPLICATION COMMENTS

### Comments

The following are some of the provisions of the Lowertown West Heritage Conservation District Study (LWHCDS), a document used to review applications made under the *Ontario Heritage Act*. **LWHCDS Guideline**

### Comment

#### 7.3.4. Alterations and Additions to Existing Buildings

Review of alterations and additions to existing buildings is required by the Ontario Heritage Act as part of the District designation to ensure that they do not detract from nor obscure the heritage character of either the applicant's building or the district as a whole.

The addition needs to be set back further from Dalhousie in order to conserve the heritage character of the HCD and streetscape, specifically to give more visibility to the existing massing and roof forms

#### 7.5.3 Working with slightly altered buildings

1. Historical documentation on the building should be reviewed to evaluate the extent to which the building has been altered. A careful examination of the building itself may reveal much about its earlier character.

- For both buildings, many of the original attributes are intact. Elements that could be restored include the cladding on both buildings (re-instating wood clapboard siding on 113-115, and removing the paint on 109-111, improved cornice on 109-111, sensitive replacement windows, porch/canopies, etc.) Historical research should inform restoration

2. Restoration should be encouraged if adequate documentation exists.

- While earlier photos have not been uncovered for either building, similar buildings can be referenced for clues about materials, design elements, etc.

#### 7.5.5 Guidelines for Infill Buildings

1. Infill buildings must respect the scale, setbacks, architectural design, and materials of neighbouring buildings.
  2. Small scale development, working within existing lot divisions, should be encouraged.
  3. Contemporary design should contribute to and enhance the continuing architectural evolution of the District. Infill buildings should not attempt to appear older than they are.
- • While a four-storey height may be appropriate along Dalhousie, heritage staff and the Lowertown Community Associations' Heritage Committee are unable to comment on the height/mass impact of the proposal on neighbouring houses and streets until the appropriate drawings are provided. Comments about the suitability of the scale and setbacks will be provided upon presentation of these documents.
  - • Please set-back the addition from Dalhousie further in order to respect the scale of the neighbouring houses and the design of the subject properties
  - Look for ways to reinforce the character of the existing buildings. For example, the window pattern and their surrounds are evocative of an industrial building. Please consider a more residential window treatment.
  - Balconies are not commonly found on additions in the HCD. If balconies continue to be proposed, they should take design cues from the neighbouring mid-rise building across the street and be inset. The use of natural materials is encouraged for the cladding of the proposed addition. The use of non-natural materials can be considered for portions of the building but should not be the dominate material. The materiality should be distinct but complimentary to the restored cladding of the existing heritage buildings. The increased height and decreased side yard setback will require relief from the Heritage Overlay provisions in Zoning By-law 2008-250 (Section 60).

## **Standards and Guidelines for the Conservation of Historic Places in Canada**

1. Conserve the heritage value of an historic place. Do not remove, replace, or alter its intact or repairable character defining elements. Do not move a part of an historic place if its current location is a character-defining element.

- Generally, the relocation of a heritage asset is not supported by heritage staff, as it is not in alignment with Standard 1. On balance, heritage staff may support this relocation provided the overall project achieves excellent restoration and the addition satisfies the HCD Study guidelines and the remaining Parks Canada's Standards and Guidelines.
- The Lowertown Community Association is not in support of the repositioning of the cottage as it conflicts with Standard 1 and changes the heritage character of the street and relationship of the buildings.

11. Conserve the heritage value and character-defining elements when creating any new additions to an historic place or any related new construction. Make the new work physically and visually compatible with, subordinate to and distinguishable from the historic place.

- The addition should be subordinate to the two heritage houses. This can be achieved by pushing back the mass over both buildings, by improving the compatibility of the design and refining the material palette.

## 9.0 APPENDIX A GUIDELINES

*Lowertown West – Heritage Conservation District Study*

### 7.4 Streetscape Guidelines

#### 7.4.1 Residential Streets (East-West Streets)

##### **A. Building Pattern:**

The pattern of building development- the consistency of the building setback line, the narrow pattern of lot divisions, the consistent height of the buildings within the residential area are fundamental characteristics which give distinction and form to the streetscapes of the Lowertown neighbourhood.

##### **Recommendations:**

These recommendations apply to both new buildings as well as additions and alterations to existing buildings on the street.

1. Maintain the building front yard setback line established by the existing neighbouring buildings on the street.
2. Maintain the general overall height of buildings as established by the existing neighbouring buildings on the street.
3. When development takes place across several property lines, encourage the articulation of the original lot divisions in the façade of the new buildings so that the buildings read as a combination of smaller elements.

##### **B. Street Trees**

The streets of Lowertown were historically lined with tall shade trees that gave definition and character to the residential streets. Today there are only small isolated pockets of mature trees within the study areas. The quality and character of the street trees is probably the single most important element within the streetscape and a rigorous planting program of many new trees within the district should be undertaken.

##### **Recommendations:**

1. A street tree planting program be undertaken by the City to plant street trees in a co-ordinated way within the road allowance on every street within the study area, with the consent of the affected homeowner.
2. Trees species should be generally the same on both sides of the street and along the length of the given block.
3. Tree species selected should develop into a large canopy type tree that will overhang the street, are hardy to the urban conditions, and have green summer leaves (deciduous trees). Where horizontal space is limited, columnar trees should be considered.
4. Individual homeowners are encouraged to take advantage of the City's "Do-It-Yourself Tree Planting" program in order to increase the number of trees on residential properties, within the district.

##### **C. Front Yard Gardens**

For the purposes of influencing streetscape character within the residential area, the most important aspect of the front yard is that there be a garden. The type of planting, its

*Lowertown West – Heritage Conservation District Study*

arrangement or style is not as important as long as the front yard reads predominantly as a garden.

**Recommendations:**

1. Design front yard garden landscaping in character with the street. Generally, paved surfaces should cover no more than half of the front yard, with the remainder of the yard being comprised of trees, shrubs, ground covers and grass in any combination. Avoid paving areas immediately around existing trees, leaving an open area of 1.25 metres in diameter or greater, depending on the size of the tree trunk.
2. Encourage the use of hedges as a pattern along the residential side of the sidewalk to provide some subtle separation between private and public areas. These hedges should generally be a maximum of 1.0 metre tall along the sidewalk.
3. Encourage the use of fences along the front property line or parallel to the sidewalk as a pattern along the residential street. Fences should generally be no more than 1.0 tall and should be of the picket variety. Metal or painted wood is appropriate as are some brick or stone elements within the fence, providing that it is primarily open. A solid board fence is not recommended for the front yard.
4. Encourage the use of vines or climbing plants, growing on the façade of the buildings, particularly where space is limited. These creepers could be on trellises or be self clinging. Clinging vines, other than ivy, that are compatible with masonry surfaces are Euonymus and Climbing Hydranea.

**D. Street Lighting**

Lighting should provide safety and security, be visually unobtrusive and contribute to creating an image for the area.

**Recommendations:**

1. Lighting levels along the street should be consistent and provide high enough intensity to create a sense of security and safety.
2. The type of light fixture used should be consistent throughout all the residential streets in the area.
3. Metal halide and mercury vapour lighting is preferable to high pressure sodium.

**E. Overhead Service Utilities**

The overhead service utility wiring and the poles supporting the wiring contribute to the character of the area. The wooden utility pole is the first type of utility pole used within the area. While it is preferable that these poles be upgraded to a more durable and less noticeable metal or concrete pole or that these utility services be buried completely, their use within the area is unlikely to change in the foreseeable future.

**Recommendations:**

1. The wooden utility poles should be straightened within the Lowertown West District.
2. Trees should be accommodated within the vicinity of these overhead utility services. While trees may be incompatible with these utilities, the careful

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4. Infill buildings should contribute to the streetscape as outlined in Section 7.4.- Streetscape Guidelines.

**7.5.6 Comments on Conservation**

Conservation of heritage buildings requires a knowledge of traditional materials, traditional construction techniques and present building trade practices. It also requires a thorough knowledge of the particular building, a knowledge which can be gained both from historical documentation and from a careful on-site examination. Technical support and advice is available from the Heritage Section of the Planning and Development Department.

**A. General Conservation****Comments:**

1. It is advisable that inspections of a building should be undertaken routinely by the property owner on an annual or semi-annual basis to assist the property owner in detection significant conservation problems as they may arise.
2. Owners should ensure that items such as eavestroughs and downspouts should be cleaned routinely and roof surfaces maintained in good condition to limit possible sources of water infiltration and building deterioration.
3. In all cases, the building's original material should be retained whenever possible. To conserve the authenticity of a heritage building it is better to retain and repair portions of a damaged element, such as the decorative wood trim on a porch, than to replace it with all new material.
4. Conservation work should be appropriate to the character and age of the particular building in both materials and detail. If a replacement element is required, such as a new wood window sash, it should match the original detail in proportion and profile as closely as possible.

**B. Wood Structures**

1. Wood structures, particularly those without basements, should be examined for deterioration at the foundation or sill plate. Water should be drained away from the building and deteriorated section of the sill plate should be replaced.
2. The paint coat on exposed wooden elements such as wood siding, windows, porches, and other wood trim should be well maintained to inhibit deterioration.
3. If an historical stucco or rendered finish has been applied to the building, and repair is required, careful attention should be paid to matching the texture and colour of the stucco, and as much of the original material should be retained as possible.

**C. Masonry Structures**

1. Masonry buildings, which may be either solid masonry or masonry veneer, require careful and regular repointing with soft mortars to discourage water penetration. Hard Portland cement mortars should not be used with stone or older brickwork as they will lead to deterioration of the masonry.

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2. Masonry should be examined periodically for structural defects such as cracking due to settlement or shifting because of inadequate bonding. Structural defects may require complex solutions and technical advice should be sought before attempting to apply a remedy.
3. Cleaning of masonry is often not necessary, but if it is undertaken it should be done gently with either water or a mild chemical wash. Sandblasting is not acceptable for cleaning brickwork.

#### **D. Roofs**

1. Early pitched roofs in Lowertown West were either wood shingle or tin-plate or terne-plate metal roofing. Care should be taken to determine the original roofing material which existed on the building. Wood shingles tended to be white cedar and numerous historical photographs of the area illustrate appropriate details for easily available and materials such as lead-coated copper or less expensive galvanized metals are frequently recommended as alternatives. Metal roofs may have been installed as standing seam roofs or as metal shingles or tiles. Nailing patterns on the sheathing boards may indicate which method was used on the building.
2. Roof elements such as chimneys, cornices and other eave details may have been removed and their replacement should be encouraged as prominent building elements, if adequate documentation exists.

#### **E. Energy Upgrading**

1. Upgrading buildings for energy efficiency through insulation of walls and attics or double glazing of windows should be approached cautiously. Insulation requires the careful installation of a vapour barrier to prevent moisture condensation and a vapour barrier is often difficult to install successfully in an older building. Double glazing can be added to the interior of existing windows as interior storms.

#### **F. Decorative Wood and Metalwork**

1. Decorative wood and metalwork elements should be repaired rather than replaced wherever possible.
2. Decorative work should be protected from deterioration by good routine maintenance.
3. Replacing missing elements may be encouraged if adequate documentation exists. For simple work, such as handrail replacement, using a comparable example from a building of the same type and age within the District may be acceptable.



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conservation of their remaining historical fabric and the improvement or enhancement of the later alterations to better relate to the neighbourhood.

### **7.5.3 Working with slightly altered buildings**

The majority of buildings in the District have had some alterations over time. These alterations may form part of the gradual evolution of the building and may enhance rather than detract from the building's character. Some alterations may also have included the removal of elements such as decorative cornices or wooden porches and these alterations diminish the heritage character of the building.

#### **Recommendations:**

1. Historical documentation on the building should be reviewed to evaluate the extent to which the building has been altered. A careful examination of the building itself may reveal much about its earlier character.
2. Restoration should be encouraged if adequate documentation exists.
3. If historical documentation does not exist for the building, the replacement of a missing element, such as a metal cornice, may still be considered if the replacement is based on a similar element from a building of comparable age and design with the District.

### **7.5.4 Guidelines for Demolition**

Demolitions, either partial or complete, are not encouraged. Permission for demolition by City Council, as required under the Ontario Heritage Act, must be sought.

#### **Recommendations:**

1. As a general principle, demolition of structures within the District will not be recommended for approval by City Council.
2. Partial demolitions required for renovations may be acceptable if they do not remove significant original fabric of the building.
3. Structures deemed not to have heritage significance may be considered for demolition, if an appropriate replacement structure is proposed.

### **7.5.5 Guidelines for Infill Buildings**

Infill buildings may be either additions to existing structures or new structures on vacant lots.

#### **Recommendations:**

1. Infill buildings must respect the scale, set-backs, architectural design and materials of neighbouring buildings.
2. Small scale development, working within existing lot divisions, should be encouraged.
3. Contemporary design should contribute to and enhance the continuing architectural evolution of the District. Infill buildings should not attempt to appear older than they are.

*Lowertown West – Heritage Conservation District Study***Renovation and Rehabilitation**

Property owners may seek to improve their buildings by adding new services, adding additions or in some manner modifying their buildings to accommodate their present-day functional needs. In all cases this work should attempt to conserve the heritage character of the building. The required alterations should demonstrate a sensitivity to the original design of the building in materials, architectural form, scale and detail.

Carefully planned and executed renovations can protect heritage buildings by ensuring their continued use and viability and they should be encouraged in Lowertown West.

**Remodeling and Inaccurate Restorations**

Many buildings in Lowertown West have been remodelled. Their facades have been dramatically altered to provide the building with a new contemporary look. The intent of remodelling has been to renovate the building, and at the same time, to conceal its age.

The designation of the District will encourage a better understanding of the significance and interest of the early buildings in the area. Remodeling should be discouraged as detrimental to the character not only of the individual building, but to the neighbourhood as a whole.

Remodeling may also occur as a type of inaccurate restoration which is not based on a careful examination of either the building or any historical documentation. Adding inappropriate traditional elements such as window shutters, casement windows, roof dormer or a decorative front porch, may not be appropriate to the age or character of the particular building, and may create a false image of the historical character of the area. Inaccurate restorations should be discouraged in the District.

**7.5.2 Working with very altered buildings**

Many of the early buildings in Lowertown West have been significantly altered from their original appearance. One reason for this is that with vernacular buildings the exterior cladding has been traditionally regarded as a kind of sacrificial coating, a cover which was intended to protect the building from the elements but which would require frequent renewal. An original roughcoat stucco or wood clapboard cladding might be replaced in time with a brick veneer or a more modern angelstone or aluminum siding. Other buildings have had major additions or alterations to rooflines, foundations, windows and doors which obscure the original character of the building.

**Recommendations:**

1. Historical documentation on the building should be reviewed to appreciate what the original appearance of the building might have been. A careful examination of the building itself may reveal much about its earlier character.
2. Restoration of the building may not be possible and should not be attempted without adequate historical documentation.
3. Removal of cladding, details and finishes which obscure the original building should be encouraged.
4. It should be recognized that even the very altered buildings form part of the character of Lowertown West. Work on these buildings should emphasize the

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## **7.5 Conservation Guidelines**

### **7.5.1 Principles and Definitions**

The conservation guidelines are based on the following principles:

1. The character of the area is based strongly on architectural variety, as it is a mixture of buildings from different periods and buildings which have been gradually altered over time. It is important to maintain this diversity.
2. The guidelines should not encourage restoring Lowertown to an artificially set time period, like Lowertown West circa 1900, but should stimulate a greater appreciation for the way in which each building, contributes to the architectural fabric of the neighbourhood.
3. Much of the area consists of modest residential buildings which are vernacular in design. Many of these buildings have been severely altered because their value as a historical and architectural resource has not been recognized. The guidelines should encourage better conservation of these structures.
4. Conservation, rather than restoration, is seen to be the most urgent concern in the District. Conservation should stabilize and protect structured from deterioration or from alterations which do not recognize their heritage quality.

### **Restoration**

Restoring a building means returning it accurately to its earlier appearance. This is accomplished by using documentation, such as historic photographs or drawing, and through a careful examination of the building. Restoration may remove later building elements and replace missing ones. It should however respect alterations and additions, which may also be part of the heritage character of the building. With all restoration work the intent must be to retain as much of the original fabric of the building as possible so that the building doesn't become a replica, rather than an authentically old building. Restoration of missing elements should only be undertaken with adequate historical documentation.

In Lowertown West there are many opportunities for the restoration of older buildings which have been obscured by later changes.

### **Conservation**

Conservation means preserving a structure through careful maintenance and repair. This work recognizes the heritage value of the structure and attempts to protect the original fabric of the building as much as possible. It encourages good routine maintenance, ensuring the building is not deteriorating from decay or water penetration, and it also encourages repairs which use materials, details and techniques which are appropriate to the age and character for the building. For example, the use of modern metal or plastic sidings on a nineteenth century building is not conservation. As with restoration, it is important that the original fabric if the building be retained, and that replacement occurs only when the fabric is deteriorated.

The conservation of buildings through good maintenance and repair is crucial to the protection of the Lowertown West District.

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selection of species such as Honeylocust and Tree Lilac will minimize future pruning maintenance requirements. The trees will help reduce the visibility of the utility poles as one looks down the length of the street.

**F. Surface Parking**

Surface parking, located between the building and the street, disrupts the character of the streetscape.

**Recommendations:**

1. Avoid front yard parking, unless there is no other means for parking, including on-street parking. If front yard parking is constructed, no more than 55% of the front yard should be paved. 45% must be landscape open space consisting of trees, flowers and shrubs. Plant hedges, growing to about 1.25 metres running parallel to the parking space along both the property lines in order to visually screen the parked vehicle. Front yard parking must conform to the city's council approved regulations.
2. No street tree is to be removed in order to allow front yard parking. The parked vehicle must be minimum of 1.25 metres from the trunk of any existing trees.

**7.4.2 Dalhousie Street**

The commercial nature and increased street width of Dalhousie street sets it apart from the character of the surrounding residential neighbourhood. This differentiation should be encouraged and requires different guidelines for the streetscape.

**Recommendations:**

1. For new construction as well as additions and alterations, the front building setback line established by the existing buildings on Dalhousie should be maintained as a consistent build-to line down the length of the street.
2. Street related commercial activities, and cafes and restaurants are to be at grade with residential or commercial office space on the upper floors. Emphasis of commercial activities should be on providing services to the adjacent residential community. Highway commercial activities, such as strip malls and gas stations, should be discouraged.
3. A co-ordinated streetscape improvement study and plan, similar to the study for King Edward Avenue, should be undertaken. The possibility of reducing the street width and increasing the sidewalk width for pedestrian use, sidewalk cafes and for street furnishings such as trees and benches should be explored.
4. A co-ordinated streetscape furnishings plan should be undertaken, as part of the above noted study, developing a consistent vocabulary of street light fixtures, signage, bus shelters, benches. Street tree planting, tree grates and guards, as well as garbage receptacles.
5. Parking for the buildings on Dalhousie should be located on the street or to the rear of the properties.

