



PROPOSED MULTI-UNIT RESIDENTIAL DEVELOPMENT

STARLIGHT DEVELOPMENTS

CONSULTANTS LIST

PLANNING CONSULTANTS
 FOTENN PLANNING & DESIGN
 396 COOPER STREET, SUITE 300
 OTTAWA, ONTARIO K2P-2H7
 TEL: 613-730-5709

SITE SERVICES & GRADING ENGINEERS
 COUNTERPOINT ENGINEERING
 8395 JANE STREET, SUITE 100
 VAUGHAN, ONTARIO L4K-5Y2
 TEL: 416-886-1075

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 MHBC PLANNING, URBAN DESIGN &
 LANDSCAPE ARCHITECTURE
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 WOODBRIDGE, ONTARIO L4L-8G7
 TEL: 905-761-5588

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 CGH TRANSPORTATION INC.
 13 MARKHAM AVE
 OTTAWA, ONTARIO K2G-3Z1
 TEL: 613-697-3797

WIND ENGINEER
 GRADIENT WIND ENGINEERING
 127 WALGREEN ROAD
 OTTAWA, ONTARIO K0A-1L0
 TEL: 613-836-0934

GEOTECHNICAL ENGINEER
 6221 HWY #7, UNIT 16
 VAUGHAN, ONTARIO, L4H-0K8
 TEL: 905-264-9393

ELECTRICAL ENGINEER
 MULVEY & BANANI INTERNATIONAL INC. (MBII)
 90 SHEPPARD AVE. EAST, SUITE 500
 TORONTO, ONTARIO M2N-3A1
 TEL: 416-751-2122

ARCHITECTURAL DRAWING LIST

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NO.	REVISIONS	DATE	BY
2	ISSUED FOR SITE PLAN APPROVAL	FEB.09.2021	OH
1	ISSUED FOR CLIENT REVIEW	FEB.04.2021	OH

NO.	REVISIONS	DATE	BY

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COVER SHEET

SCALE: AS NOTED
PROPOSED MULTI-FAMILY RESIDENTIAL DEVELOPMENT
 1971 & 1975 ST. LAURENT BLVD.
 OTTAWA, ONTARIO
 FOR: STARLIGHT DEVELOPMENTS

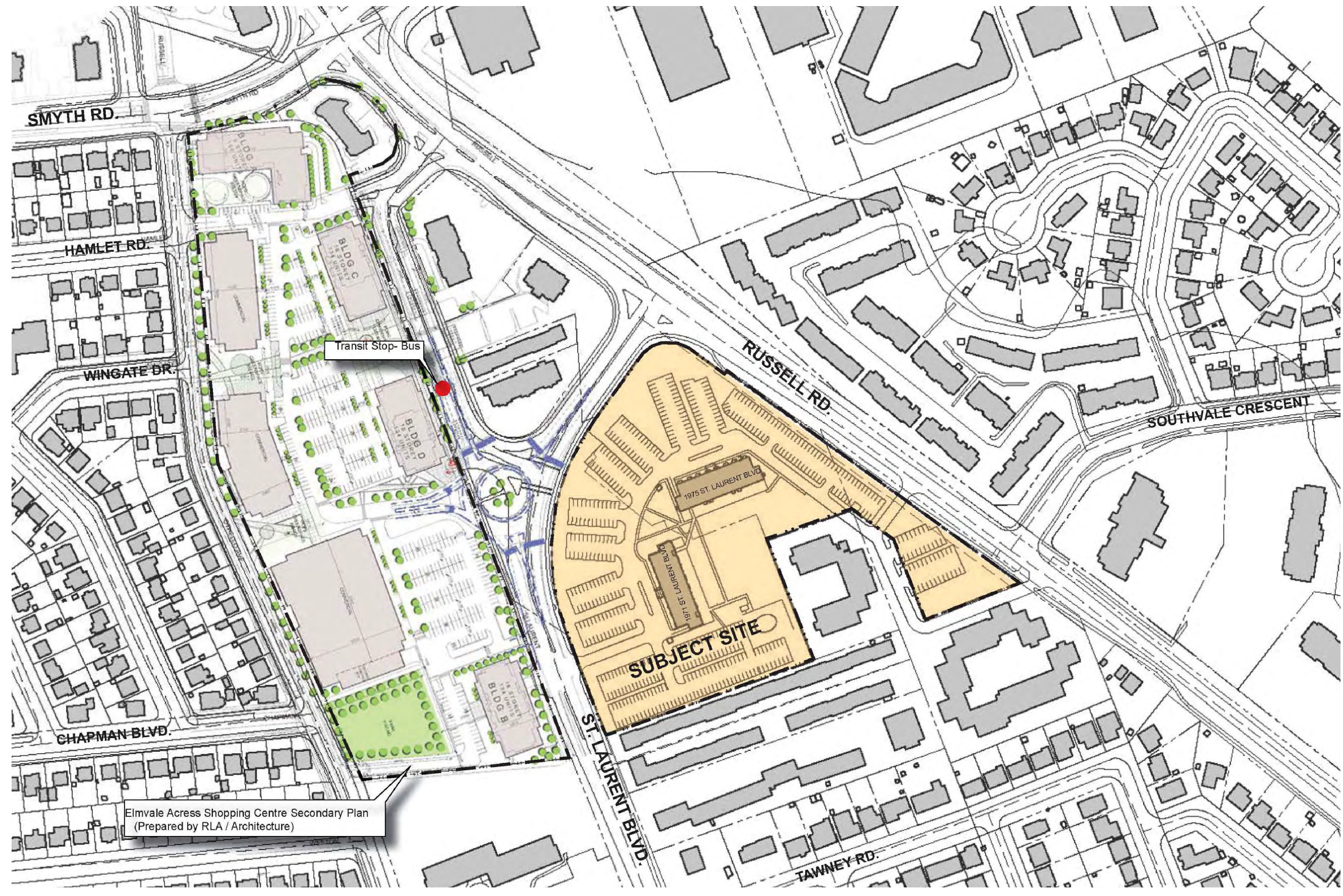
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PETROFF PARTNERSHIP ARCHITECTS
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ALY NAMDY
ARCHITECT
 LICENCE 8768

DRAWN BY	PETROFF	PROJECT NO.	21740
CHECKED BY	PETROFF	DWG. NO.	A000
DATE			
ISSUED			



1 SITE CONTEXT & CONSTRAINTS PLAN
 A001 SCALE: 1:5000



2 EXISTING SITE CONTEXT PLAN
 A001 SCALE: 1:2500

BUILDING & DEVELOPMENT STATISTICS SITE

EXISTING SITE AREA	34,693m ² (3.46 Ha/ 8.57 acres)
ROAD WIDENING EASEMENT along Russell Rd.	988m ² (0.09 Ha/ 2.44 acres)
SHARED ACCESS EASEMENT internal private driveway	4,631m ² (0.46 Ha/ 1.14 acres)
PROPOSED DEVELOPABLE LOTS	
LOT 'A' (Bldg. 'A')	3,104m ² (0.31 Ha/ 0.77 acres)
LOT 'B' (Bldg. 'B')	2,845m ² (0.28 Ha/ 0.70 acres)
LOT 'C' (Bldg. 'C')	2,737m ² (0.27 Ha/ 0.68 acres)
LOT 'D' (Parkade)	6,721m ² (0.67 Ha/ 1.66 acres)
SUB-TOTAL	15,407m² (1.54 Ha/ 3.81 acres)
PARKLAND DEDICATION (min. 10%)	1,554m ² (0.15 Ha/ 0.38 acres)
TOTALS	16,961m² (0.17 Ha/ 0.42 acres)

RESIDENTIAL UNIT COUNT	PROPOSED RESIDENTIAL GFA
BUILDING 'A' 165	BUILDING 'A' 12,806m ² (137,843 SF)
BUILDING 'B' 168	BUILDING 'B' 13,075m ² (140,738 SF)
BUILDING 'C' 168	BUILDING 'C' 13,075m ² (140,738 SF)
EXISTING 500	
TOTAL 1,001	TOTAL 38,956m² (419,319 SF)

PROPOSED DENSITY (units/ hectare)	PROPOSED F.S.I.
LOT 'A' (Bldg. 'A') 165/ 0.31 Ha = 532	LOT 'A' (Bldg. 'A') 4.1
LOT 'B' (Bldg. 'B') 168/ 0.28 Ha = 600	LOT 'B' (Bldg. 'B') 4.6
LOT 'C' (Bldg. 'C') 168/ 0.27 Ha = 622	LOT 'C' (Bldg. 'C') 4.7

PROPOSED BUILDING HEIGHTS
(Bldg. 'A') 17-STORIES (54.0m)
(Bldg. 'B') 17-STORIES (54.0m)
(Bldg. 'C') 17-STORIES (54.0m)
(Parkade) 4.5-STORIES (22.0 m)

*From established grade to top of main roof. Excluding mechanical penthouse, exit stair and elevator enclosures

COVERAGE (%)
(Bldg. 'A') ±45%
(Bldg. 'B') ±49%
(Bldg. 'C') ±51%
(Parkade) ±44%

MIN. DISTANCE BETWEEN BUILDINGS 23.0m

COMMON AMENITY AREAS
(Bldg. 'A') Indoor: 335m ² / Outdoor: 235m ² TOTAL: 570m ²
(Bldg. 'B') Indoor: 215m ² / Outdoor: 910m ² TOTAL: 1,125m ²
(Bldg. 'C') Indoor: 215m ² / Outdoor: 895m ² TOTAL: 1,110m ²
(Parkade Roof) Indoor: 0m ² / Outdoor: 1,815m ² TOTAL: 1,815m ²
(Ext. / Modified) Indoor: 0m ² / Outdoor: 2,390m ² TOTAL: 2,390m ²
TOTALS Indoor: 765m ² / Outdoor: 6,245m ² TOTAL: 7,010m ²
*±7.05m ² / Unit = (7,010m ² / 1,001 units)

LANDSCAPE OPEN SPACE AREA
Total Area At-Grade 12,950m ²
Total Roof Amenity Areas 900m ²
TOTALS 13,850m² (42%)
*Landscape Open Space Area % is based on Existing Site Area excluding Parkland Dedication Area

OFF-STREET PARKING
(Bldg. 'A') 115 spaces
(Bldg. 'B') 118 spaces
(Bldg. 'C') 115 spaces
Existing Apartments 350 spaces
TOTALS 701 spaces
*Residents (0.5 spaces/ unit) + Visitors (0.2 spaces/ unit)

BICYCLE PARKING
(Bldg. 'A') 88 spaces
(Bldg. 'B') 84 spaces
(Bldg. 'C') 79 spaces
Existing Apartments xx spaces
TOTALS 251 spaces
*Residents (0.5 bicycle storage spaces/ unit)

BUILDING STATS

BUILDING 'A'
TOTAL NUMBER OF RESIDENTIAL UNITS 165 units
PARKING PROPOSED FOR RESIDENTIAL 115 spaces
Res. Parking Ratio: 0.7 spaces/ unit
GROUND FLOOR AREA 1,340m ²
no exclusions
PROPOSED GBA 16,420m ² (176,743 SF)
area to outside walls for all floors, above and below grade, including m.p.h.
RESIDENTIAL GFA 12,806m ² (137,843 SF)
per City of Ottawa Zoning By-Law 2008-250

UNIT TYPE MIX BREAKDOWN
2-STY TOWNS (w/ 2-BR) 10 (6%)
STUDIO 4 (2%)
1-BEDROOM 71 (43%)
1-BEDROOM + DEN 20 (11%)
2-BEDROOM 51 (32%)
3-BEDROOM 9 (5%)

BUILDING 'B'
TOTAL NUMBER OF RESIDENTIAL UNITS 168 units
PARKING PROPOSED FOR RESIDENTIAL 118 spaces
Res. Parking Ratio: 0.7 spaces/ unit
GROUND FLOOR AREA 1,405m ²
no exclusions
PROPOSED GBA 16,255m ² (174,967 SF)
area to outside walls for all floors, above and below grade, including m.p.h.
RESIDENTIAL GFA 13,075m ² (140,738 SF)
per City of Ottawa Zoning By-Law 2008-250

UNIT TYPE MIX BREAKDOWN
2-STY TOWNS (w/ 2-BR) 14 (8%)
STUDIO 4 (2%)
1-BEDROOM 71 (42%)
1-BEDROOM + DEN 19 (11%)
2-BEDROOM 52 (31%)
3-BEDROOM 8 (5%)

BUILDING 'C'
TOTAL NUMBER OF RESIDENTIAL UNITS 168 units
PARKING PROPOSED FOR RESIDENTIAL 118 spaces
Res. Parking Ratio: 0.7 spaces/ unit
GROUND FLOOR AREA 1,405m ²
no exclusions
PROPOSED GBA 16,255m ² (174,967 SF)
area to outside walls for all floors, above and below grade, including m.p.h.
RESIDENTIAL GFA 13,075m ² (140,738 SF)
per City of Ottawa Zoning By-Law 2008-250

UNIT TYPE MIX BREAKDOWN
2-STY TOWNS (w/ 2-BR) 14 (8%)
STUDIO 4 (2%)
1-BEDROOM 71 (42%)
1-BEDROOM + DEN 19 (11%)
2-BEDROOM 52 (31%)
3-BEDROOM 8 (5%)

PARKADE
PROPOSED GBA 600m ² (6,458 SF)
area to outside walls for all floors, above and below grade, included elevator lobby, mechanical and electrical rooms at-grade, parking decks excluded

BUILDING 'A'		
FLOOR	COUNT	GFA m ² (SF)
BASEMENT	-	-
GROUND FLOOR	10	442m ² (4,758 SF)
2 FL	1	594m ² (6,394 SF)
3 FL	11	880m ² (9,472 SF)
4 FL	11	880m ² (9,472 SF)
5 FL	11	880m ² (9,472 SF)
6 FL	11	880m ² (9,472 SF)
7 FL	10	750m ² (8,073 SF)
8 FL	10	750m ² (8,073 SF)
9 FL	10	750m ² (8,073 SF)
10 FL	10	750m ² (8,073 SF)
11 FL	10	750m ² (8,073 SF)
12 FL	10	750m ² (8,073 SF)
13 FL	10	750m ² (8,073 SF)
14 FL	10	750m ² (8,073 SF)
15 FL	10	750m ² (8,073 SF)
16 FL	10	750m ² (8,073 SF)
17 FL	10	750m ² (8,073 SF)
TOTALS	165	12,806m² (137,843 SF)

BUILDING 'B'		
FLOOR	COUNT	GFA m ² (SF)
BASEMENT	-	-
GROUND FLOOR	14	617m ² (6,641 SF)
2 FL	-	688m ² (7,406 SF)
3 FL	11	880m ² (9,472 SF)
4 FL	11	880m ² (9,472 SF)
5 FL	11	880m ² (9,472 SF)
6 FL	11	880m ² (9,472 SF)
7 FL	10	750m ² (8,073 SF)
8 FL	10	750m ² (8,073 SF)
9 FL	10	750m ² (8,073 SF)
10 FL	10	750m ² (8,073 SF)
11 FL	10	750m ² (8,073 SF)
12 FL	10	750m ² (8,073 SF)
13 FL	10	750m ² (8,073 SF)
14 FL	10	750m ² (8,073 SF)
15 FL	10	750m ² (8,073 SF)
16 FL	10	750m ² (8,073 SF)
17 FL	10	750m ² (8,073 SF)
TOTALS	168	13,075m² (140,738 SF)

BUILDING 'C'		
FLOOR	COUNT	GFA m ² (SF)
BASEMENT	-	-
GROUND FLOOR	14	617m ² (6,641 SF)
2 FL	-	688m ² (7,406 SF)
3 FL	11	880m ² (9,472 SF)
4 FL	11	880m ² (9,472 SF)
5 FL	11	880m ² (9,472 SF)
6 FL	11	880m ² (9,472 SF)
7 FL	10	750m ² (8,073 SF)
8 FL	10	750m ² (8,073 SF)
9 FL	10	750m ² (8,073 SF)
10 FL	10	750m ² (8,073 SF)
11 FL	10	750m ² (8,073 SF)
12 FL	10	750m ² (8,073 SF)
13 FL	10	750m ² (8,073 SF)
14 FL	10	750m ² (8,073 SF)
15 FL	10	750m ² (8,073 SF)
16 FL	10	750m ² (8,073 SF)
17 FL	10	750m ² (8,073 SF)
TOTALS	168	13,075m² (140,738 SF)

*Residential Gross Floor Area is calculated based on the City of Ottawa Consolidated Zoning By-Law 2008-250

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STATISTICS & CONTEXT PLANS

SCALE: AS NOTED

PROPOSED MULTI-FAMILY RESIDENTIAL DEVELOPMENT
 1971 & 1975 ST. LAURENT BLVD.
 OTTAWA, ONTARIO
 FOR: STARLIGHT DEVELOPMENTS

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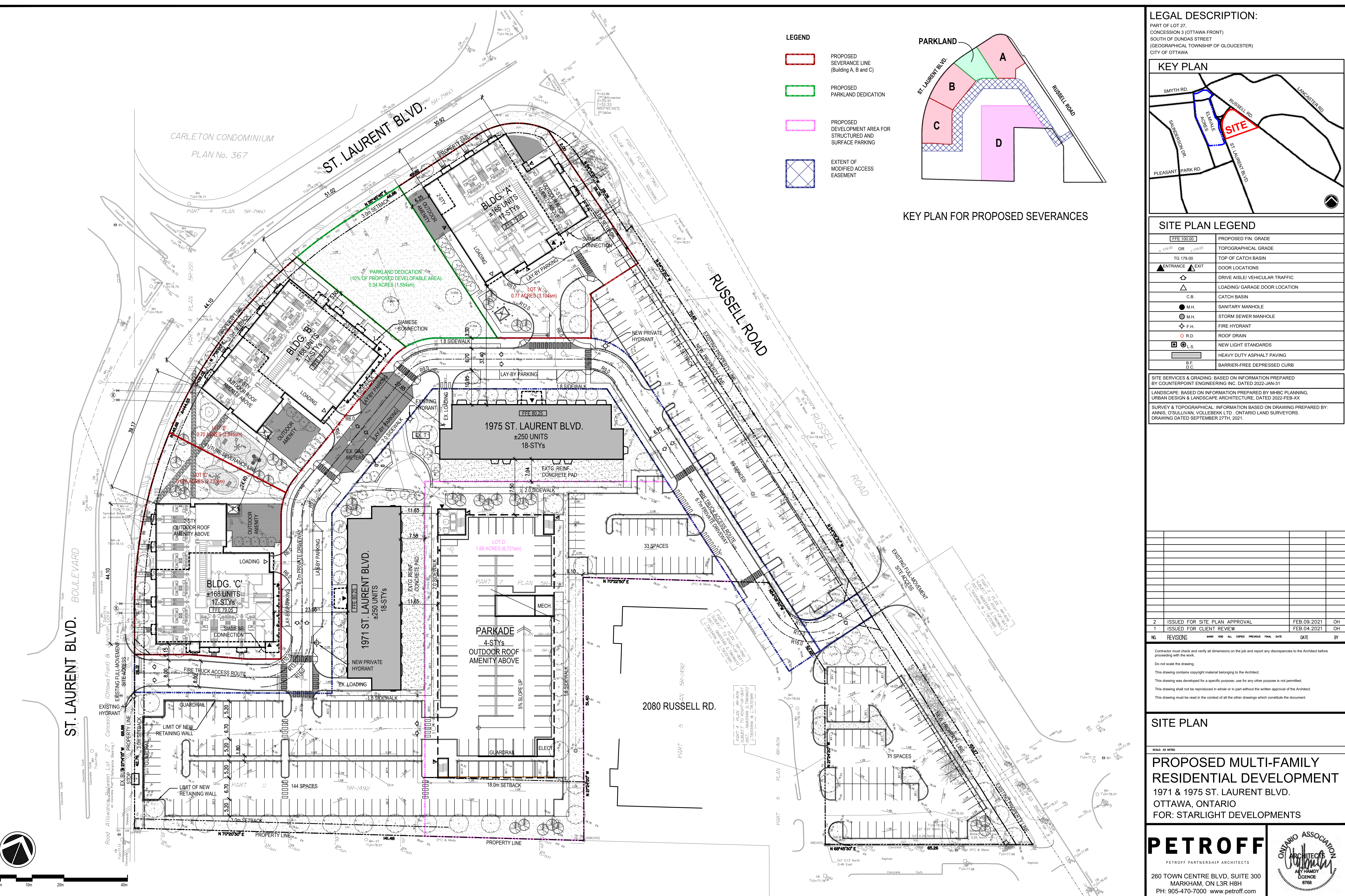
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 ALLY RAMMO
 LICENCE 6768

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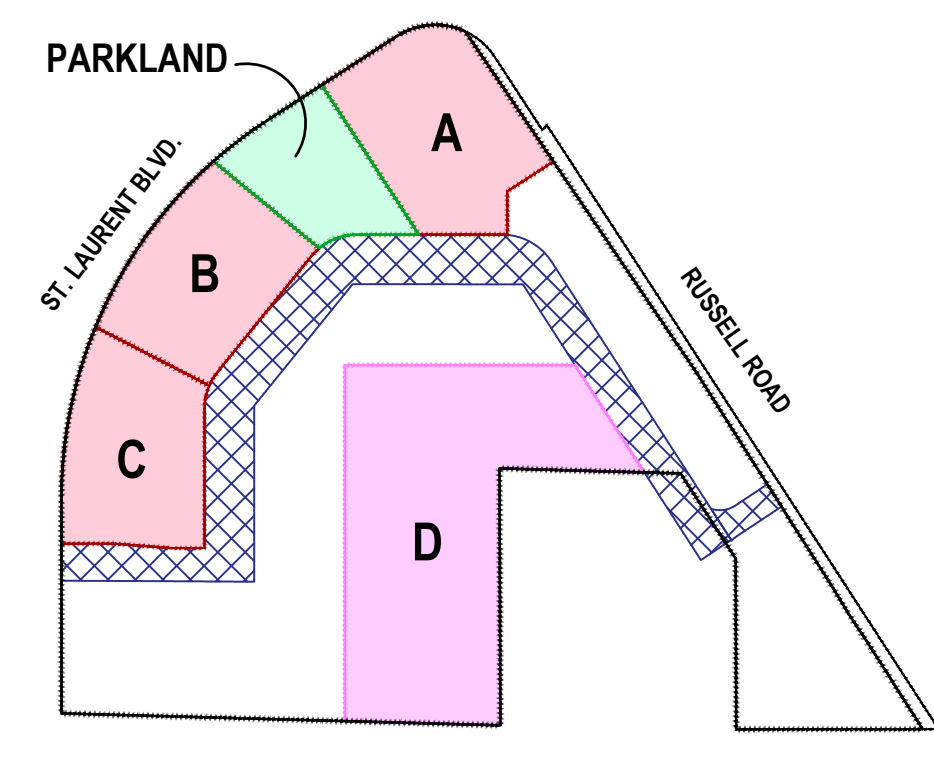


1 SITE PLAN
A101 SCALE: 1:500



LEGEND

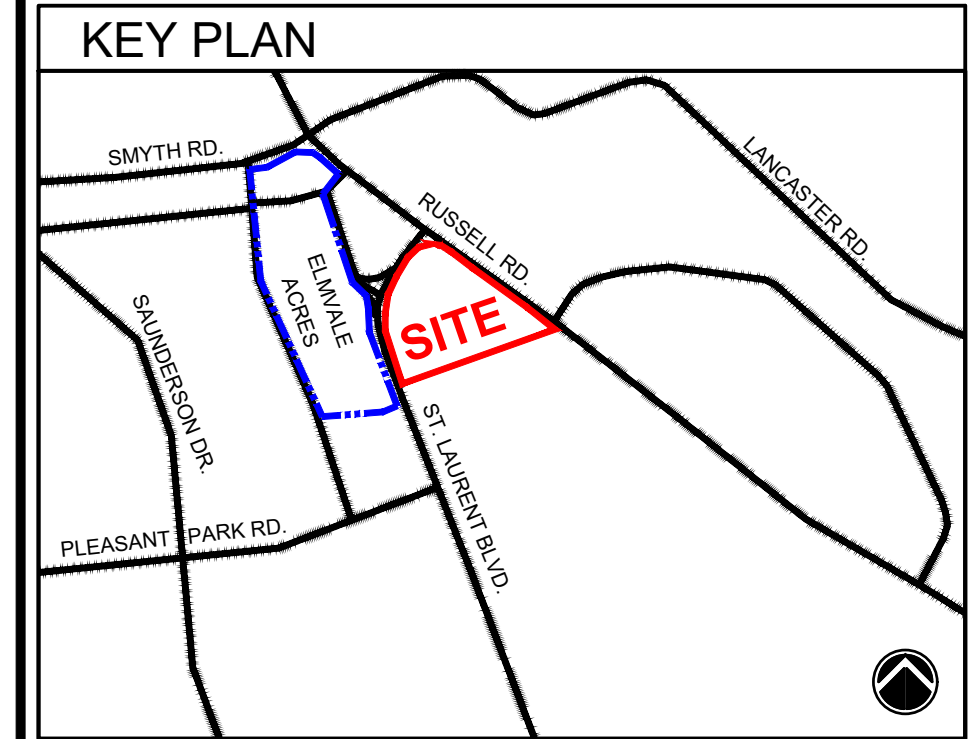
- PROPOSED SEVERANCE LINE (Building A, B and C)
- PROPOSED PARKLAND DEDICATION
- PROPOSED DEVELOPMENT AREA FOR STRUCTURED AND SURFACE PARKING
- EXTENT OF MODIFIED ACCESS EASEMENT



KEY PLAN FOR PROPOSED SEVERANCES

LEGAL DESCRIPTION:

PART OF LOT 27,
CONCESSION 3 (OTTAWA FRONT)
SOUTH OF DUNDAS STREET
(GEOGRAPHICAL TOWNSHIP OF GLOUCESTER)
CITY OF OTTAWA



SITE PLAN LEGEND

 FFE 100.00	PROPOSED FIN. GRADE
 TG 179.60	TOPOGRAPHICAL GRADE
 TOP OF CATCH BASIN	TOP OF CATCH BASIN
 DOOR LOCATIONS	DOOR LOCATIONS
 DRIVE AISLE/VEHICULAR TRAFFIC	DRIVE AISLE/VEHICULAR TRAFFIC
 LOADING/GARAGE DOOR LOCATION	LOADING/GARAGE DOOR LOCATION
 C.B.	CATCH BASIN
 M.H.	SANITARY MANHOLE
 M.H.	STORM SEWER MANHOLE
 F.H.	FIRE HYDRANT
 R.D.	ROOF DRAIN
 L.S.	NEW LIGHT STANDARDS
	HEAVY DUTY ASPHALT PAVING
	BARRIER-FREE DEPRESSED CURB

SITE SERVICES & GRADING: BASED ON INFORMATION PREPARED BY COUNTERPOINT ENGINEERING INC. DATED 2022-JAN-31
 LANDSCAPE: BASED ON INFORMATION PREPARED BY MHBC PLANNING, URBAN DESIGN & LANDSCAPE ARCHITECTURE, DATED 2022-FEB-XX
 SURVEY & TOPOGRAPHICAL INFORMATION BASED ON DRAWING PREPARED BY ANNIS, O'SULLIVAN, VOLLEBEK LTD., ONTARIO LAND SURVEYORS, DRAWING DATED SEPTEMBER 27TH, 2021.

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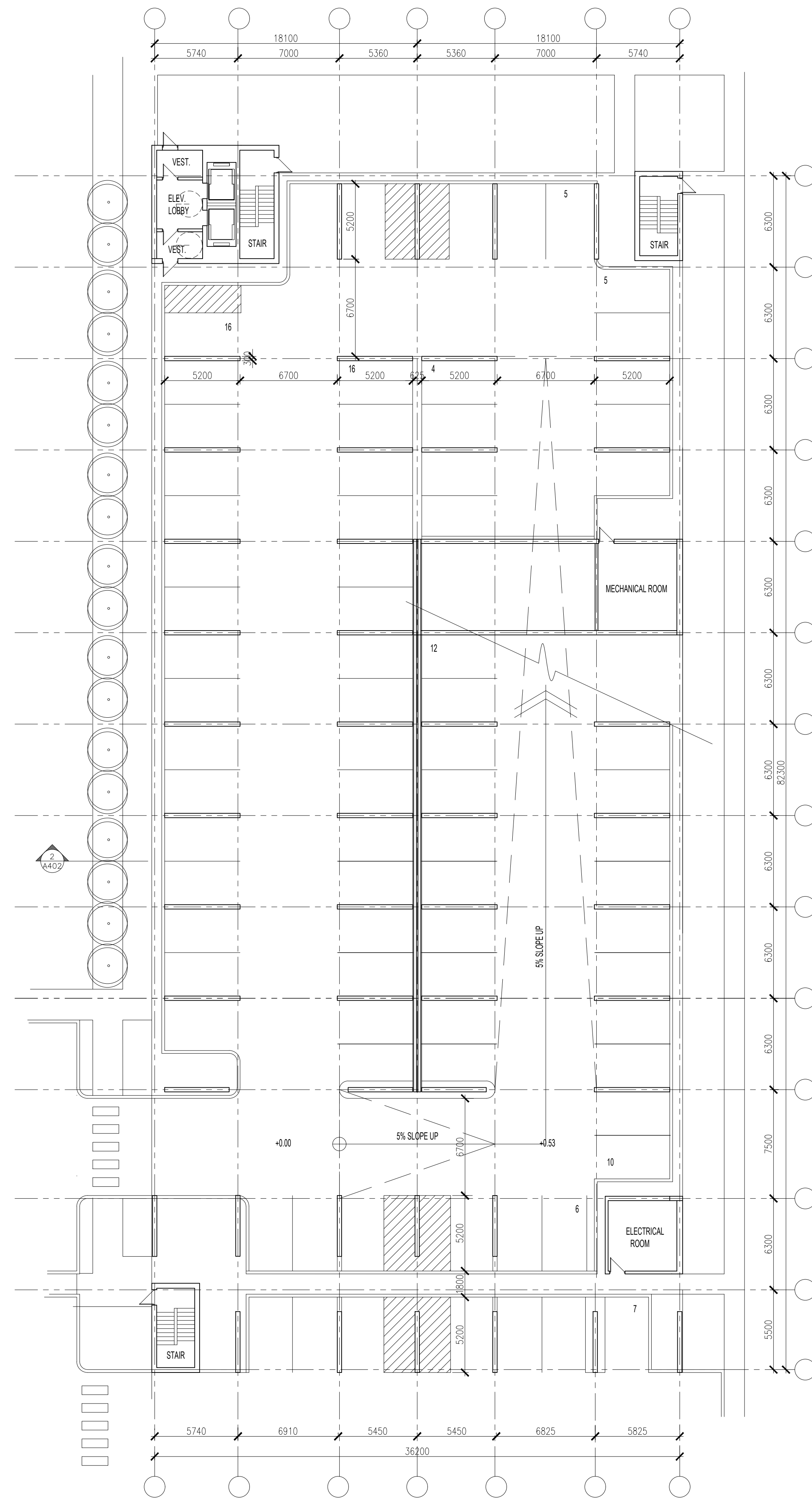
SITE PLAN

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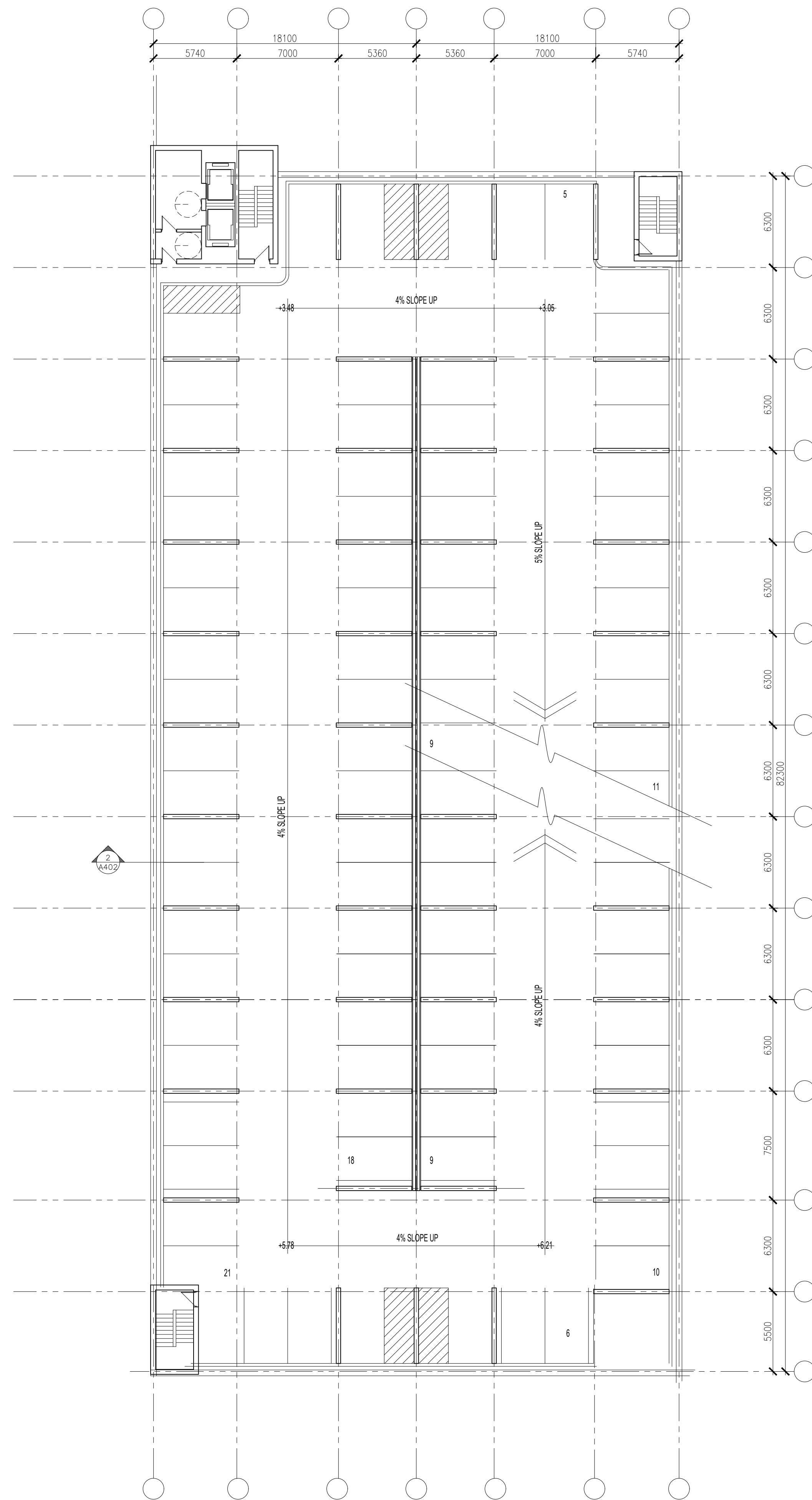
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1 PARKADE GROUND FLOOR
A201 SCALE: 1:200



2 PARKADE 2FL/ 3 FL PLAN
A201 SCALE: 1:200

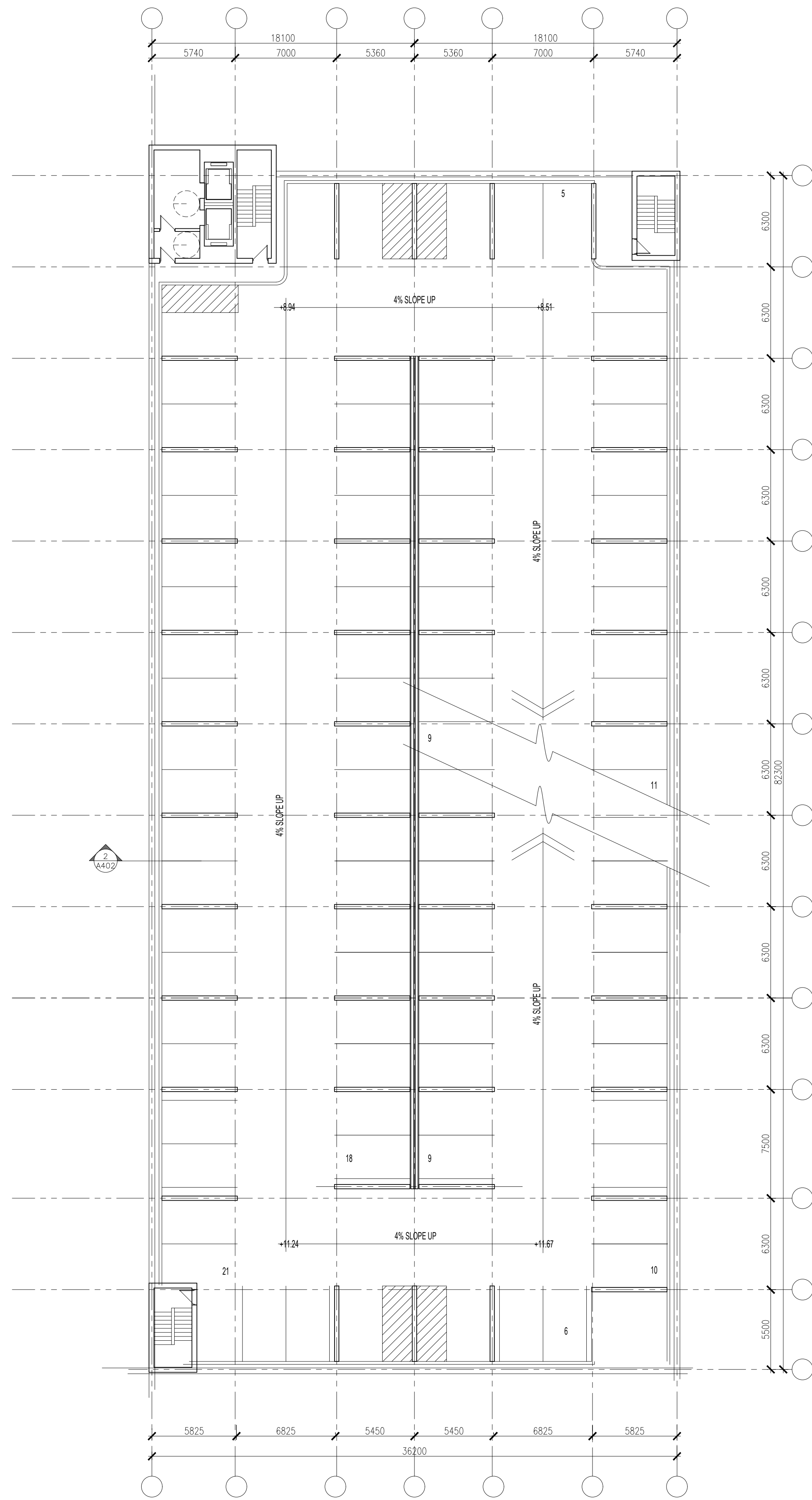
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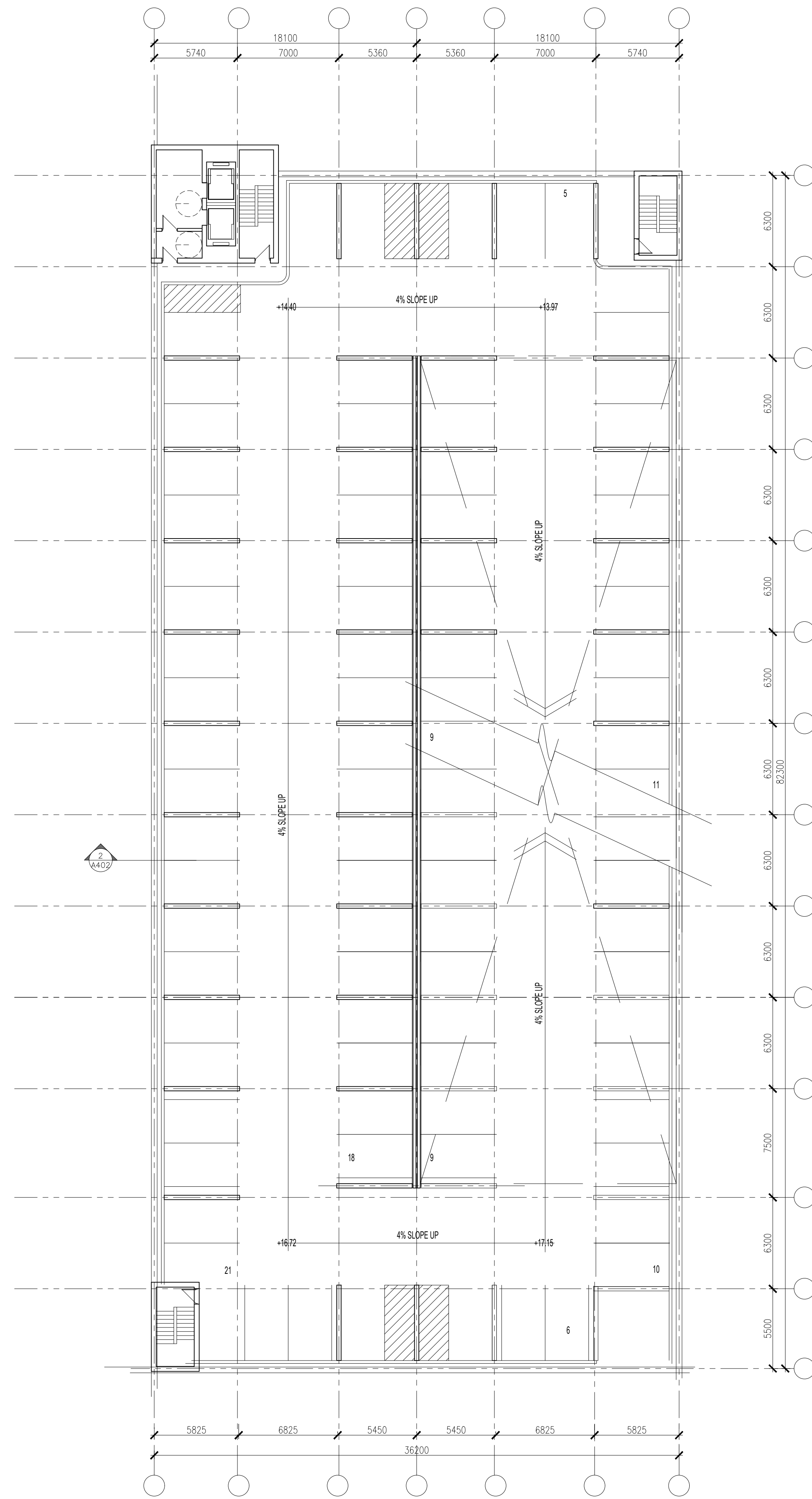
PARKADE FLOOR PLANS
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1 PARKADE 3 FL/ 4TH PLAN
A202 SCALE: 1:200



2 PARKADE 4FL PLAN
A202 SCALE: 1:200

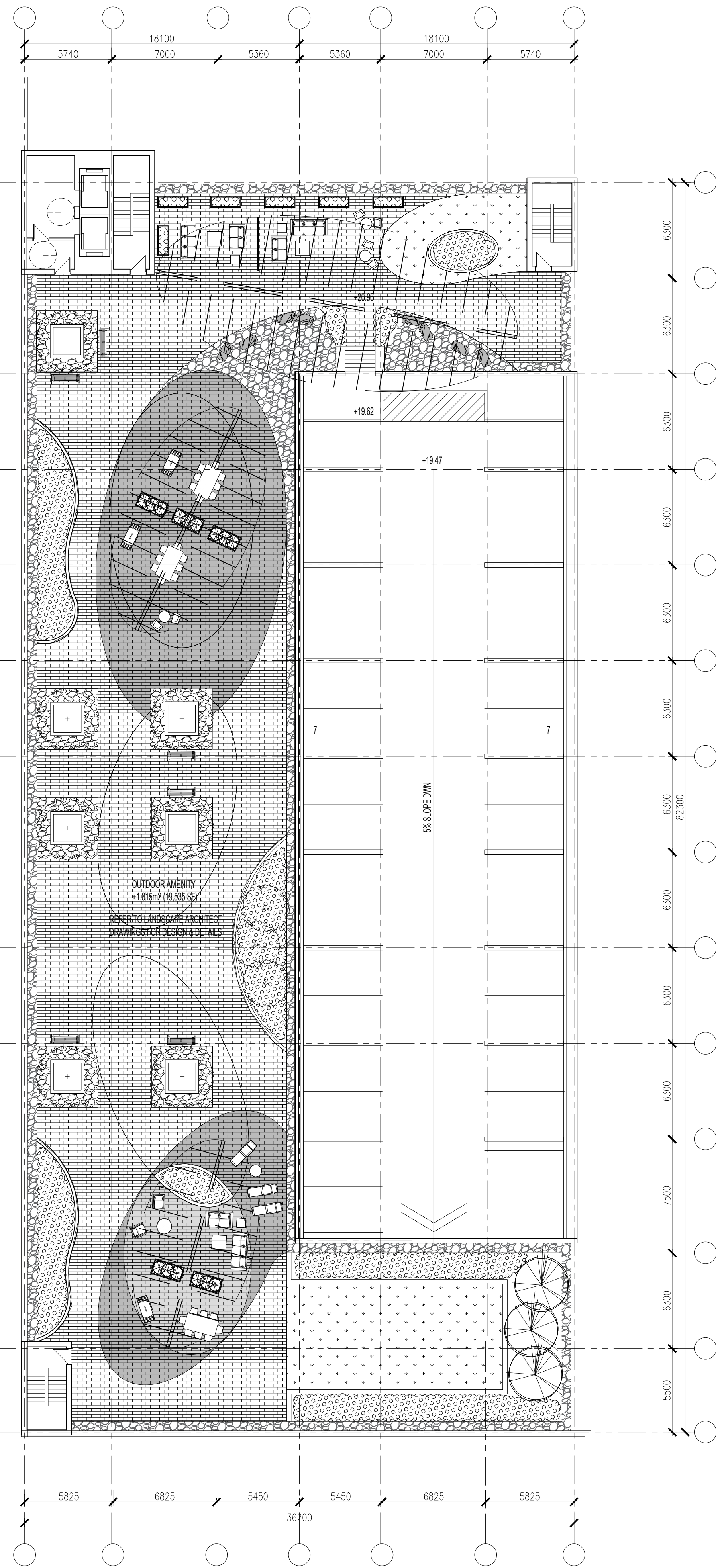
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1 PARKADE OUTDOOR AMENITY ROOF PLAN
SCALE: 1:200

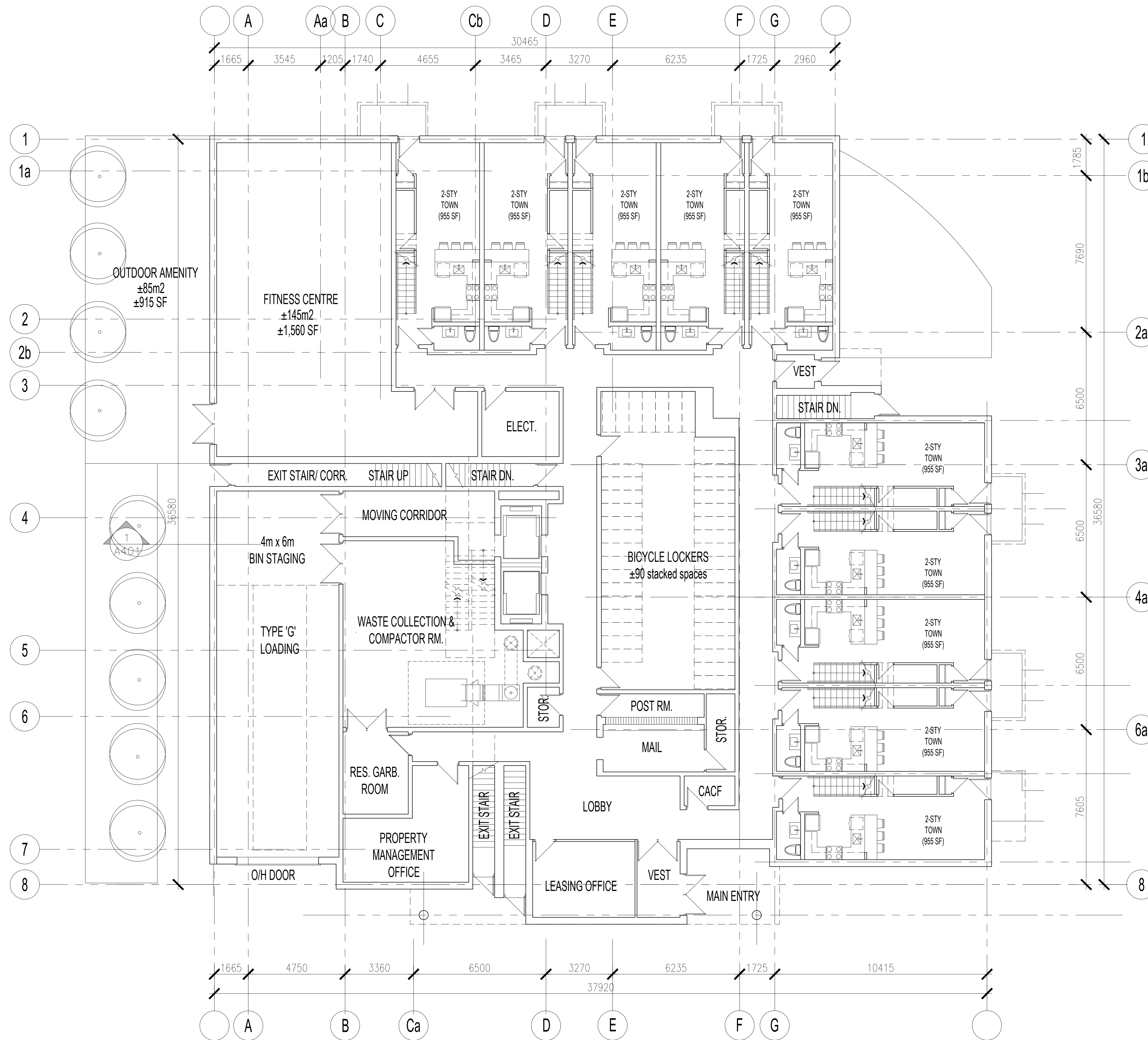
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BUILDING 'A'
GROUND FLOOR PLAN

SCALE: AS NOTED

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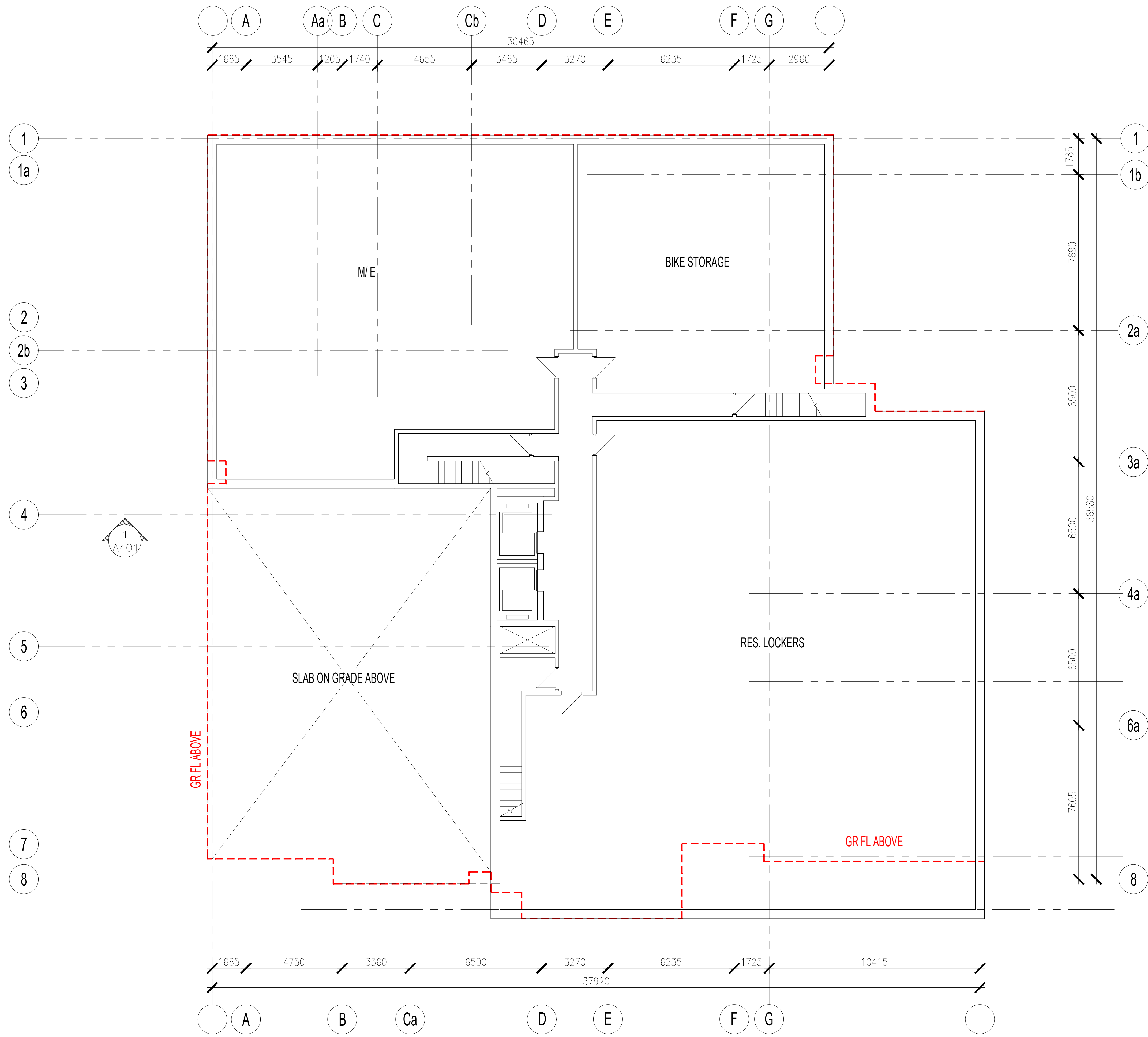
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 ARCHITECT
 ALLY RAMMOY
 LICENCE 6768

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1 BUILDING 'A' - GROUND FLOOR
 SCALE: 1:100




1 BUILDING 'A' - BASEMENT FLOOR
A212 SCALE: 1:100

NO.	REVISIONS	DATE	BY
2	ISSUED FOR SITE PLAN APPROVAL	FEB.09.2021	OH
1	ISSUED FOR CLIENT REVIEW	FEB.04.2021	OH

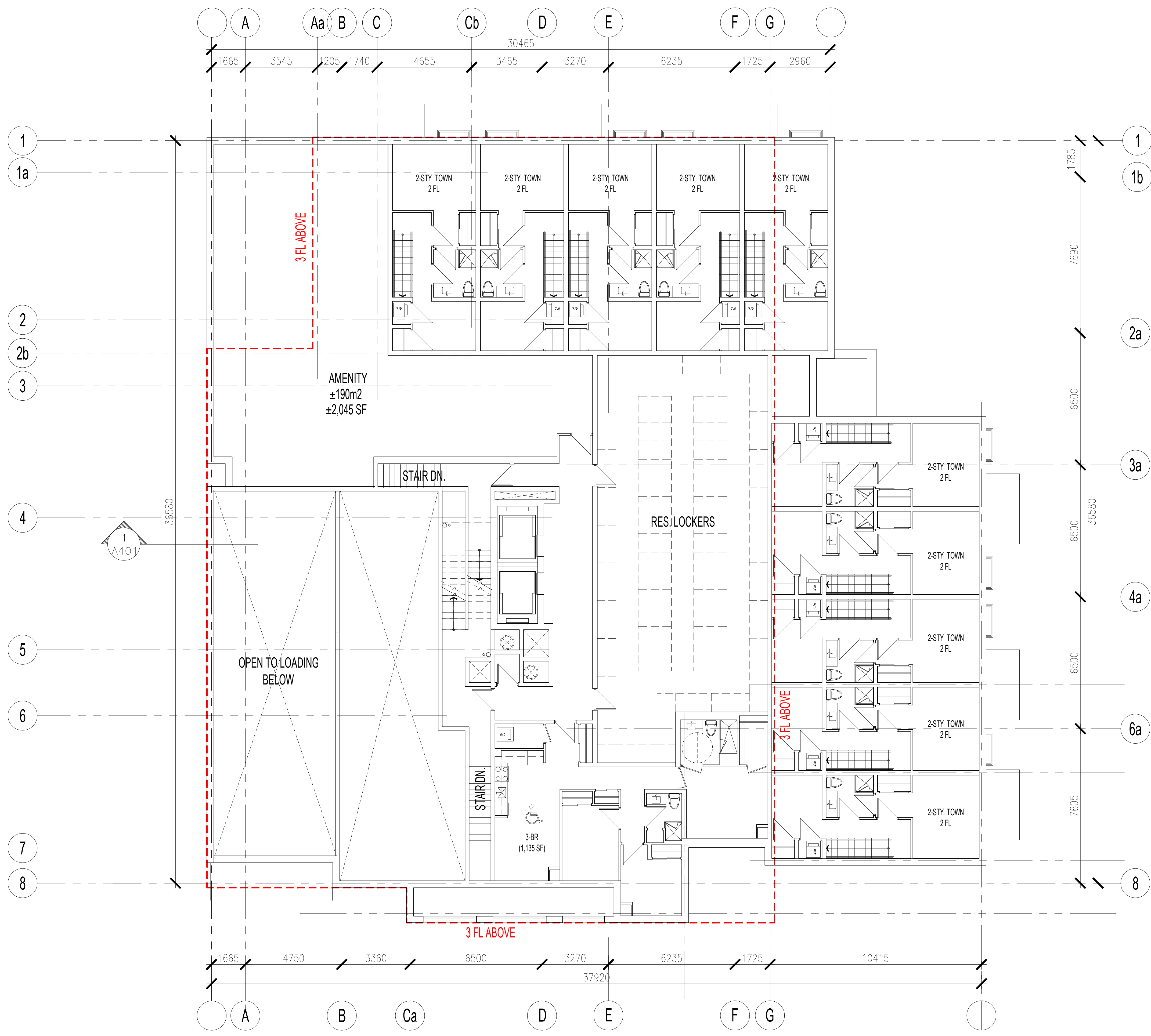
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BUILDING 'A'
BASEMENT FLOOR PLAN
SCALE AS NOTED
PROPOSED MULTI-FAMILY RESIDENTIAL DEVELOPMENT
1971 & 1975 ST. LAURENT BLVD.
OTTAWA, ONTARIO
FOR: STARLIGHT DEVELOPMENTS

PETROFF
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1 BUILDING 'A' - 2ND FLOOR
A213 SCALE: 1:100

NO.	REVISIONS	DATE	BY
2	ISSUED FOR SITE PLAN APPROVAL	FEB.09.2021	OH
1	ISSUED FOR CLIENT REVIEW	FEB.04.2021	OH

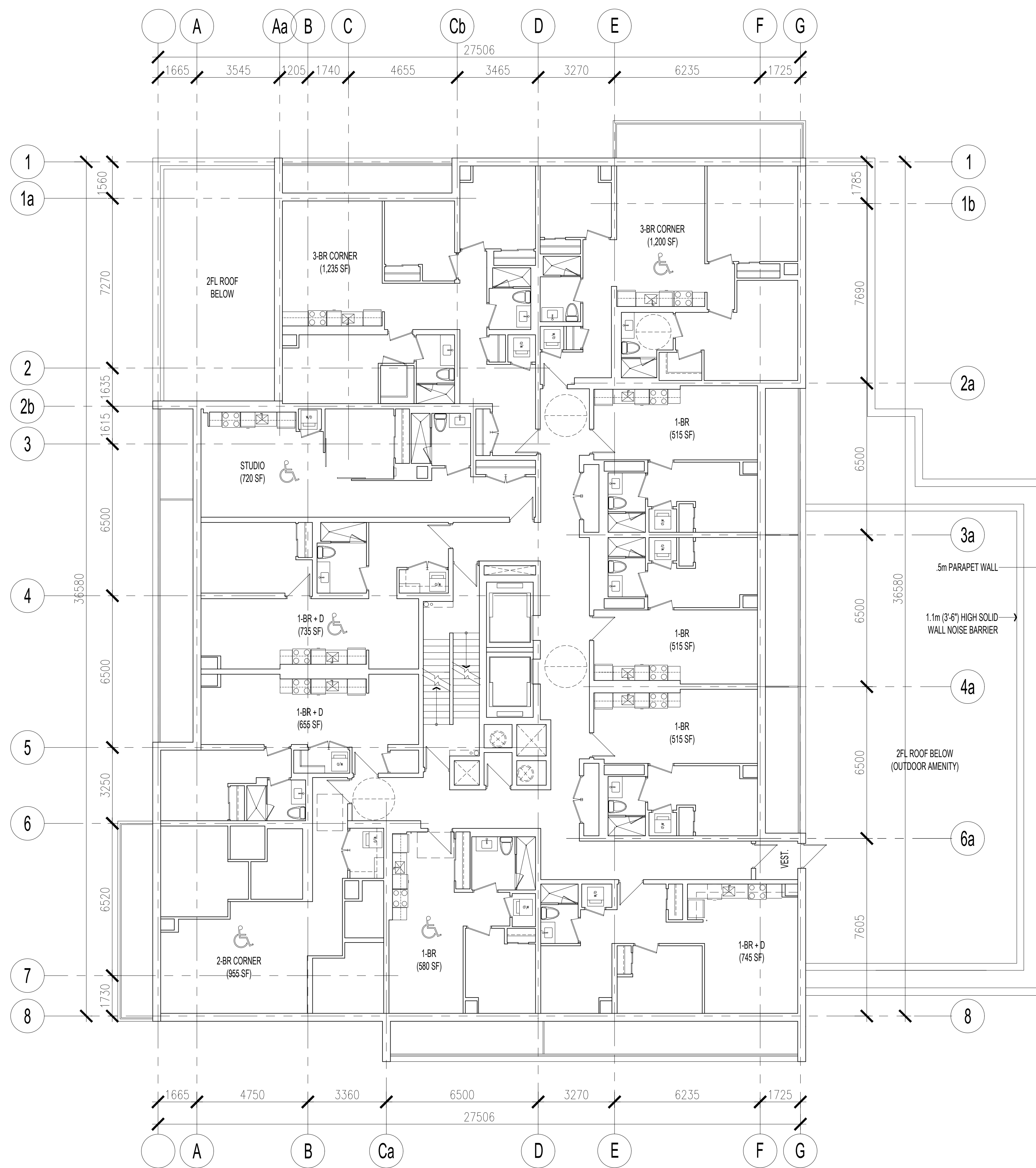
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BUILDING 'A'
2ND FLOOR PLAN
SCALE AS NOTED
**PROPOSED MULTI-FAMILY
RESIDENTIAL DEVELOPMENT**
1971 & 1975 ST. LAURENT BLVD.
OTTAWA, ONTARIO
FOR: STARLIGHT DEVELOPMENTS

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DATE:			
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1 BUILDING 'A' - 3FL FLOOR
 A214 SCALE: 1:100

NO.	REVISIONS	DATE	BY
2	ISSUED FOR SITE PLAN APPROVAL	FEB.09.2021	OH
1	ISSUED FOR CLIENT REVIEW	FEB.04.2021	OH

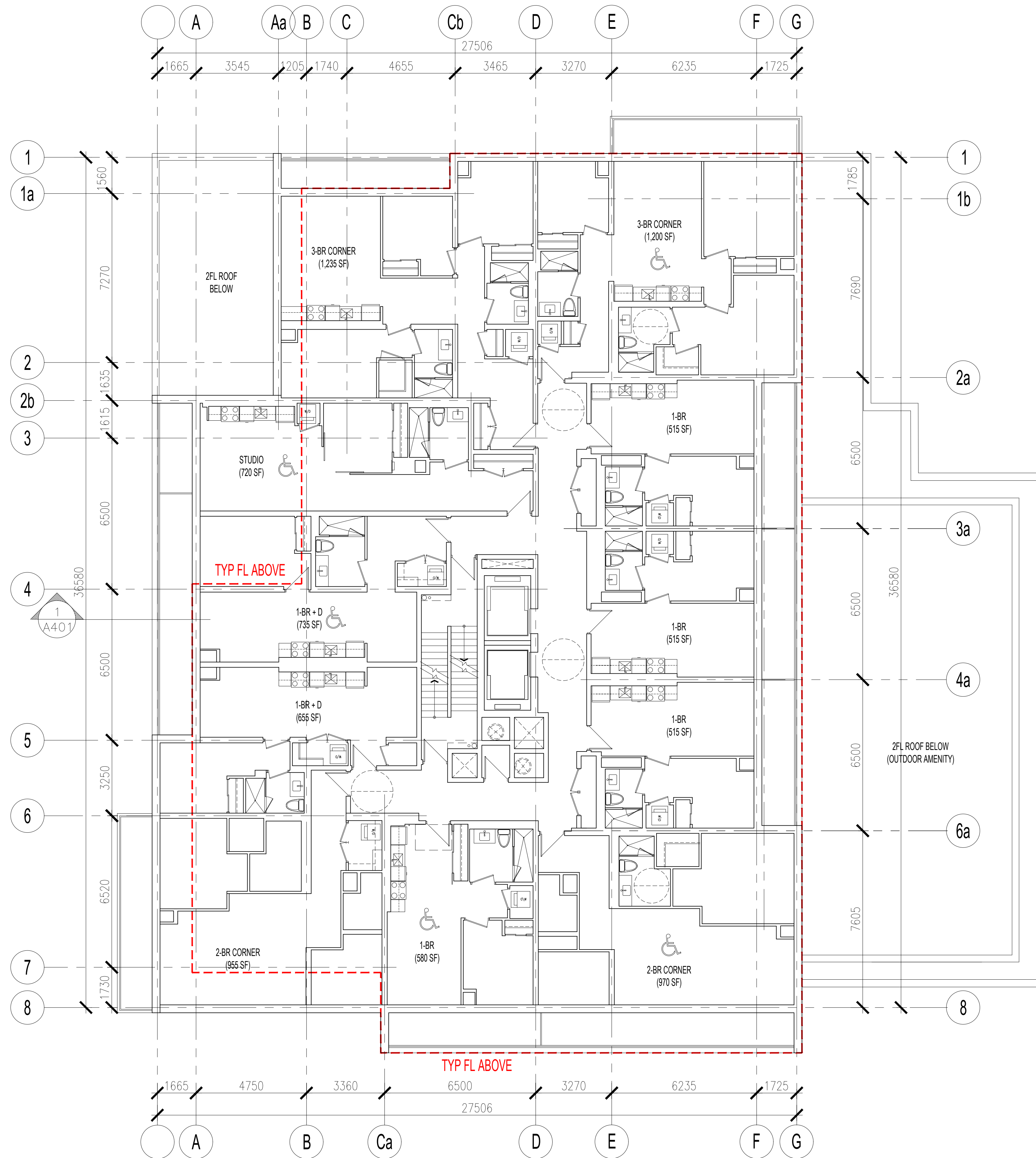
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BUILDING 'A'
3RD FLOOR PLAN

SCALE: AS NOTED
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DATE:			
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1 BUILDING 'A' - 4TH TO 6TH FL PLAN
 A215 SCALE: 1:100

NO.	REVISIONS	DATE	BY
2	ISSUED FOR SITE PLAN APPROVAL	FEB. 09. 2021	OH
1	ISSUED FOR CLIENT REVIEW	FEB. 04. 2021	OH

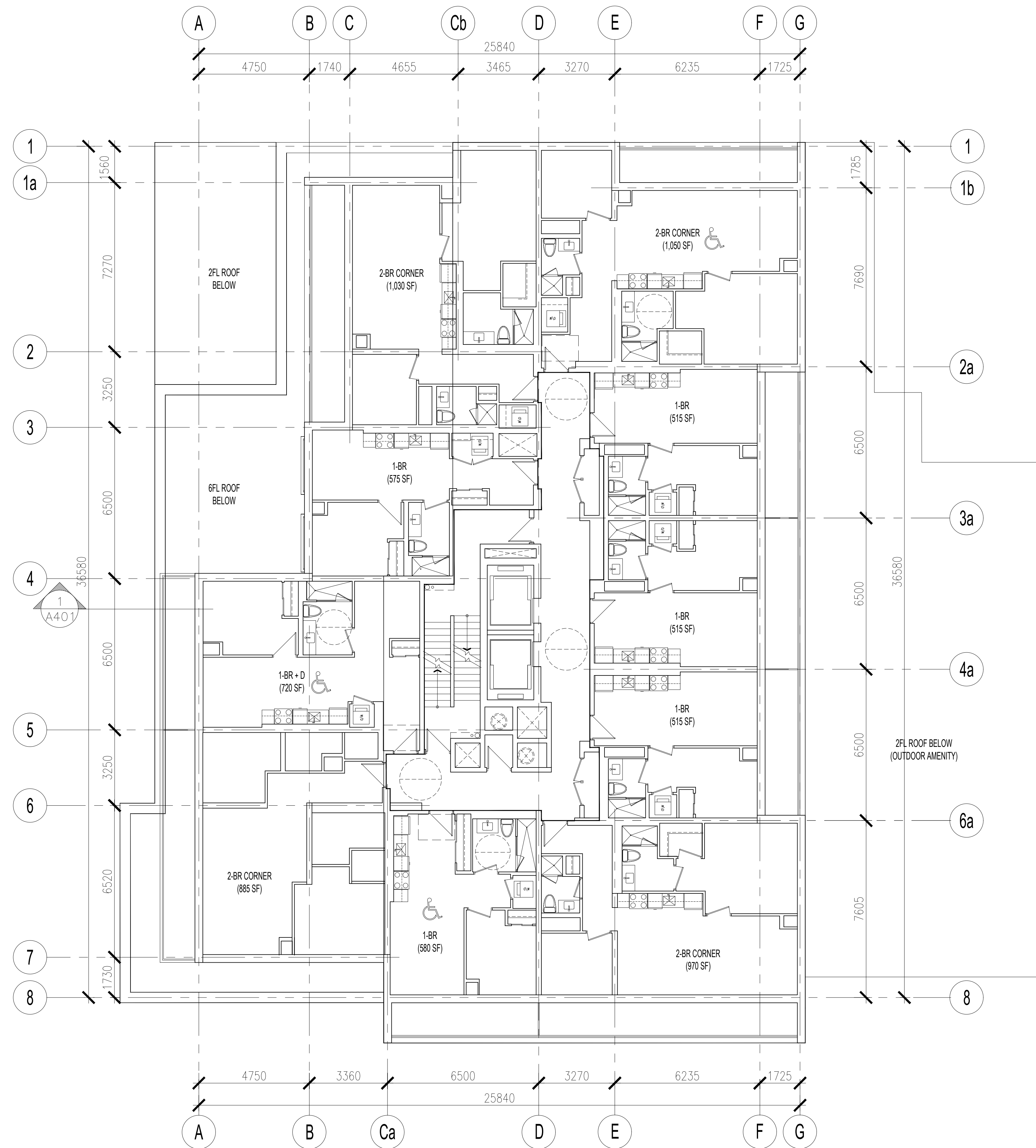
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BUILDING 'A'
4TH TO 6TH FLOOR PLAN
 SCALE AS NOTED
**PROPOSED MULTI-FAMILY
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DATE:			
ISSUED:			



1 BUILDING 'A' - 7TH TO 17TH FL PLAN
 A216 SCALE: 1:100

NO.	REVISIONS	DATE	BY
2	ISSUED FOR SITE PLAN APPROVAL	FEB. 09. 2021	OH
1	ISSUED FOR CLIENT REVIEW	FEB. 04. 2021	OH

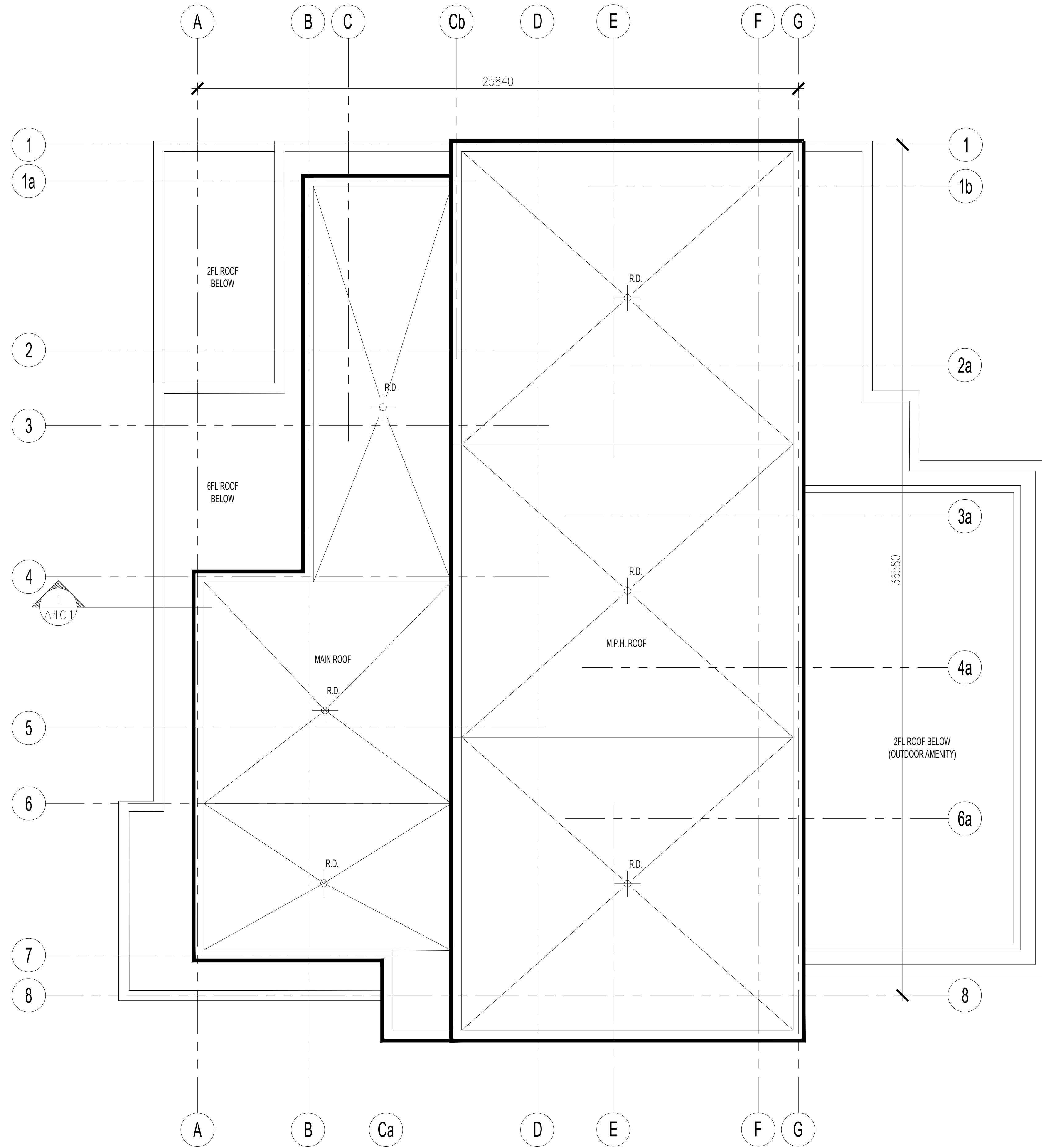
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BUILDING 'A'
7TH TO 17TH FLOOR PLAN
 SCALE: AS NOTED
**PROPOSED MULTI-FAMILY
 RESIDENTIAL DEVELOPMENT**
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1 BUILDING 'A' - ROOF PLAN
 A217 SCALE: 1:100

NO.	REVISIONS	DATE	BY
2	ISSUED FOR SITE PLAN APPROVAL	FEB. 09. 2021	OH
1	ISSUED FOR CLIENT REVIEW	FEB. 04. 2021	OH

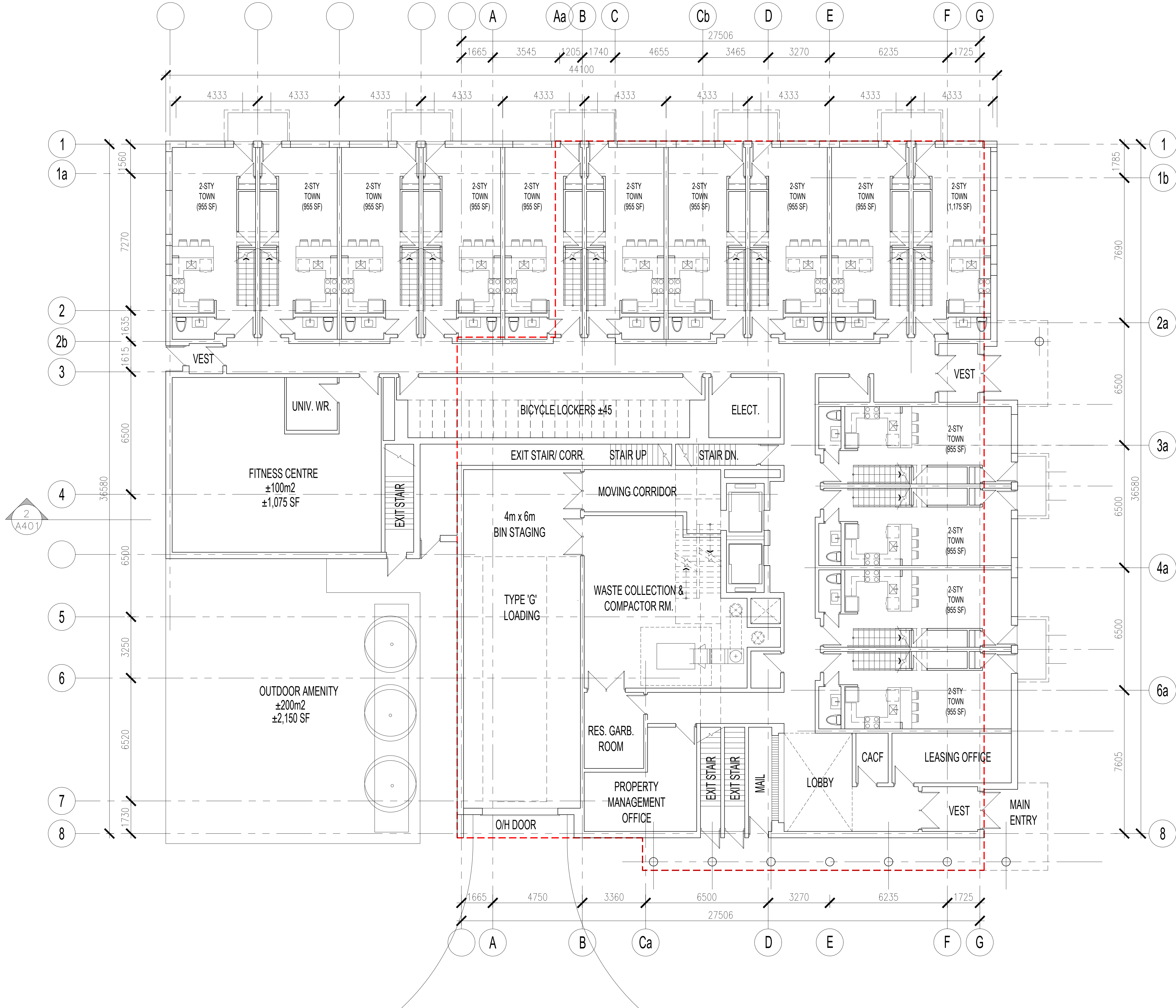
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BUILDING 'A'
ROOF PLAN
SCALE: AS NOTED
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 RESIDENTIAL DEVELOPMENT**
 1971 & 1975 ST. LAURENT BLVD.
 OTTAWA, ONTARIO
 FOR: STARLIGHT DEVELOPMENTS

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DATE:			
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1 BUILDING 'B' - GROUND FLOOR
 A221 SCALE: 1:100

NO.	REVISIONS	DATE	BY
2	ISSUED FOR SITE PLAN APPROVAL	FEB. 09. 2021	OH
1	ISSUED FOR CLIENT REVIEW	FEB. 04. 2021	OH

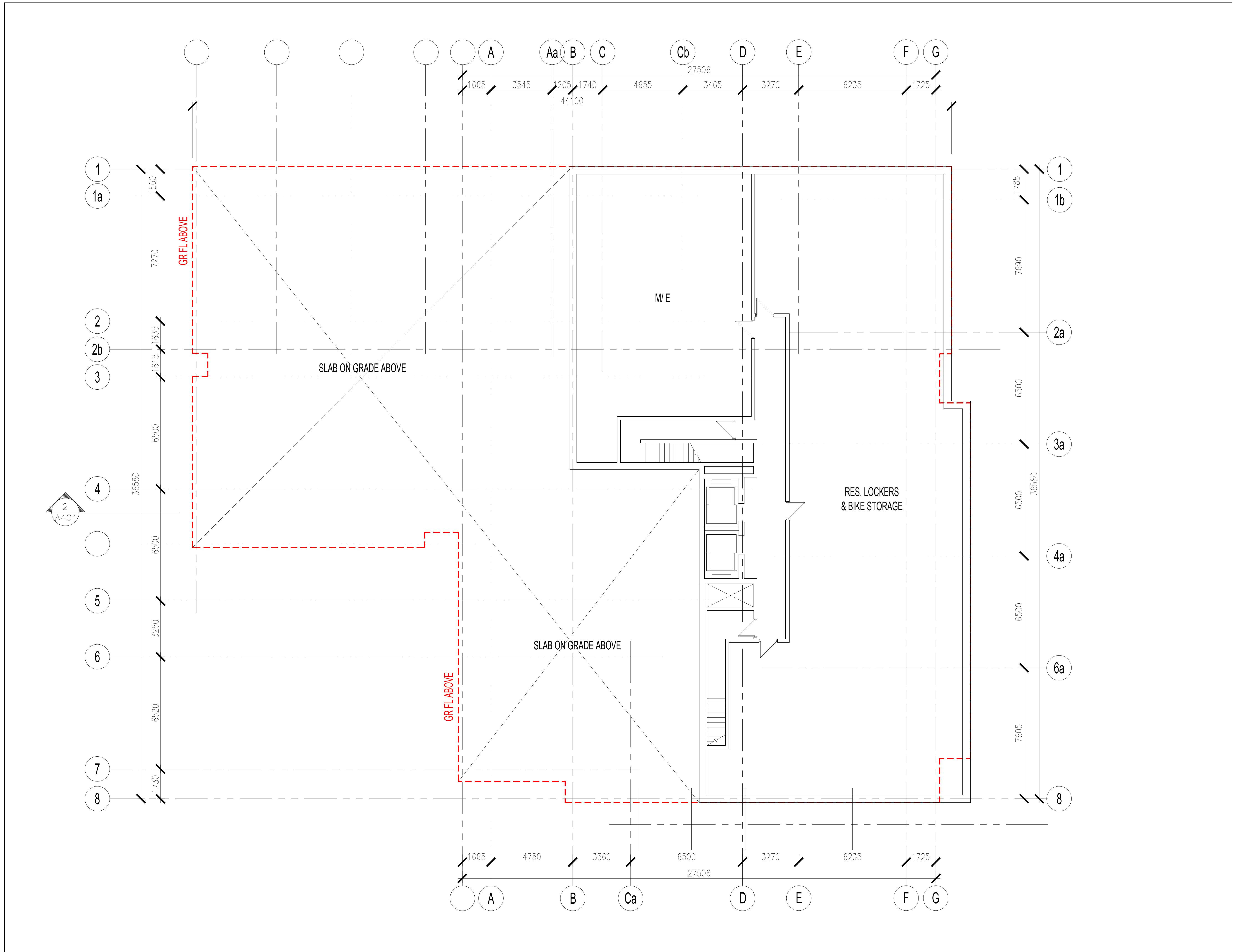
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GROUND FLOOR PLAN
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 1971 & 1975 ST. LAURENT BLVD.
 OTTAWA, ONTARIO
 FOR: STARLIGHT DEVELOPMENTS

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1 BUILDING 'B' - 2ND FLOOR
A222 SCALE: 1:100

NO.	REVISIONS	DATE	BY
2	ISSUED FOR SITE PLAN APPROVAL	FEB.09.2021	OH
1	ISSUED FOR CLIENT REVIEW	FEB.04.2021	OH

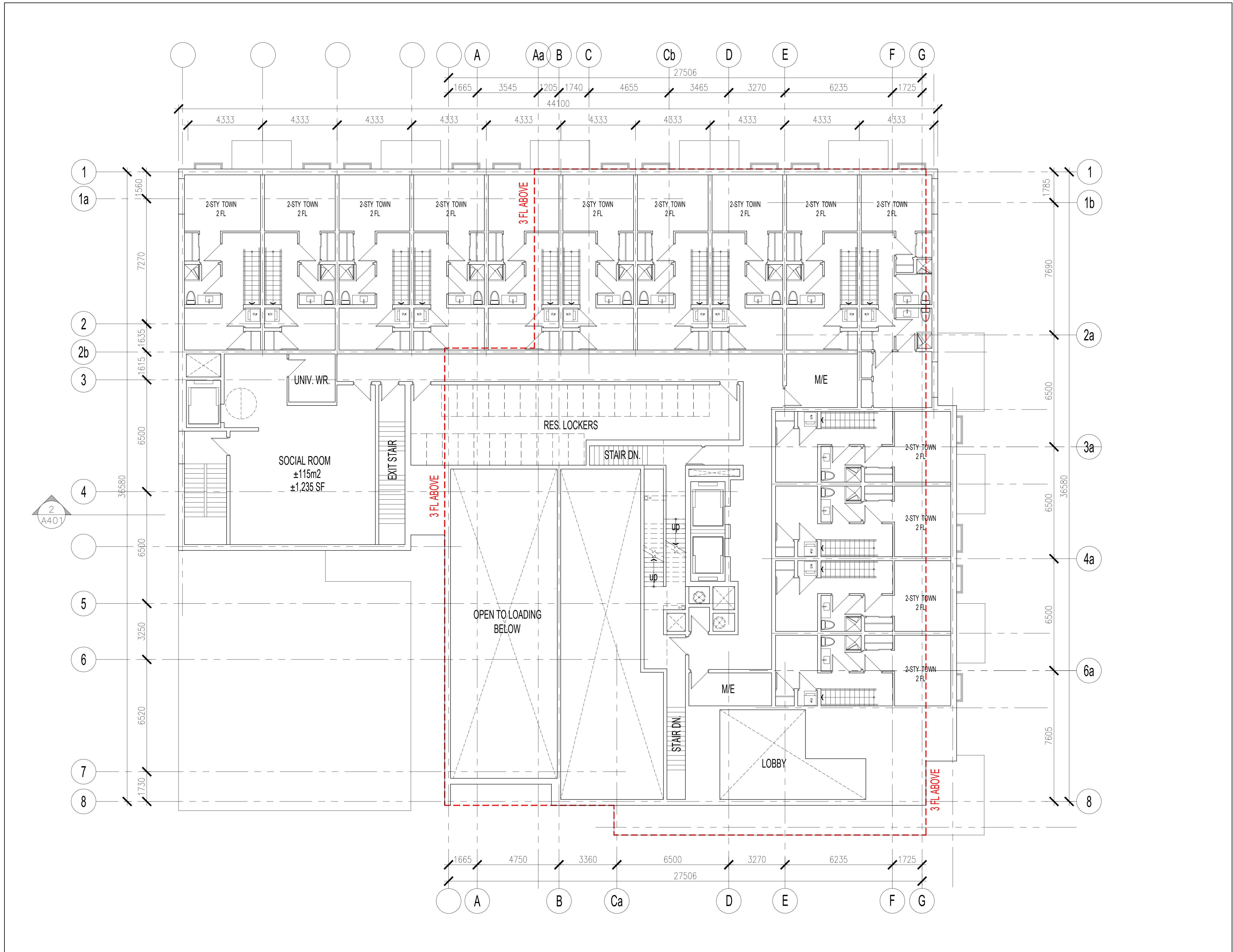
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BUILDING 'B'
2ND FLOOR PLAN
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1971 & 1975 ST. LAURENT BLVD.
OTTAWA, ONTARIO
FOR: STARLIGHT DEVELOPMENTS

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DATE:			
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1 BUILDING 'B' - 2ND FLOOR
A223 SCALE: 1:100

NO.	REVISIONS	DATE	BY
2	ISSUED FOR SITE PLAN APPROVAL	FEB.09.2021	OH
1	ISSUED FOR CLIENT REVIEW	FEB.04.2021	OH

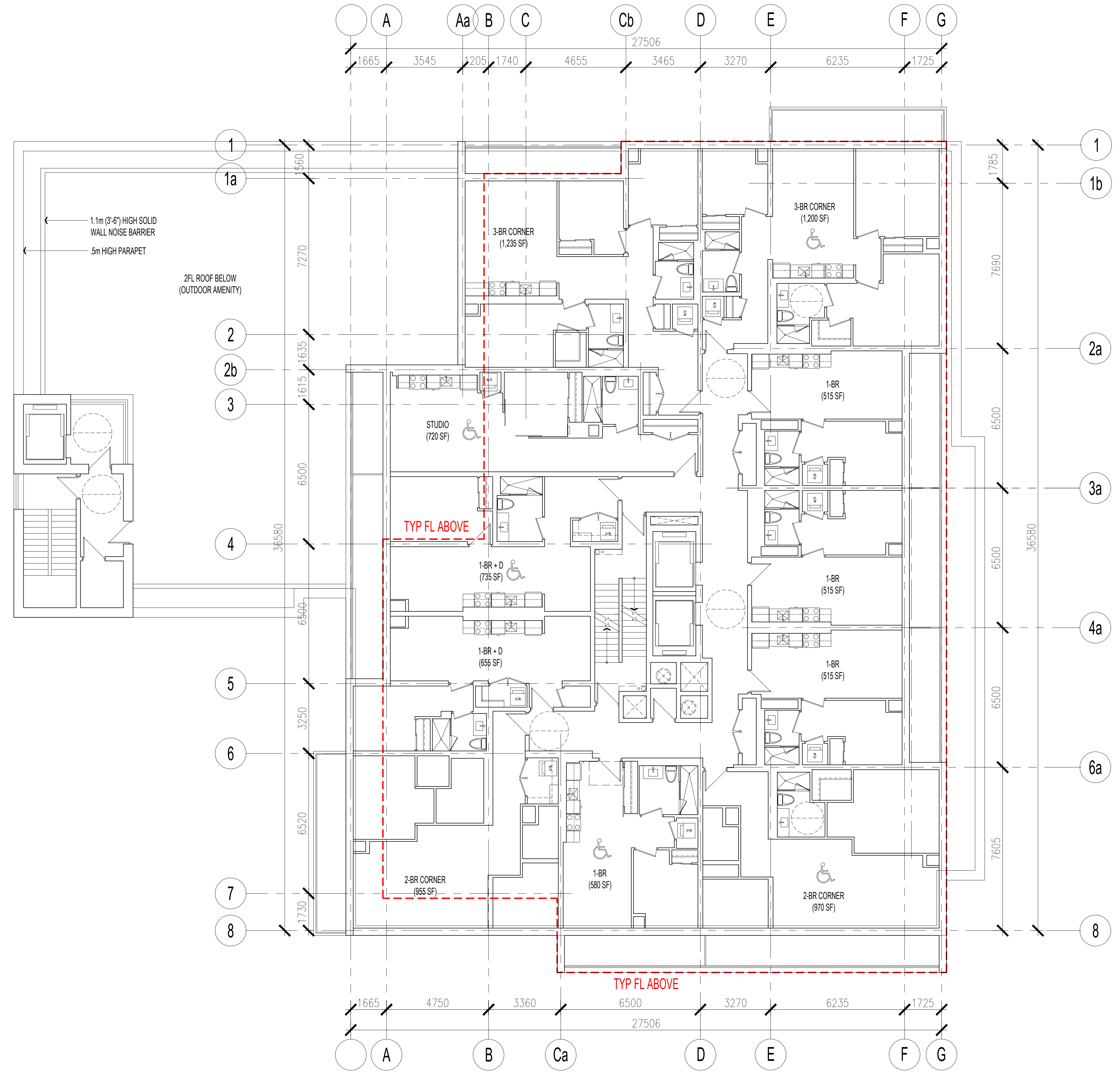
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BUILDING 'B'
2ND FLOOR PLAN
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1971 & 1975 ST. LAURENT BLVD.
OTTAWA, ONTARIO
FOR: STARLIGHT DEVELOPMENTS

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DATE:			
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1 BUILDING 'B' - 3RD TO 6TH FL PLAN
 A224 SCALE: 1:100

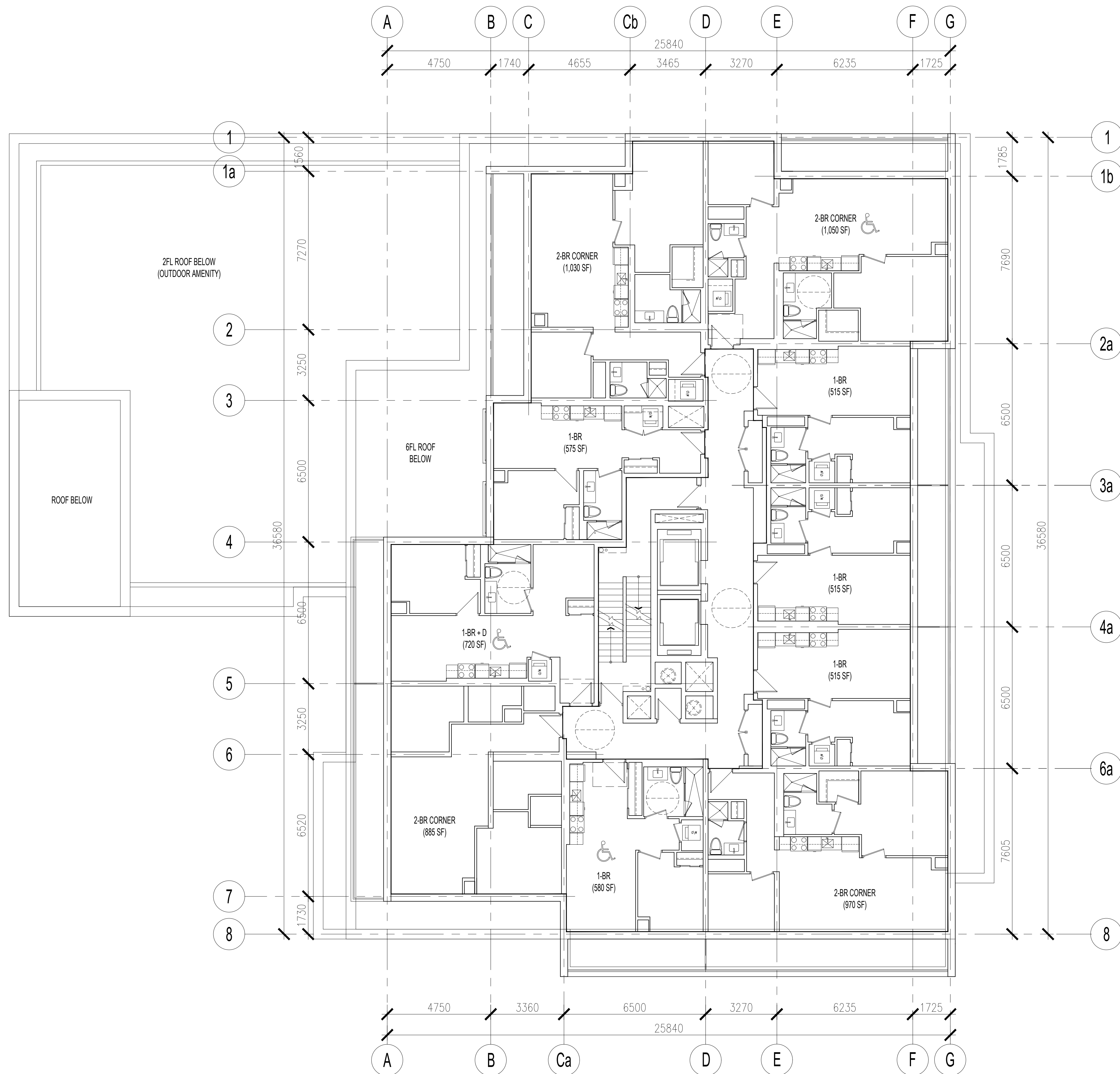
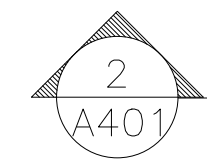
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2	ISSUED FOR SITE PLAN APPROVAL	FEB.09.2021	OH
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BUILDING 'B'
3RD TO 6TH FLOOR PLAN
 SCALE: AS NOTED
**PROPOSED MULTI-FAMILY
 RESIDENTIAL DEVELOPMENT**
 1971 & 1975 ST. LAURENT BLVD.
 OTTAWA, ONTARIO
 FOR: STARLIGHT DEVELOPMENTS

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DATE:			
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1 BUILDING 'B' - 7TH TO 17TH FL PLAN
SCALE: 1:100

NO.	REVISIONS	DATE	BY
2	ISSUED FOR SITE PLAN APPROVAL	FEB.09.2021	OH
1	ISSUED FOR CLIENT REVIEW	FEB.04.2021	OH

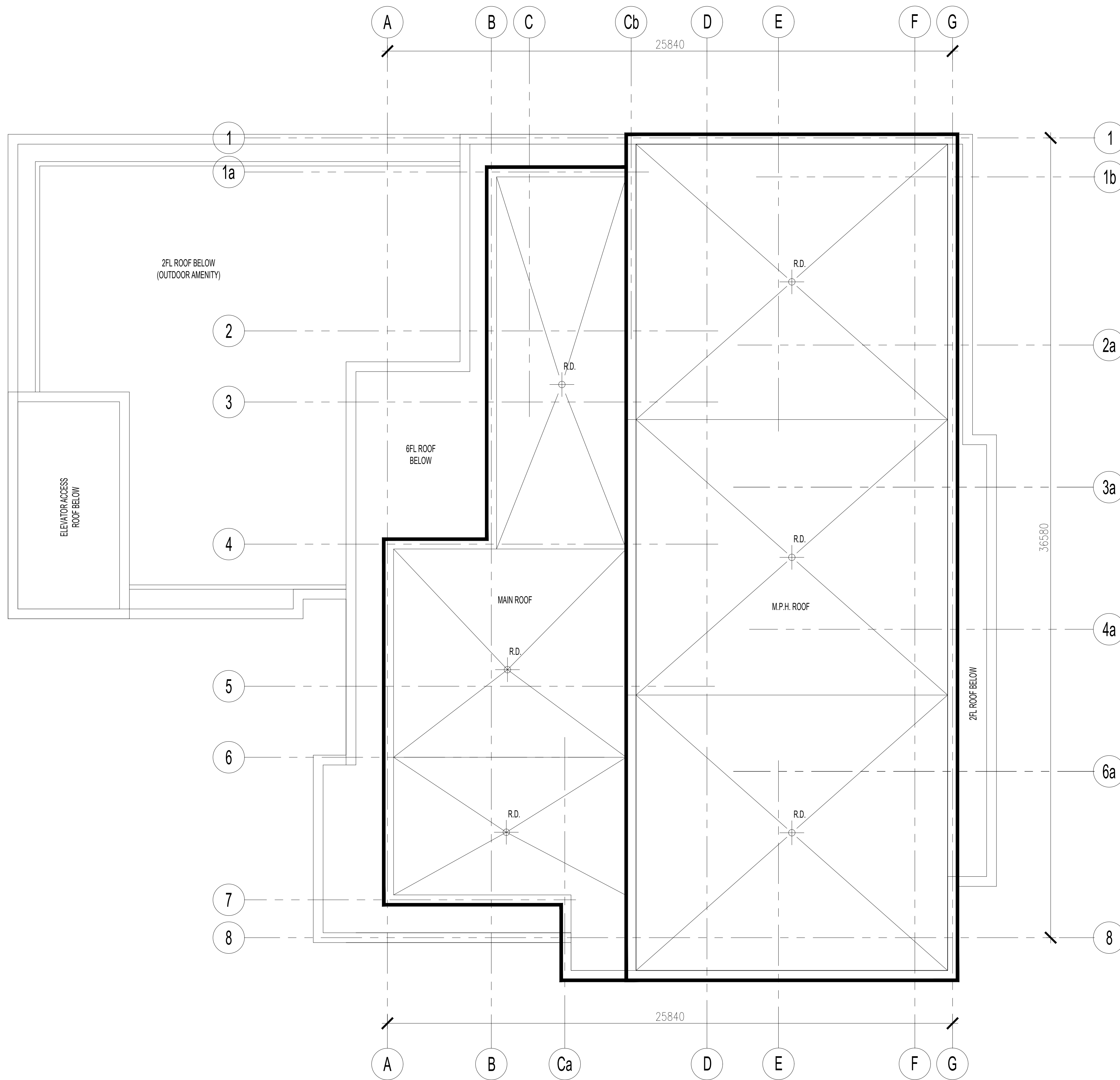
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BUILDING 'B'
7TH TO 17TH FLOOR PLAN
SCALE: AS NOTED
**PROPOSED MULTI-FAMILY
RESIDENTIAL DEVELOPMENT**
1971 & 1975 ST. LAURENT BLVD.
OTTAWA, ONTARIO
FOR: STARLIGHT DEVELOPMENTS

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1 BUILDING 'B' - ROOF PLAN
A226 SCALE: 1:100

NO.	REVISIONS	DATE	BY
2	ISSUED FOR SITE PLAN APPROVAL	FEB. 09. 2021	OH
1	ISSUED FOR CLIENT REVIEW	FEB. 04. 2021	OH

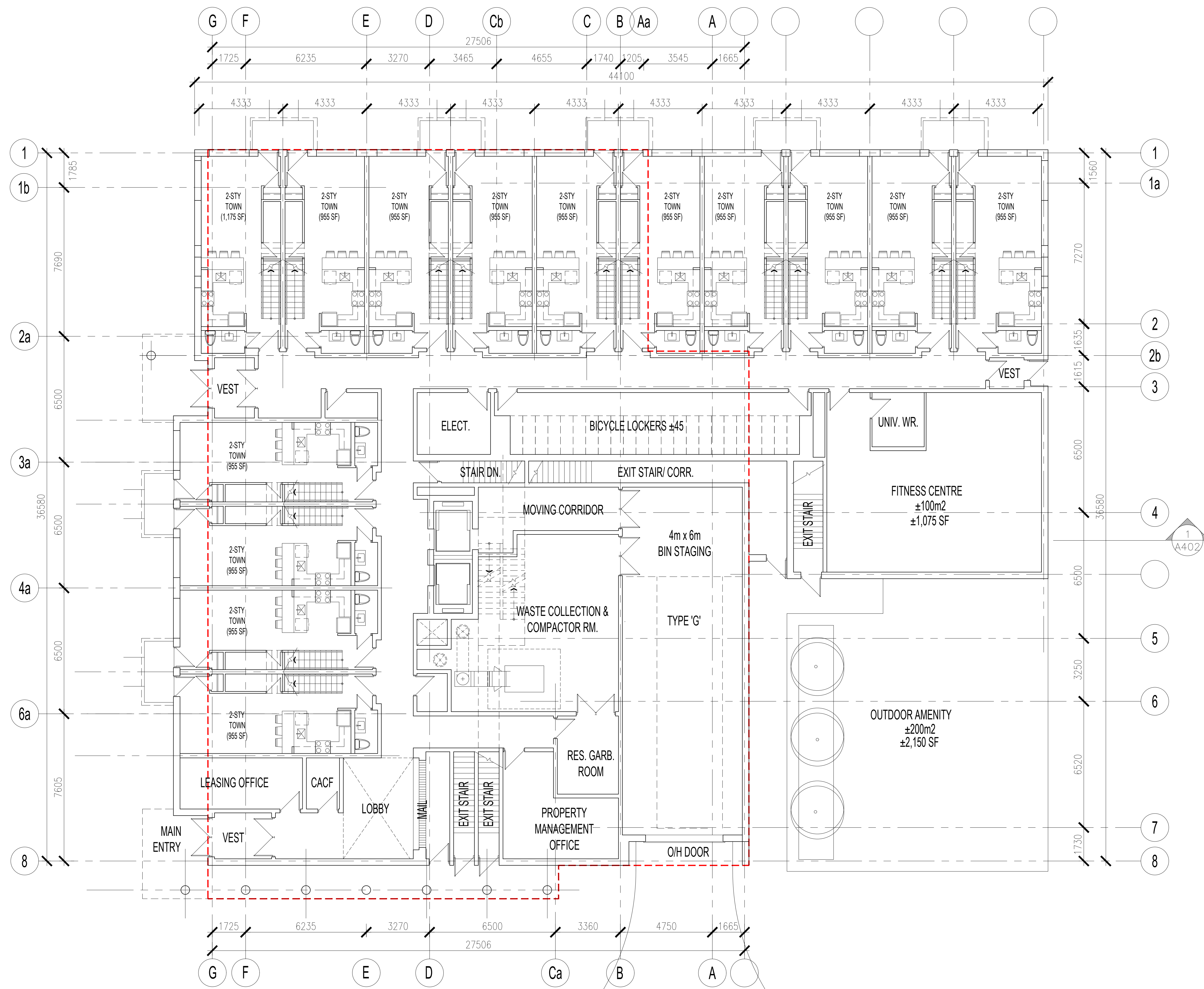
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BUILDING 'B'
ROOF PLAN
PROPOSED MULTI-FAMILY
RESIDENTIAL DEVELOPMENT
1971 & 1975 ST. LAURENT BLVD.
OTTAWA, ONTARIO
FOR: STARLIGHT DEVELOPMENTS

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ISSUED:			



1 BUILDING 'C' - GROUND FLOOR
 A231 SCALE: 1:100

NO.	REVISIONS	DATE	BY
2	ISSUED FOR SITE PLAN APPROVAL	FEB. 09. 2021	OH
1	ISSUED FOR CLIENT REVIEW	FEB. 04. 2021	OH

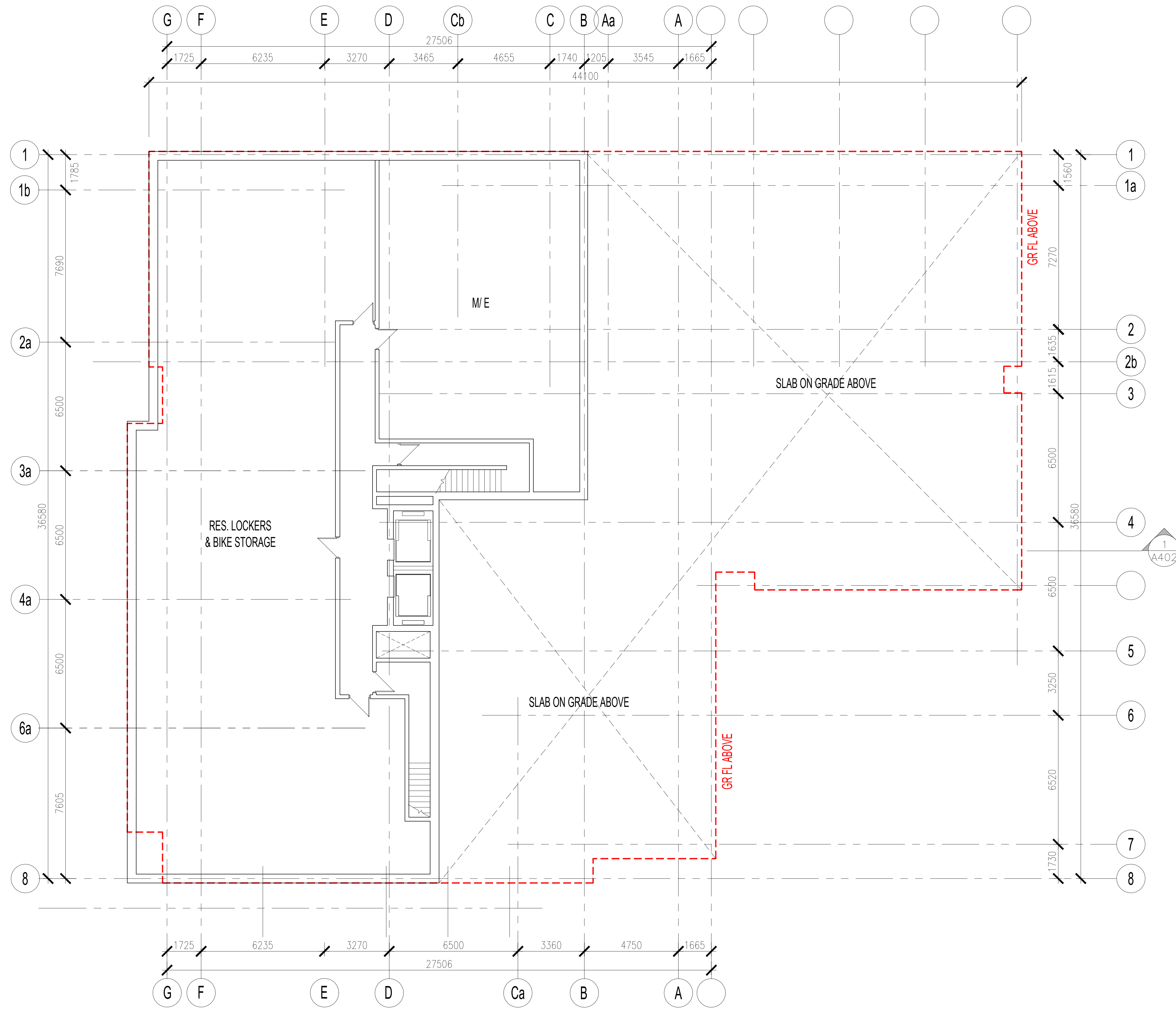
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BUILDING 'C'
GROUND FLOOR PLAN
 PROPOSED MULTI-FAMILY
 RESIDENTIAL DEVELOPMENT
 1971 & 1975 ST. LAURENT BLVD.
 OTTAWA, ONTARIO
 FOR: STARLIGHT DEVELOPMENTS

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DATE:			
ISSUED:			



1 BUILDING 'C' - BASEMENT FLOOR
 A232 SCALE: 1:100

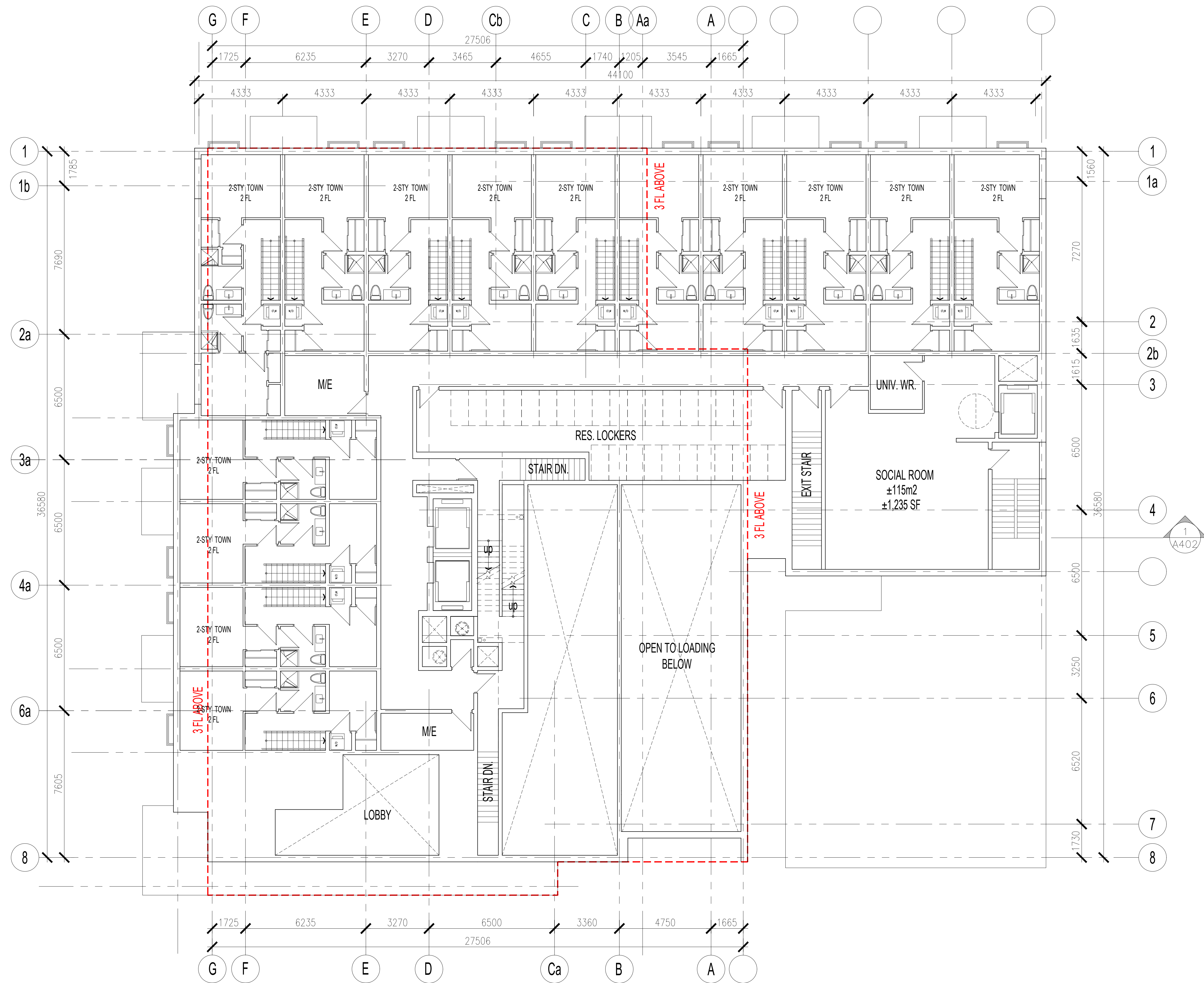
NO.	REVISIONS	DATE	BY
2	ISSUED FOR SITE PLAN APPROVAL	FEB.09.2021	OH
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BUILDING 'C'
BASEMENT FLOOR PLAN
 PROPOSED MULTI-FAMILY
 RESIDENTIAL DEVELOPMENT
 1971 & 1975 ST. LAURENT BLVD.
 OTTAWA, ONTARIO
 FOR: STARLIGHT DEVELOPMENTS

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DATE:			
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1 BUILDING 'C' - 2ND FLOOR
A233 SCALE: 1:100

NO.	REVISIONS	DATE	BY
2	ISSUED FOR SITE PLAN APPROVAL	FEB. 09. 2021	OH
1	ISSUED FOR CLIENT REVIEW	FEB. 04. 2021	OH

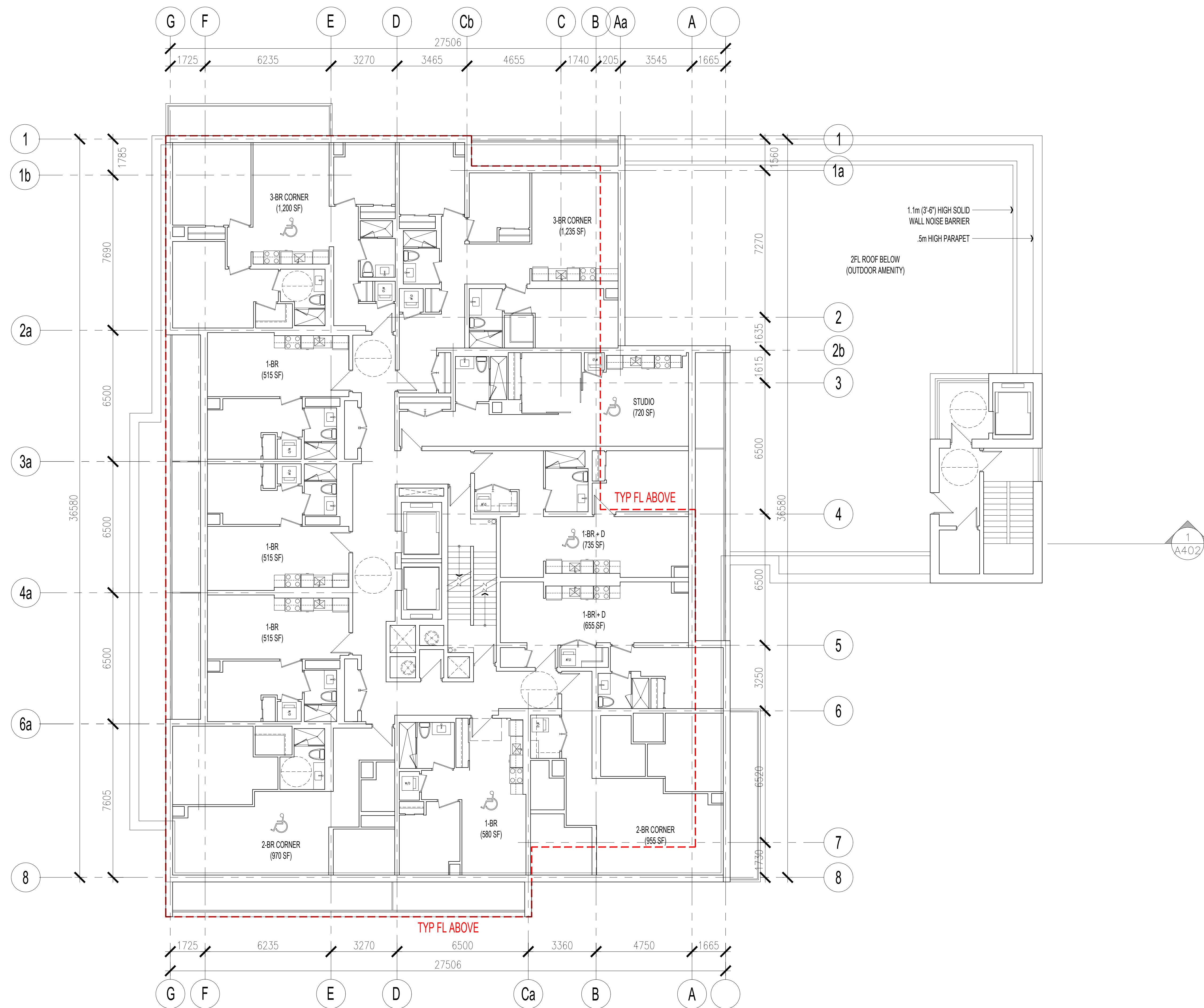
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BUILDING 'C'
2ND FLOOR PLAN
PROPOSED MULTI-FAMILY
RESIDENTIAL DEVELOPMENT
1971 & 1975 ST. LAURENT BLVD.
OTTAWA, ONTARIO
FOR: STARLIGHT DEVELOPMENTS

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1 BUILDING 'C' - 3RD TO 6TH FL PLAN
 A234 SCALE: 1:100

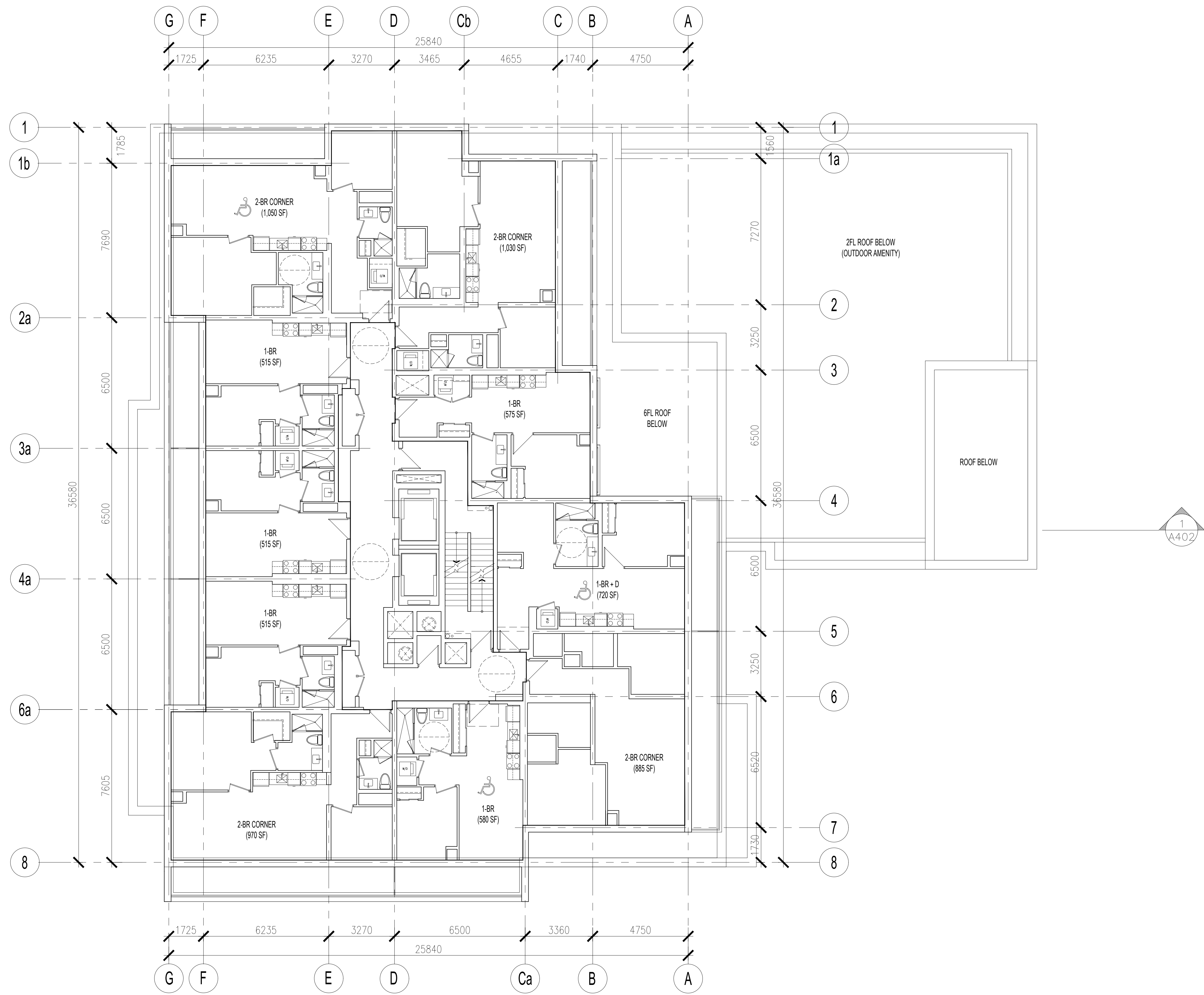
NO.	REVISIONS	DATE	BY
2	ISSUED FOR SITE PLAN APPROVAL	FEB.09.2021	OH
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BUILDING 'C'
3RD TO 6TH FLOOR PLAN
 PROPOSED MULTI-FAMILY
 RESIDENTIAL DEVELOPMENT
 1971 & 1975 ST. LAURENT BLVD.
 OTTAWA, ONTARIO
 FOR: STARLIGHT DEVELOPMENTS

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1 BUILDING 'C' - 7TH TO 17TH FL PLAN
 A235 SCALE: 1:100

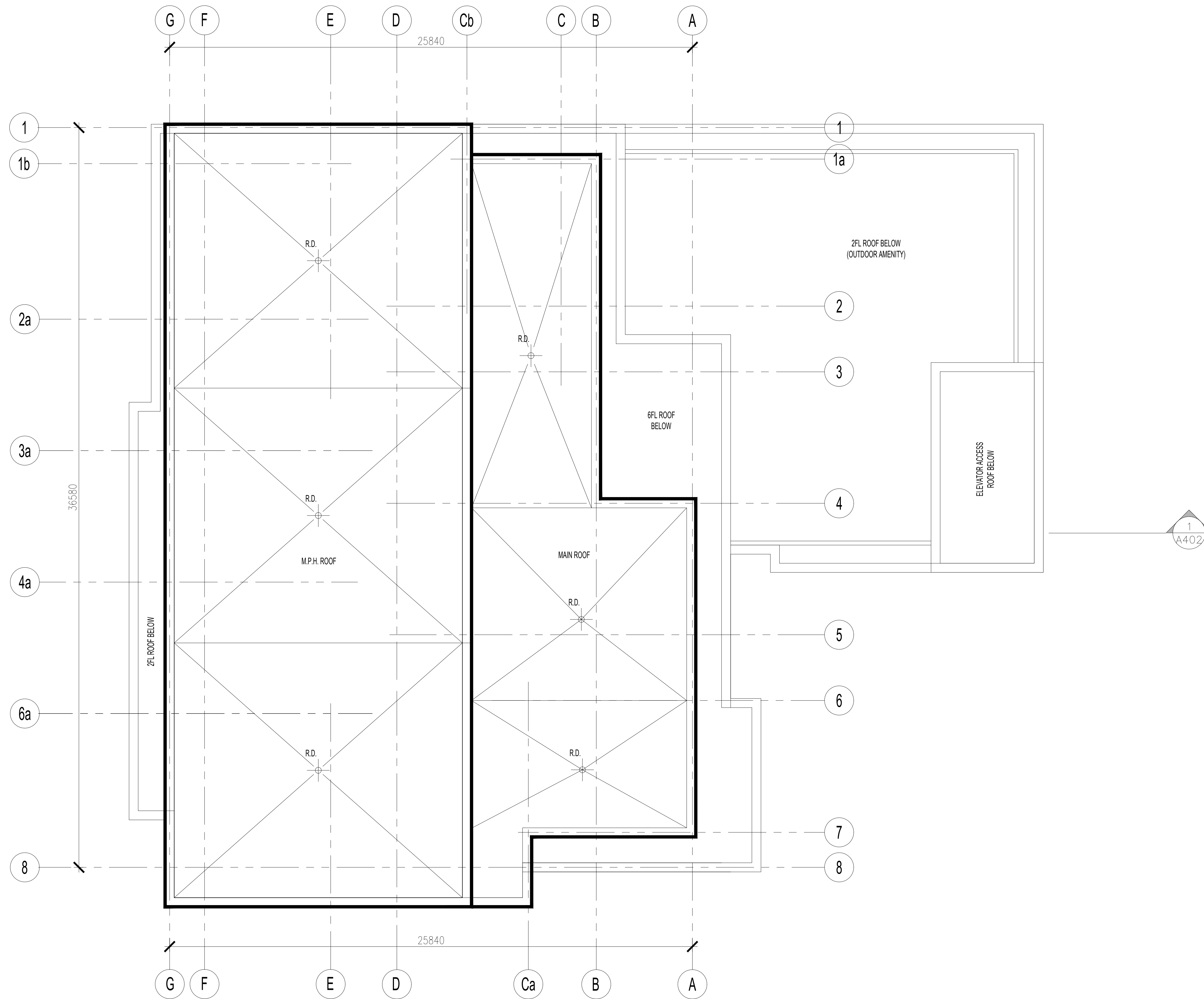
NO.	REVISIONS	DATE	BY
2	ISSUED FOR SITE PLAN APPROVAL	FEB.09.2021	OH
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BUILDING 'C'
7TH TO 17TH FLOOR PLAN
 SCALE: AS NOTED
**PROPOSED MULTI-FAMILY
 RESIDENTIAL DEVELOPMENT**
 1971 & 1975 ST. LAURENT BLVD.
 OTTAWA, ONTARIO
 FOR: STARLIGHT DEVELOPMENTS

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DATE:			
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NO.	REVISIONS	DATE	BY
2	ISSUED FOR SITE PLAN APPROVAL	FEB.09.2021	OH
1	ISSUED FOR CLIENT REVIEW	FEB.04.2021	OH

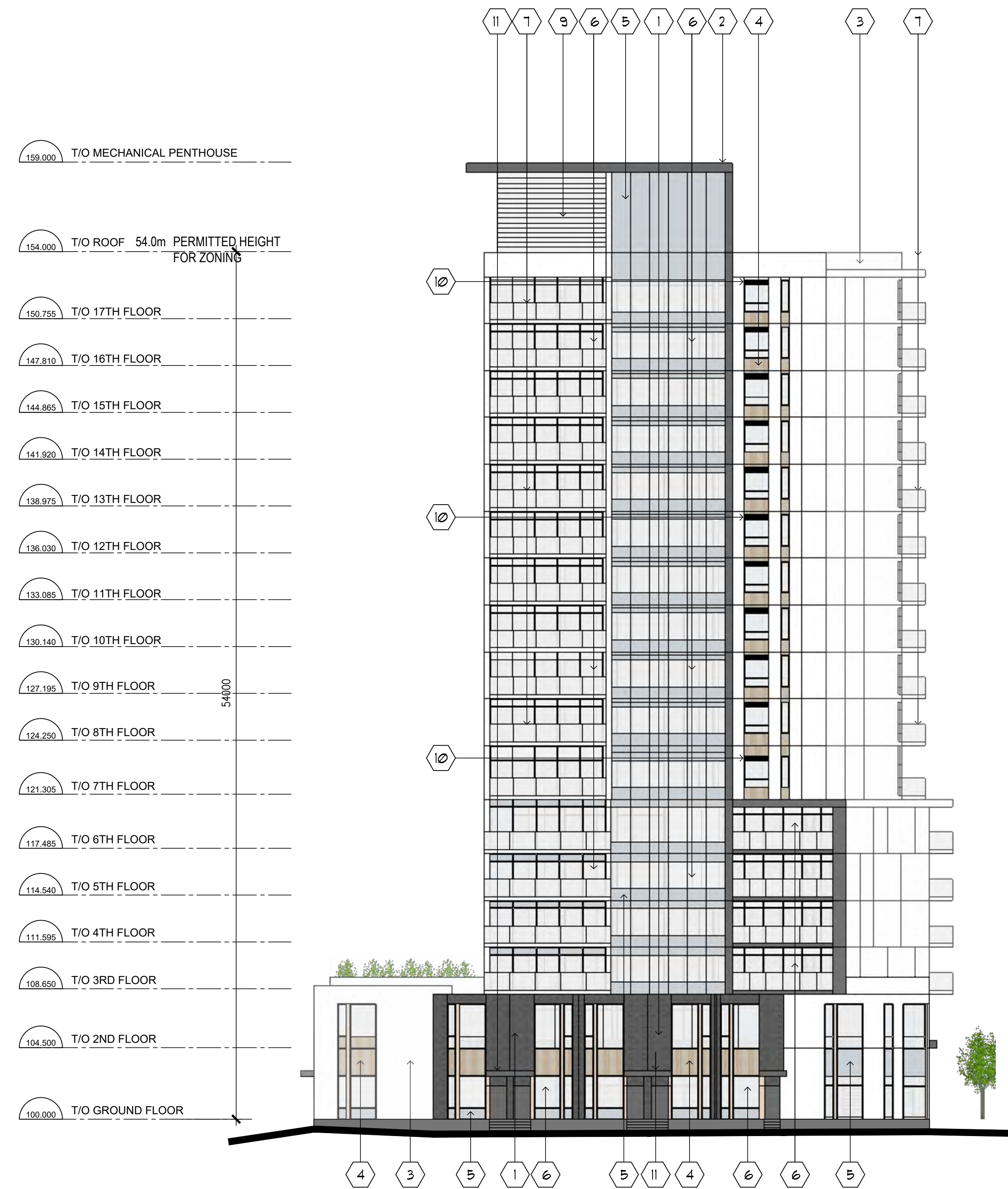
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BUILDING 'C'
ROOF PLAN
SCALE: AS NOTED
PROPOSED MULTI-FAMILY RESIDENTIAL DEVELOPMENT
 1971 & 1975 ST. LAURENT BLVD.
 OTTAWA, ONTARIO
 FOR: STARLIGHT DEVELOPMENTS

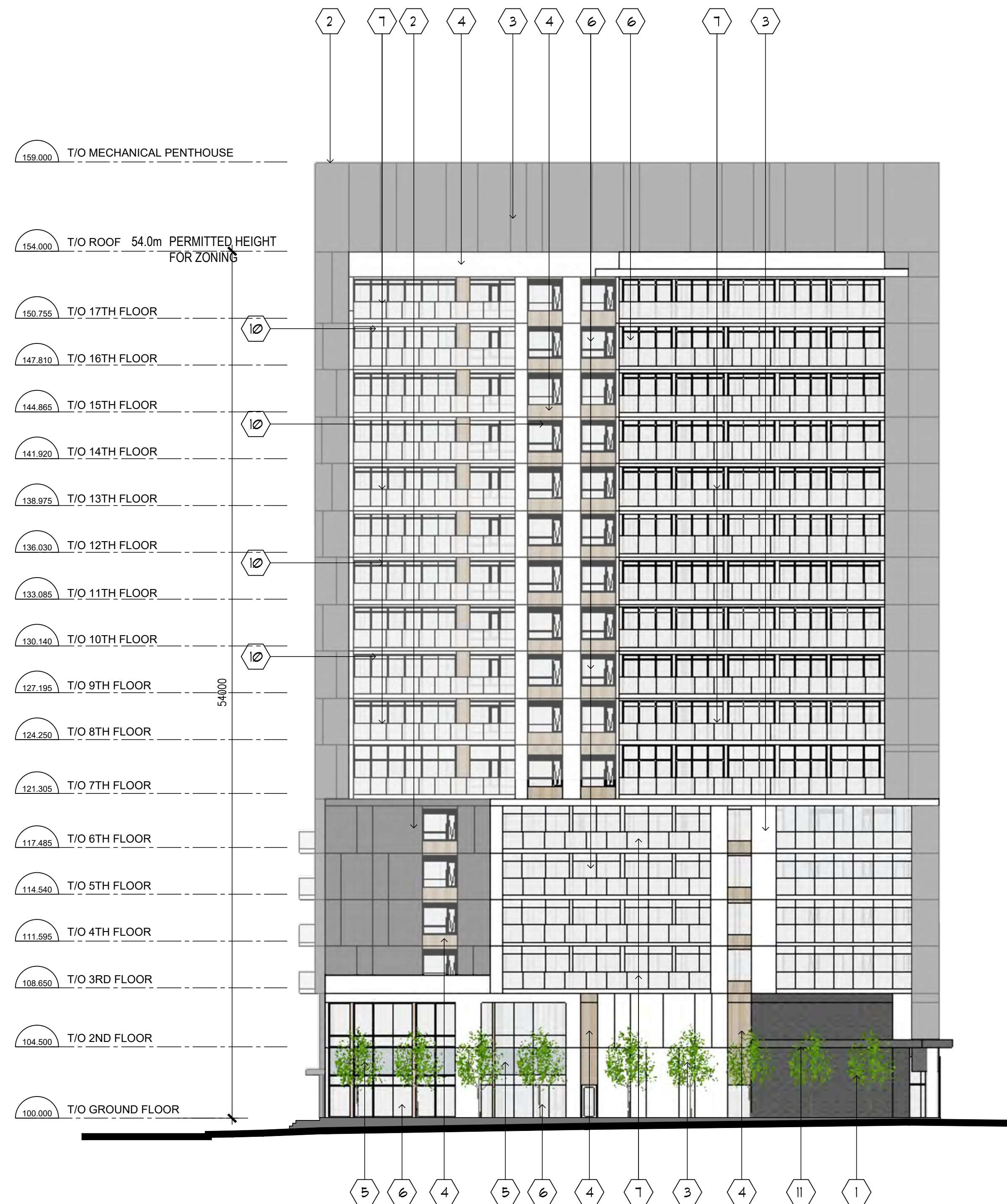
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DRAWN BY:	PETROFF	PROJECT NO.	21740
CHECKED BY:	PETROFF	DWG. NO.	A236
DATE:			
ISSUED:			

1 BUILDING 'C' - ROOF PLAN
 A236 SCALE: 1:100



2 BLOCK A NORTH ELEVATION
A310 SCALE: 1:200



1 BLOCK A WEST ELEVATION
A310 SCALE: 1:200

MATERIAL LEGEND


- 1 FULL BED MASONRY BRICK VENEER AND/OR ARCHITECTURAL PRECAST CONCRETE
- 2 PRE-FINISHED ACM PANEL COLOUR 1
- 3 PRE-FINISHED ACM PANEL COLOUR 2
- 4 INSULATED PRE FINISHED SPANDREL METAL PANEL IN THERMALLY BROKEN PRE-FINISHED ALUMINUM WINDOW WALL SYSTEM
- 5 INSULATED BACK PAINTED SPANDREL GLAZING IN THERMALLY BROKEN PRE-FINISHED ALUMINUM WINDOW WALL SYSTEM (1)
- 6 LOW-E CLEAR GLAZING IN THERMALLY BROKEN PRE-FINISHED ALUMINUM WINDOW WALL SYSTEM (1)
- 7 CLEAR TEMPERED GLASS BALCONY GUARDRAIL IN PRE-FINISHED ALUMINUM RAILING SYSTEM (1)
- 8 CLEAR TEMPERED GLASS JULIETTE STYLE GUARDRAIL IN PRE-FINISHED ALUMINUM RAILING SYSTEM (1)
- 9 GALVALUME ARCHITECTURAL LOUVER
- 10 ARCHITECTURAL LOUVER
- 11 PRE-FINISH METAL PANEL CLAD CANOPY

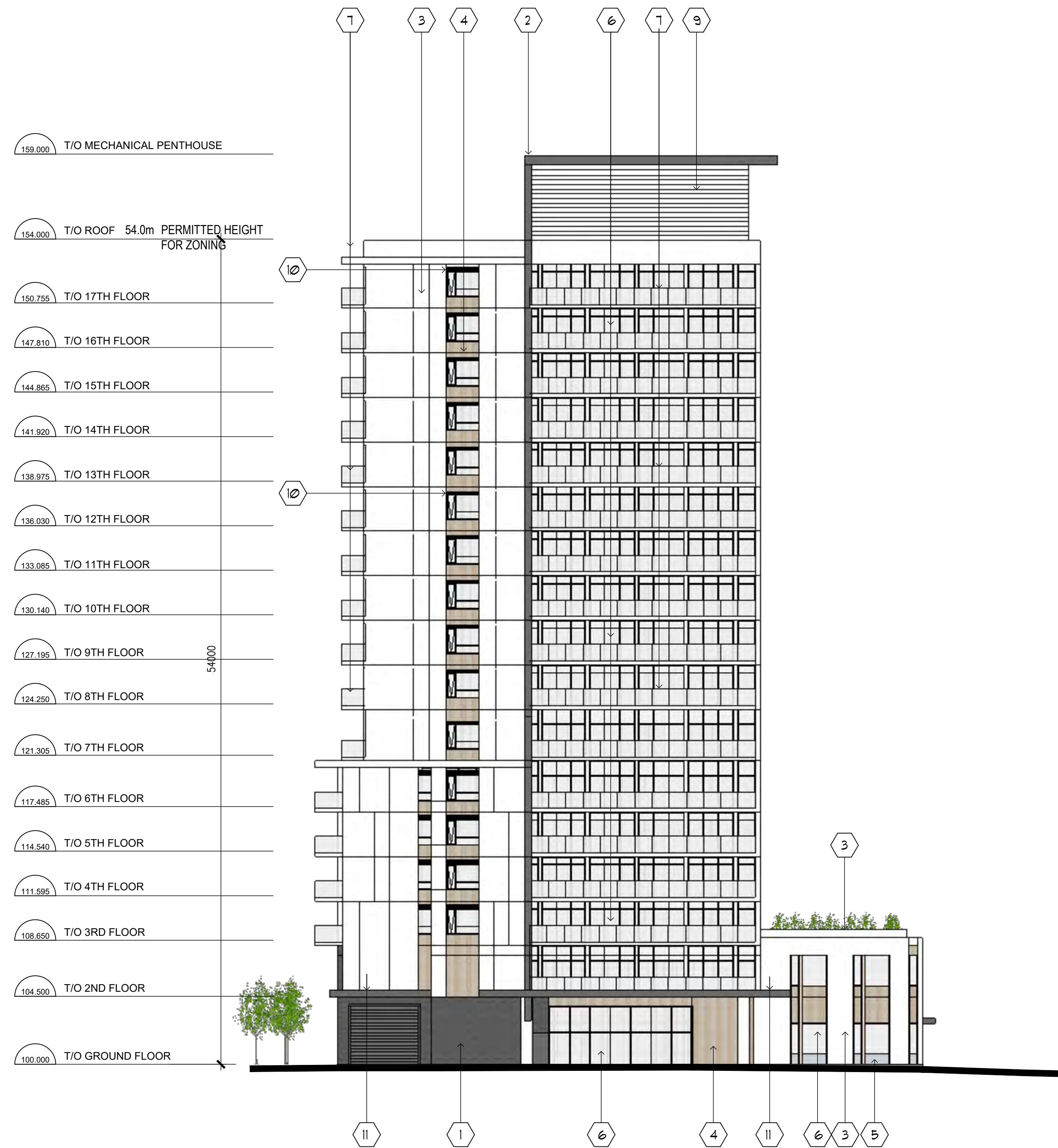
NOTE (1): BIRD-SAFE DESIGN: FEATURES AND PROTECTION MEASURES APPLIED AS SPECIFIED IN THE CITY OF OTTAWA'S "BIRD-SAFE DESIGN GUIDELINES". TO BE APPLIED TO ALL VISION GLASS AND BALCONY GUARDRAILINGS FROM GROUND FLOOR TO 7TH FLOOR; 16m FROM TOP OF GRADE AND 4m MEASURED FROM TOP OF OUTDOOR ROOF AMENITY AREAS

NO.	REVISIONS	DATE	BY
2	ISSUED FOR SITE PLAN APPROVAL	FEB.09.2021	OH
1	ISSUED FOR CLIENT REVIEW	FEB.04.2021	OH

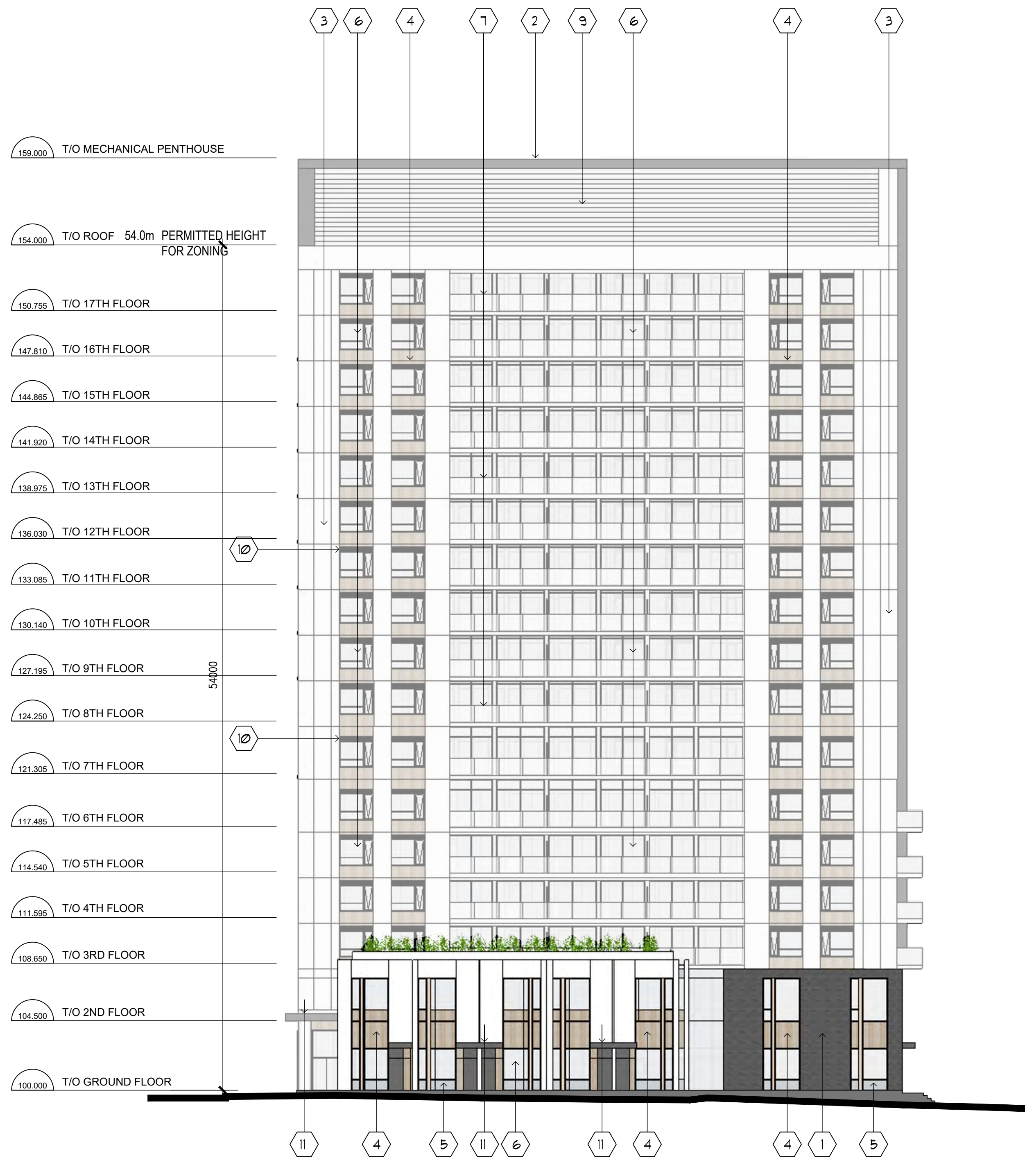
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BUILDING A NORTH & WEST ELEVATIONS
SCALE: AS NOTED
PROPOSED MULTI-FAMILY RESIDENTIAL DEVELOPMENT
1971 & 1975 ST. LAURENT BLVD.
OTTAWA, ONTARIO
FOR: STARLIGHT DEVELOPMENTS

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DRAWN BY: PETROFF	PROJECT NO: 21740	
CHECKED BY: PETROFF	DWG. NO: A310	
DATE:		
ISSUED:		



2 BLOCK A SOUTH ELEVATION
A311 SCALE: 1:200



1 BLOCK A EAST ELEVATION
A311 SCALE: 1:200

MATERIAL LEGEND

- 1 FULL BED MASONRY BRICK VENEER AND/OR ARCHITECTURAL PRECAST CONCRETE
- 2 PRE-FINISHED ACM PANEL COLOUR 1
- 3 PRE-FINISHED ACM PANEL COLOUR 2
- 4 INSULATED PRE FINISHED SPANDREL METAL PANEL IN THERMALLY BROKEN PRE-FINISHED ALUMINUM WINDOW WALL SYSTEM
- 5 INSULATED BACK PAINTED SPANDREL GLAZING IN THERMALLY BROKEN PRE-FINISHED ALUMINUM WINDOW WALL SYSTEM ⁽¹⁾
- 6 LOW-E CLEAR GLAZING IN THERMALLY BROKEN PRE-FINISHED ALUMINUM WINDOW WALL SYSTEM ⁽¹⁾
- 7 CLEAR TEMPERED GLASS BALCONY GUARDRAIL IN PRE-FINISHED ALUMINUM RAILING SYSTEM ⁽¹⁾
- 8 CLEAR TEMPERED GLASS JULIETTE STYLE GUARDRAIL IN PRE-FINISHED ALUMINUM RAILING SYSTEM ⁽¹⁾
- 9 GALVALUME ARCHITECTURAL LOUVER
- 10 ARCHITECTURAL LOUVER
- 11 PRE-FINISH METAL PANEL CLAD CANOPY

NOTE ⁽¹⁾: BIRD-SAFE DESIGN: FEATURES AND PROTECTION MEASURES APPLIED AS SPECIFIED IN THE CITY OF OTTAWA'S "BIRD-SAFE DESIGN GUIDELINES". TO BE APPLIED TO ALL VISION GLASS AND BALCONY GUARDRAILINGS FROM GROUND FLOOR TO 7TH FLOOR; 16m FROM TOP OF GRADE; AND 4m MEASURED FROM TOP OF OUTDOOR ROOF AMENITY AREAS

NO.	REVISIONS	DATE	BY
2	ISSUED FOR SITE PLAN APPROVAL	FEB.09.2021	OH
1	ISSUED FOR CLIENT REVIEW	FEB.04.2021	OH

NO.	REVISIONS	DATE	BY

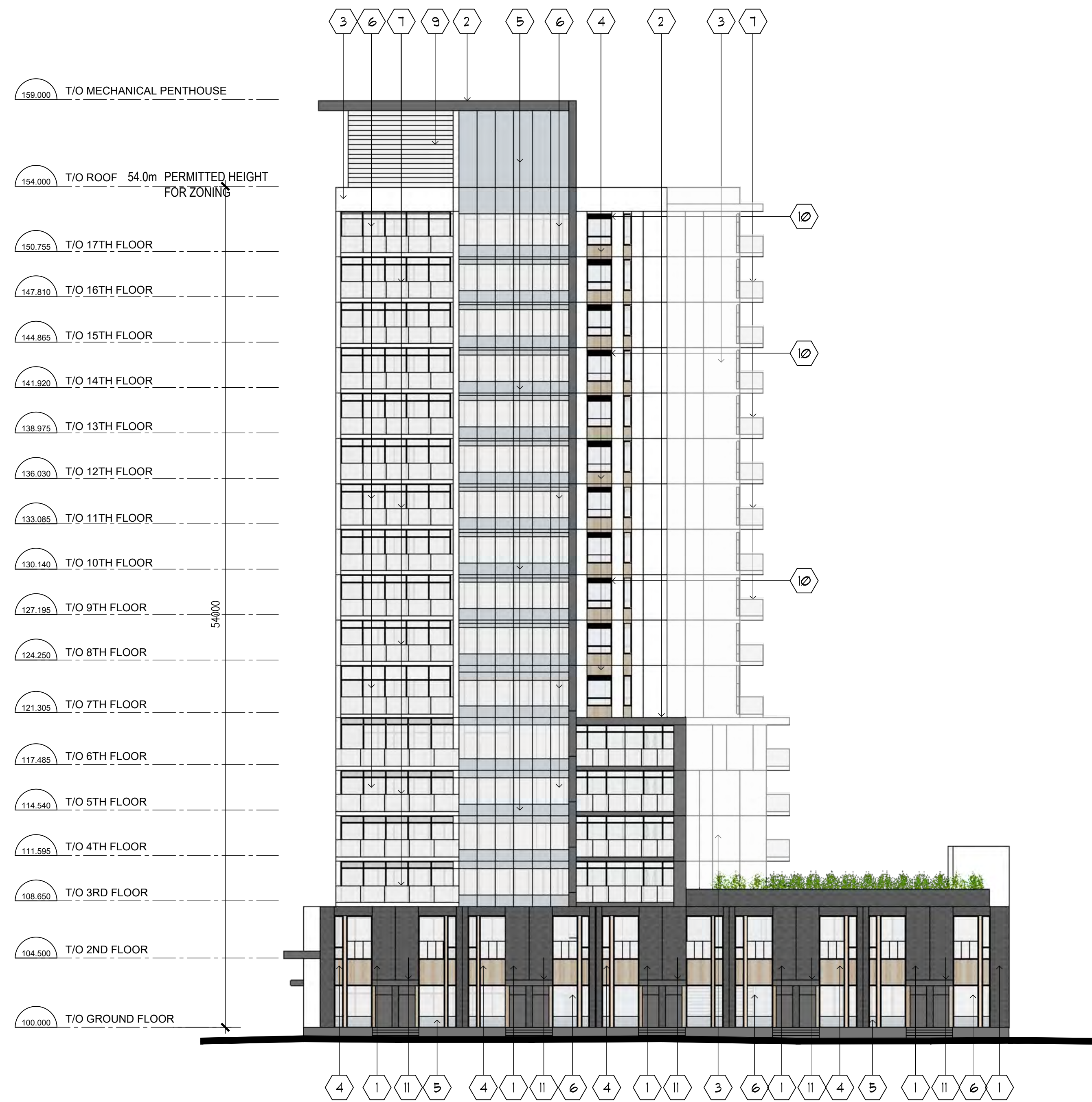
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BUILDING A SOUTH & EAST ELEVATIONS

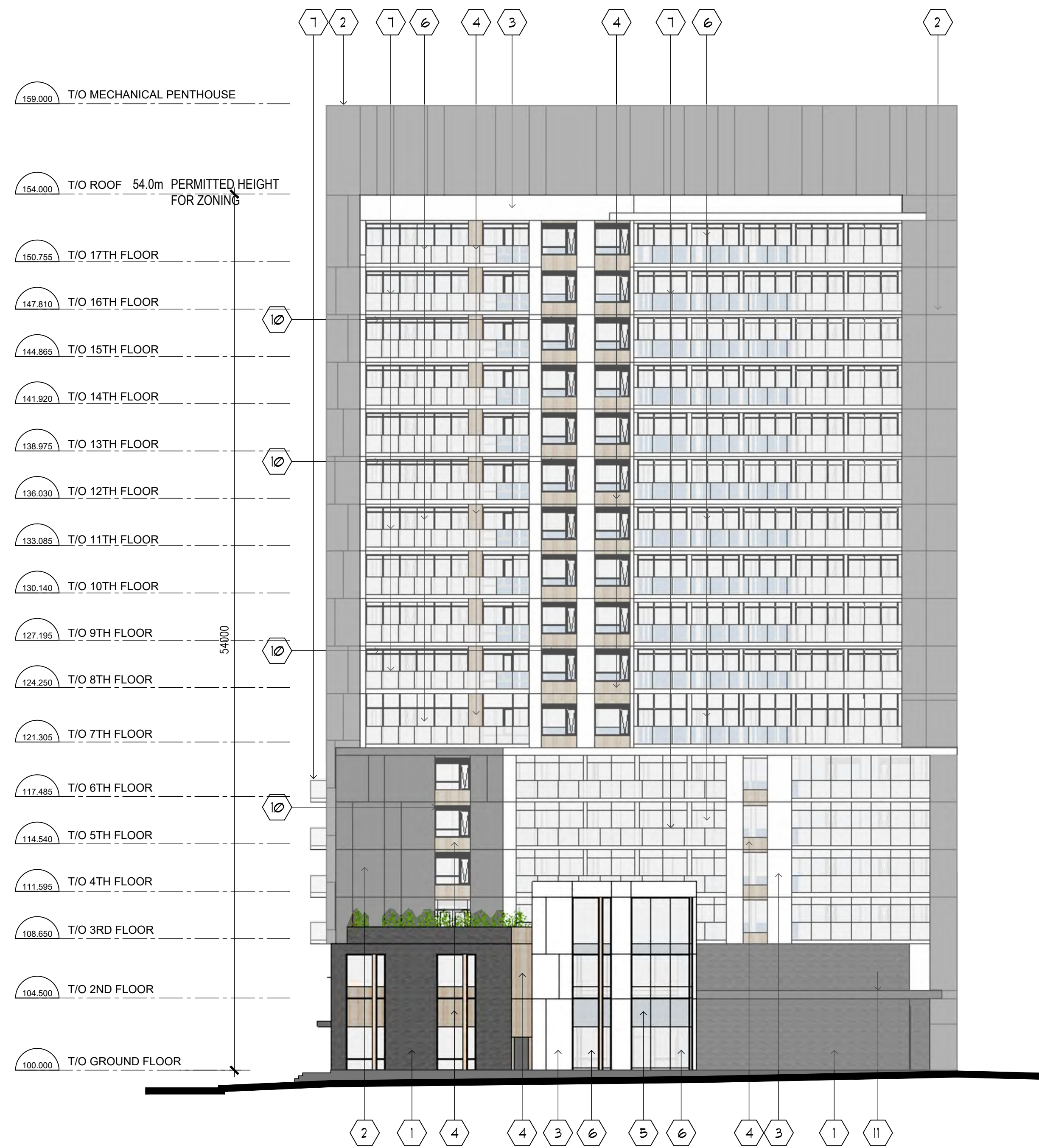
SCALE AS NOTED
PROPOSED MULTI-FAMILY RESIDENTIAL DEVELOPMENT
1971 & 1975 ST. LAURENT BLVD.
OTTAWA, ONTARIO
FOR: STARLIGHT DEVELOPMENTS

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CHECKED BY: PETROFF	DWG. NO: A311
DATE:	
ISSUED:	



2 BLOCK B WEST ELEVATION
A320 SCALE: 1:200



1 BLOCK B SOUTH ELEVATION
A320 SCALE: 1:200

MATERIAL LEGEND

- 1 FULL BED MASONRY BRICK VENEER AND/OR ARCHITECTURAL PRECAST CONCRETE
- 2 PRE-FINISHED ACM PANEL COLOUR 1
- 3 PRE-FINISHED ACM PANEL COLOUR 2
- 4 INSULATED PRE FINISHED SPANDREL METAL PANEL IN THERMALLY BROKEN PRE-FINISHED ALUMINUM WINDOW WALL SYSTEM
- 5 INSULATED BACK PAINTED SPANDREL GLAZING IN THERMALLY BROKEN PRE-FINISHED ALUMINUM WINDOW WALL SYSTEM
- 6 LOW-E CLEAR GLAZING IN THERMALLY BROKEN PRE-FINISHED ALUMINUM WINDOW WALL SYSTEM
- 7 CLEAR TEMPERED GLASS BALCONY GUARDRAIL IN PRE-FINISHED ALUMINUM RAILING SYSTEM
- 8 CLEAR TEMPERED GLASS JULIETTE STYLE GUARDRAIL IN PRE-FINISHED ALUMINUM RAILING SYSTEM
- 9 GALVALUME ARCHITECTURAL LOUVER
- 10 ARCHITECTURAL LOUVER
- 11 PRE-FINISH METAL PANEL CLAD CANOPY

NOTE '1': BIRD-SAFE DESIGN: FEATURES AND PROTECTION MEASURES APPLIED AS SPECIFIED IN THE CITY OF OTTAWA'S "BIRD-SAFE DESIGN GUIDELINES". TO BE APPLIED TO ALL VISION GLASS AND BALCONY GUARDRAILINGS FROM GROUND FLOOR TO 7TH FLOOR; 16m FROM TOP OF GRADE; AND 4m MEASURED FROM TOP OF OUTDOOR ROOF AMENITY AREAS

NO.	REVISIONS	DATE	BY
2	ISSUED FOR SITE PLAN APPROVAL	FEB.09.2021	OH
1	ISSUED FOR CLIENT REVIEW	FEB.04.2021	OH

NO.	REVISIONS	DATE	BY
2	ISSUED FOR SITE PLAN APPROVAL	FEB.09.2021	OH
1	ISSUED FOR CLIENT REVIEW	FEB.04.2021	OH

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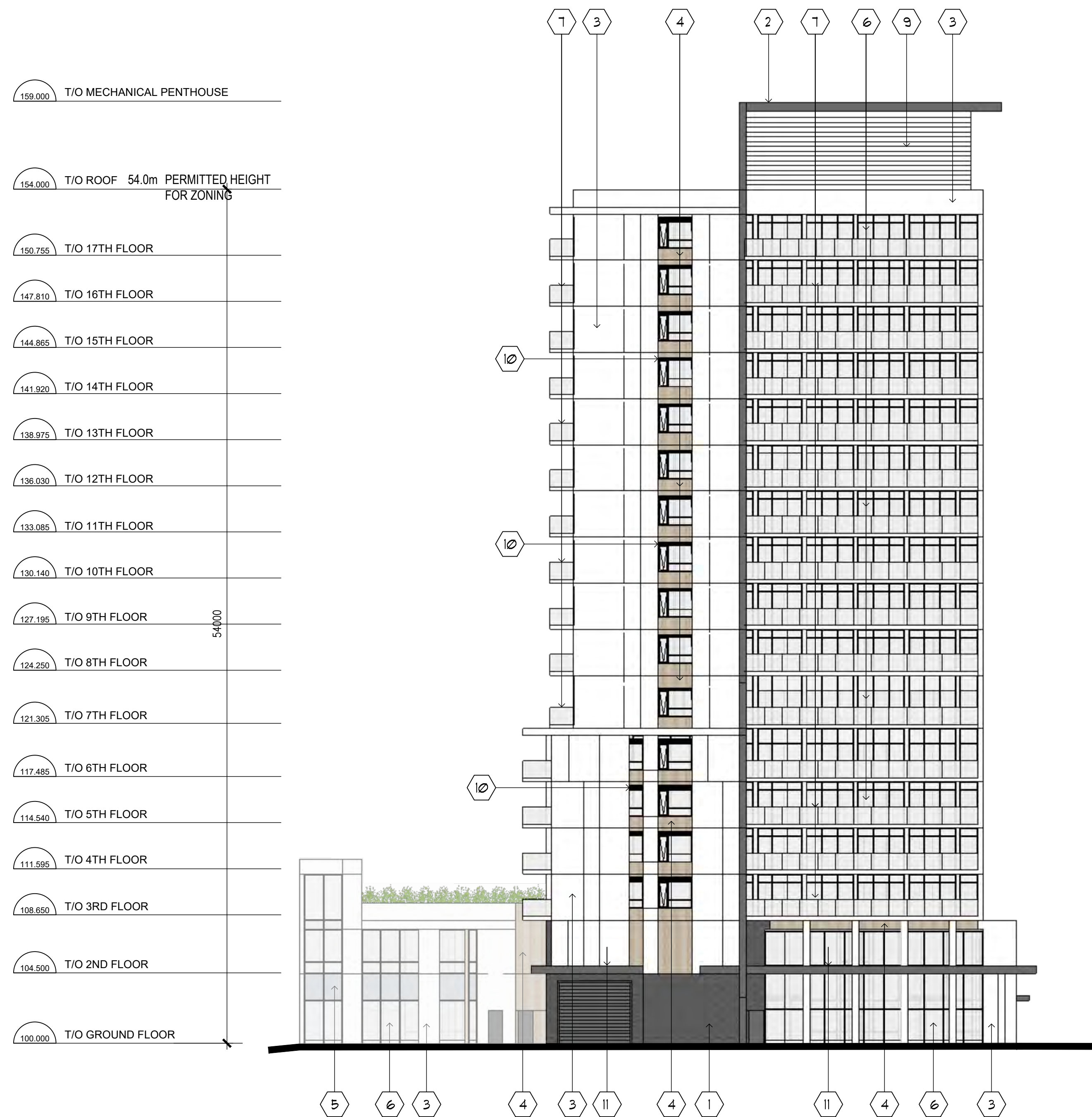
**BUILDING B
SOUTH & WEST ELEVATIONS**

SCALE AS NOTED
**PROPOSED MULTI-FAMILY
RESIDENTIAL DEVELOPMENT**
1971 & 1975 ST. LAURENT BLVD.
OTTAWA, ONTARIO
FOR: STARLIGHT DEVELOPMENTS

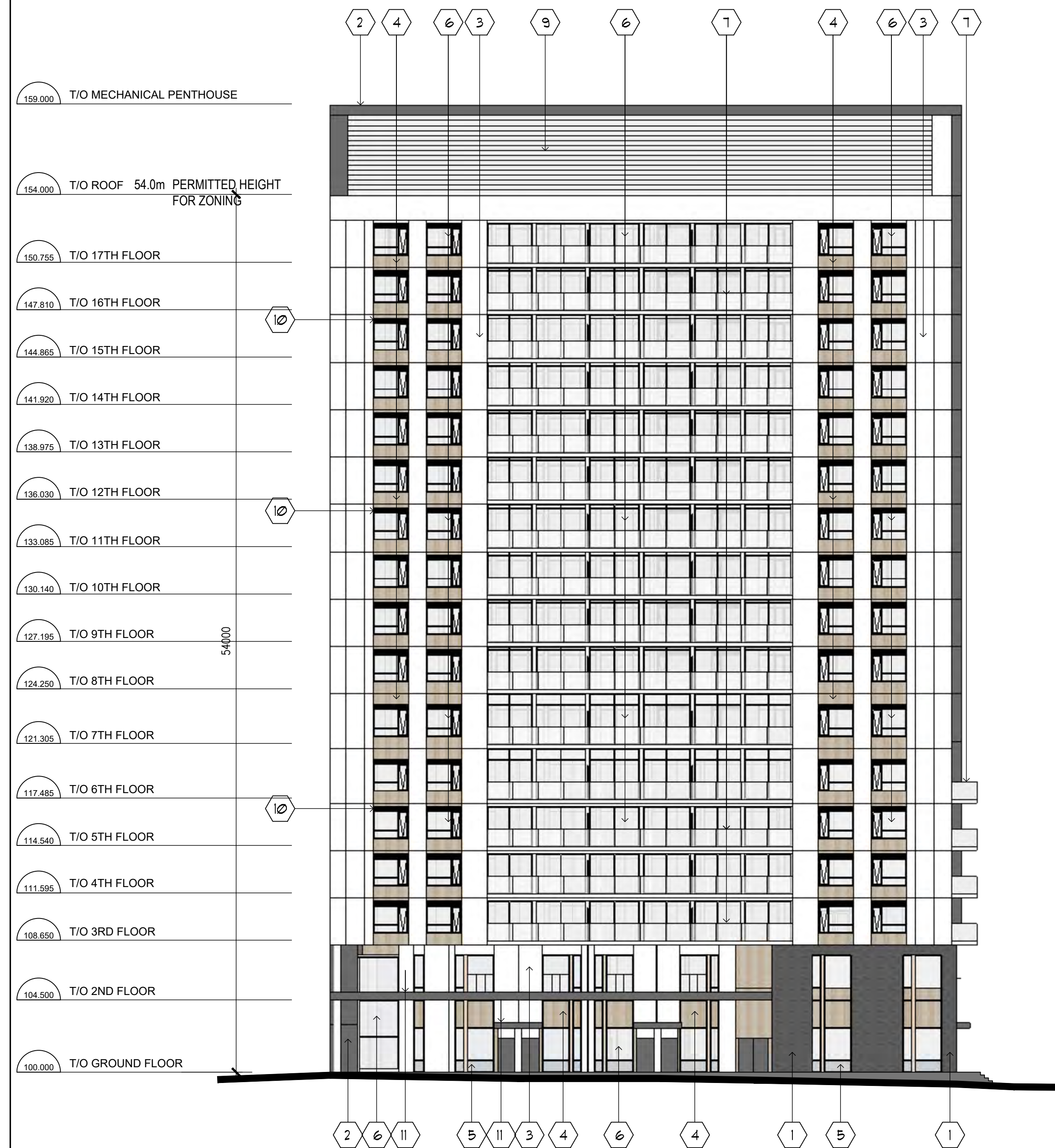
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LICENCE
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DRAWN BY:	PETROFF	PROJECT NO.	21740
CHECKED BY:	PETROFF	DWG. NO.	A320
DATE:			
ISSUED:			



2 BLOCK B EAST ELEVATION
A321 SCALE: 1:200



1 BLOCK B NORTH ELEVATION
A321 SCALE: 1:200

MATERIAL LEGEND

- 1 FULL BED MASONRY BRICK VENEER AND/OR ARCHITECTURAL PRECAST CONCRETE
- 2 PRE-FINISHED ACM PANEL COLOUR 1
- 3 PRE-FINISHED ACM PANEL COLOUR 2
- 4 INSULATED PRE FINISHED SPANDREL METAL PANEL IN THERMALLY BROKEN PRE-FINISHED ALUMINUM WINDOW WALL SYSTEM
- 5 INSULATED BACK PAINTED SPANDREL GLAZING IN THERMALLY BROKEN PRE-FINISHED ALUMINUM WINDOW WALL SYSTEM
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- 9 GALVALUME ARCHITECTURAL LOUVER
- 10 ARCHITECTURAL LOUVER
- 11 PRE-FINISH METAL PANEL CLAD CANOPY

NOTE '1': BIRD-SAFE DESIGN: FEATURES AND PROTECTION MEASURES APPLIED AS SPECIFIED IN THE CITY OF OTTAWA'S "BIRD-SAFE DESIGN GUIDELINES". TO BE APPLIED TO ALL VISION GLASS AND BALCONY GUARDRAILINGS FROM GROUND FLOOR TO 7TH FLOOR; 15m FROM TOP OF GRADE; AND 4m MEASURED FROM TOP OF OUTDOOR ROOF AMENITY AREAS

NO.	REVISIONS	DATE	BY
2	ISSUED FOR SITE PLAN APPROVAL	FEB. 09. 2021	OH
1	ISSUED FOR CLIENT REVIEW	FEB. 04. 2021	OH

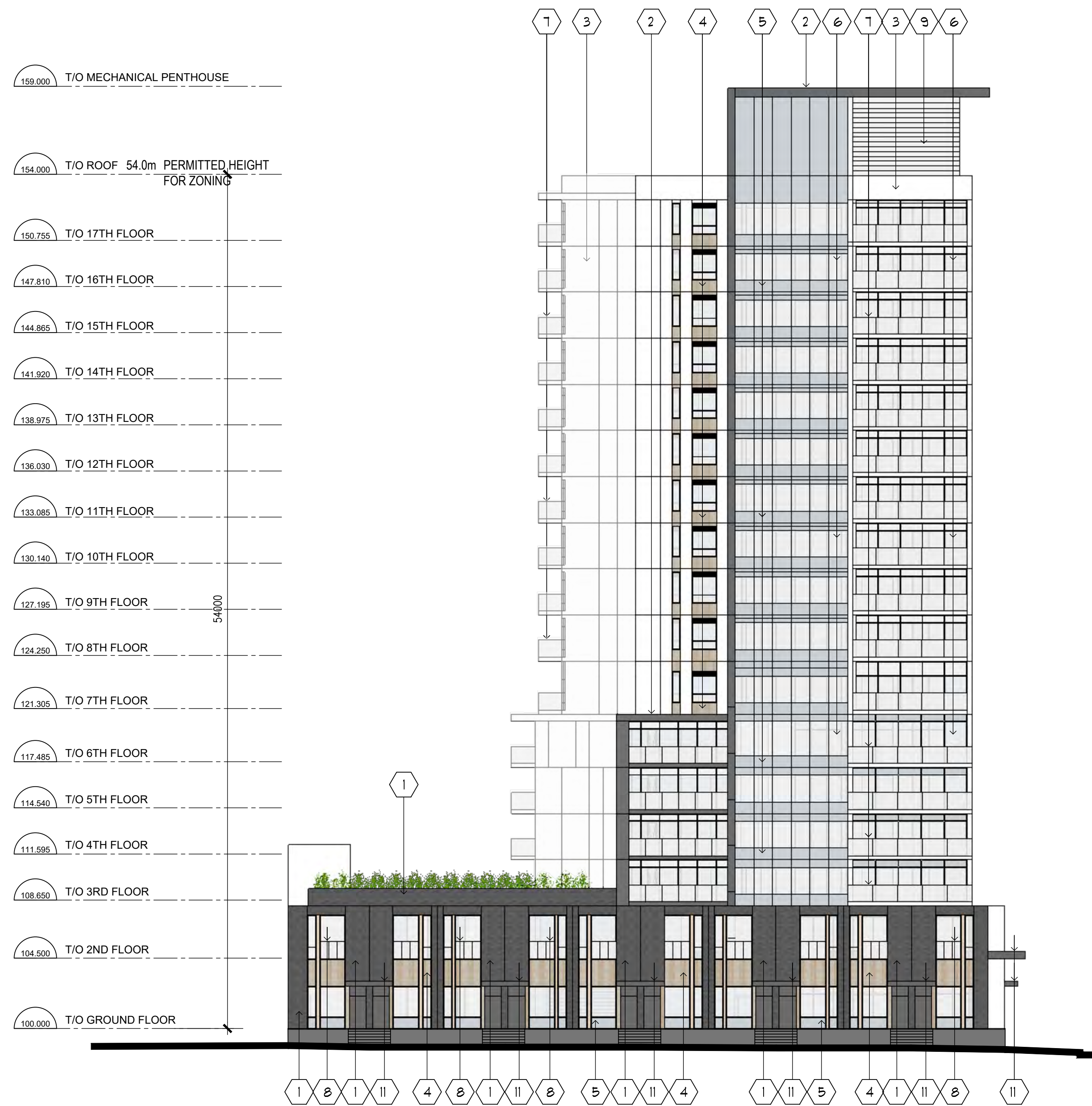
NO.	REVISIONS	DATE	BY
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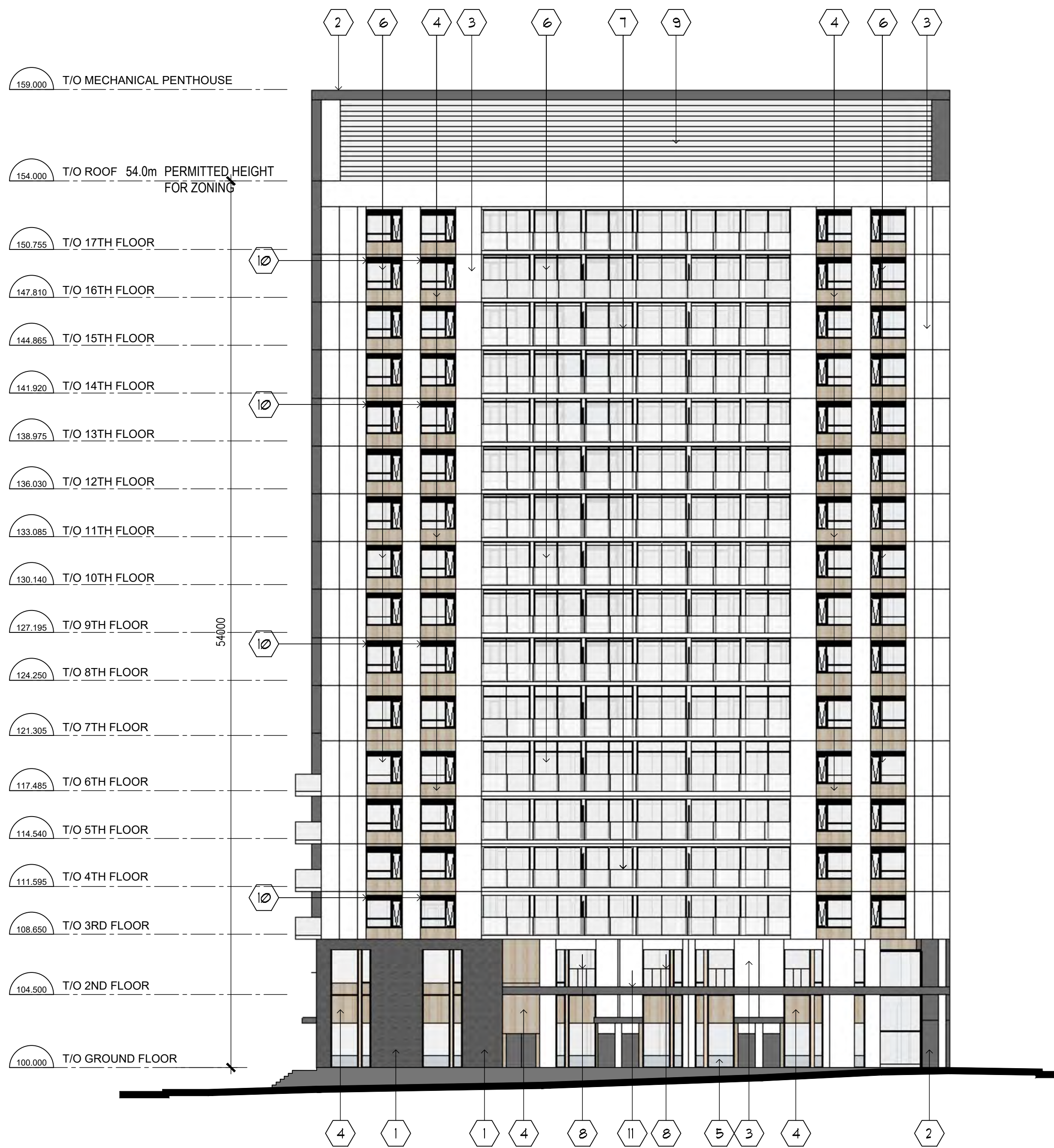
**BUILDING B
NORTH & EAST ELEVATIONS**

SCALE AS NOTED
**PROPOSED MULTI-FAMILY
RESIDENTIAL DEVELOPMENT**
1971 & 1975 ST. LAURENT BLVD.
OTTAWA, ONTARIO
FOR: STARLIGHT DEVELOPMENTS

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2 BLOCK C WEST ELEVATION
A330 SCALE: 1:200



1 BLOCK C SOUTH ELEVATION
A330 SCALE: 1:200

- MATERIAL LEGEND**
- 1 FULL BED MASONRY BRICK VENEER AND/OR ARCHITECTURAL PRECAST CONCRETE
 - 2 PRE-FINISHED ACM PANEL COLOUR 1
 - 3 PRE-FINISHED ACM PANEL COLOUR 2
 - 4 INSULATED PRE FINISHED SPANDREL METAL PANEL IN THERMALLY BROKEN PRE-FINISHED ALUMINUM WINDOW WALL SYSTEM
 - 5 INSULATED BACK PAINTED SPANDREL GLAZING IN THERMALLY BROKEN PRE-FINISHED ALUMINUM WINDOW WALL SYSTEM
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 - 10 ARCHITECTURAL LOUVER
 - 11 PRE-FINISH METAL PANEL CLAD CANOPY

NOTE (1): BIRD-SAFE DESIGN: FEATURES AND PROTECTION MEASURES APPLIED AS SPECIFIED IN THE CITY OF OTTAWA'S "BIRD-SAFE DESIGN GUIDELINES". TO BE APPLIED TO ALL VISION GLASS AND BALCONY GUARDRAILINGS FROM GROUND FLOOR TO 7TH FLOOR; 16m FROM TOP OF GRADE; AND 4m MEASURED FROM TOP OF OUTDOOR ROOF AMENITY AREAS

NO.	REVISIONS	DATE	BY
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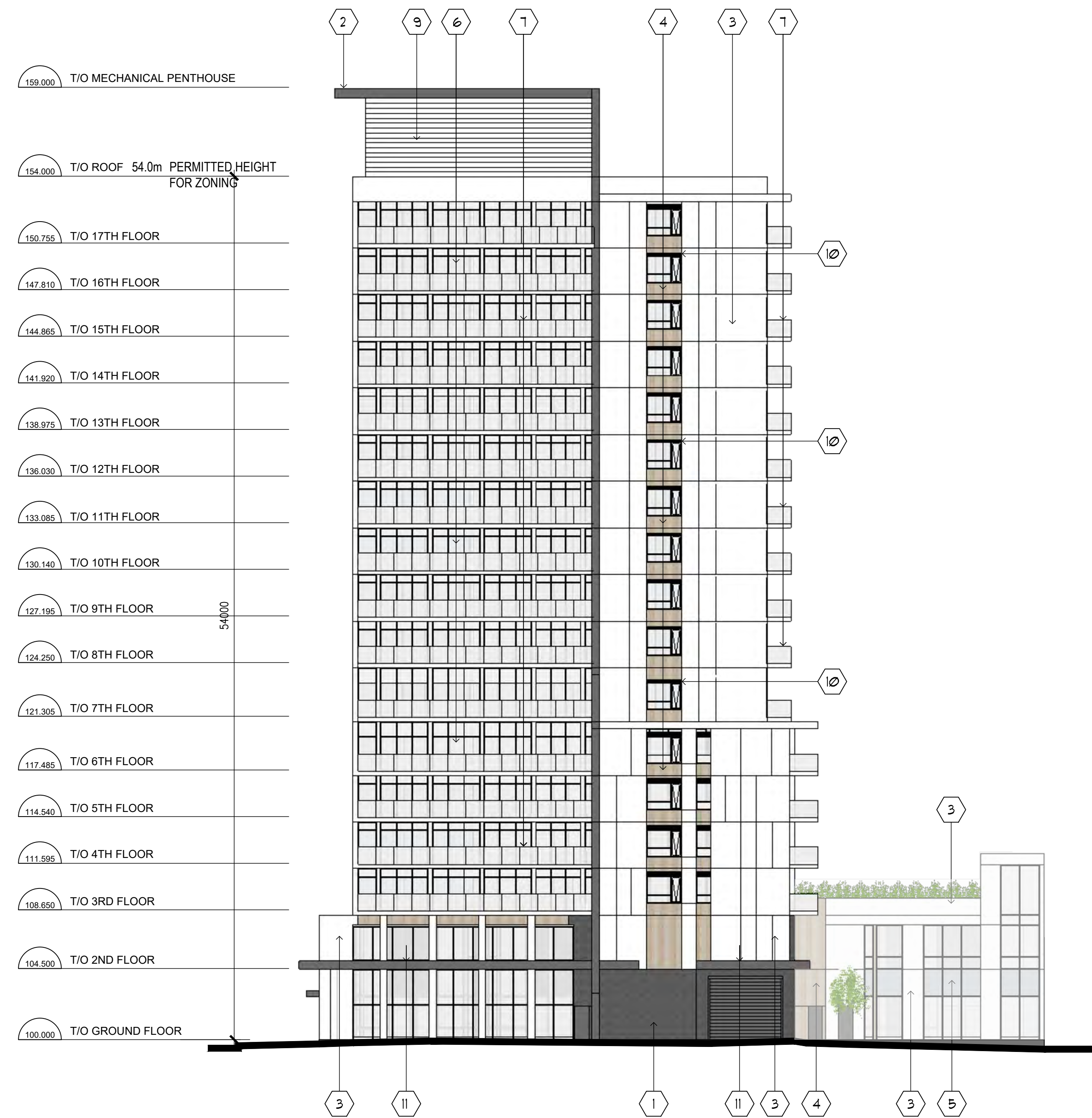
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BUILDING C
SOUTH & WEST ELEVATIONS

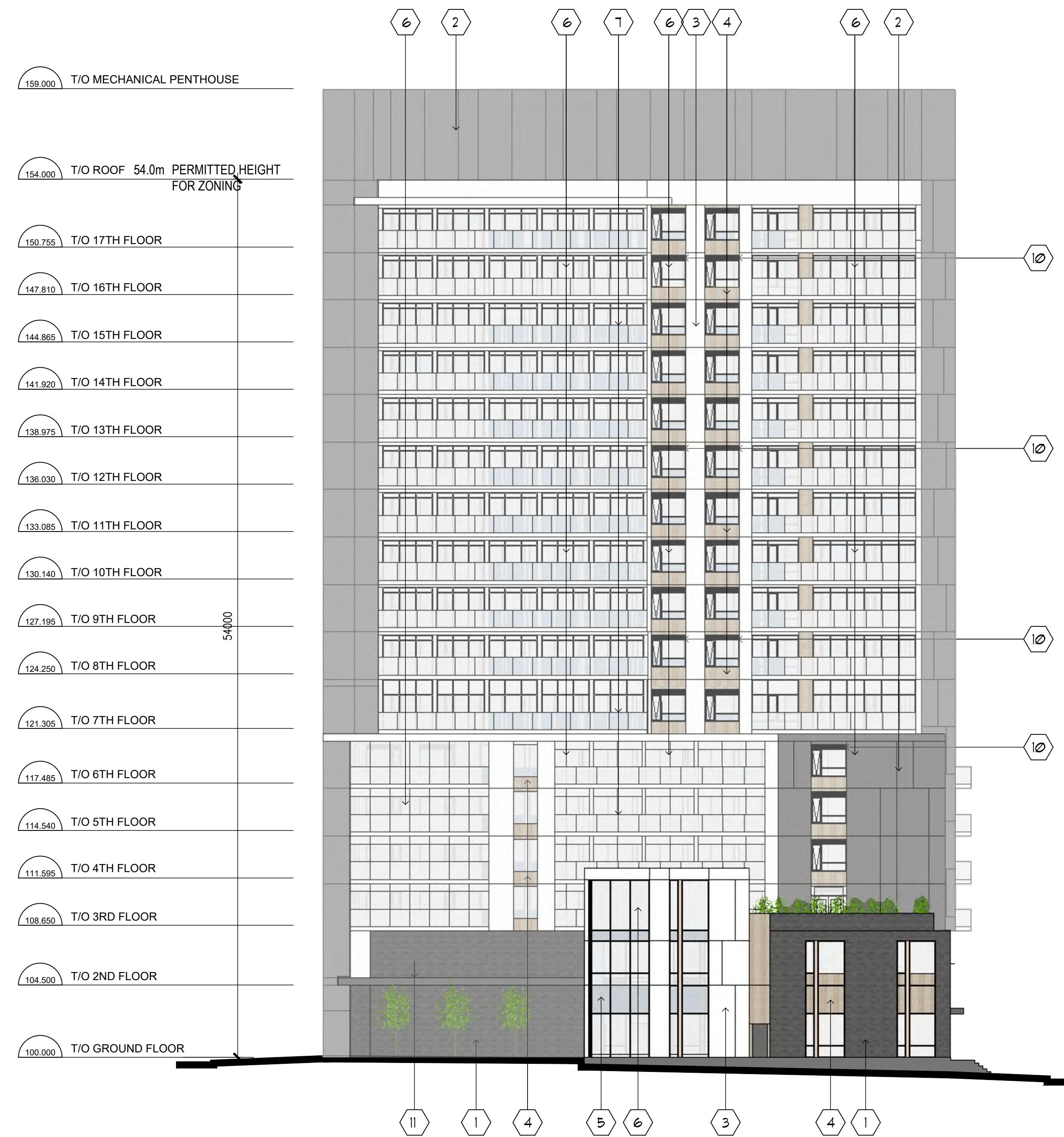
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1971 & 1975 ST. LAURENT BLVD.
OTTAWA, ONTARIO
FOR: STARLIGHT DEVELOPMENTS

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CHECKED BY	PETROFF	DWG. NO.	A330
DATE			
ISSUED			



2 BLOCK C EAST ELEVATION
A331 SCALE: 1:200



1 BLOCK C NORTH ELEVATION
A331 SCALE: 1:200

MATERIAL LEGEND

- 1 FULL BED MASONRY BRICK VENEER AND/OR ARCHITECTURAL PRECAST CONCRETE
- 2 PRE-FINISHED ACM PANEL COLOUR 1
- 3 PRE-FINISHED ACM PANEL COLOUR 2
- 4 INSULATED PRE FINISHED SPANDREL METAL PANEL IN THERMALLY BROKEN PRE-FINISHED ALUMINUM WINDOW WALL SYSTEM
- 5 INSULATED BACK PAINTED SPANDREL GLAZING IN THERMALLY BROKEN PRE-FINISHED ALUMINUM WINDOW WALL SYSTEM
- 6 LOW-E CLEAR GLAZING IN THERMALLY BROKEN PRE-FINISHED ALUMINUM WINDOW WALL SYSTEM
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- 8 CLEAR TEMPERED GLASS JULIETTE STYLE GUARDRAIL IN PRE-FINISHED ALUMINUM RAILING SYSTEM
- 9 GALVALUME ARCHITECTURAL LOUVER
- 10 ARCHITECTURAL LOUVER
- 11 PRE-FINISH METAL PANEL CLAD CANOPY

NOTE '1': BIRD-SAFE DESIGN: FEATURES AND PROTECTION MEASURES APPLIED AS SPECIFIED IN THE CITY OF OTTAWA'S "BIRD-SAFE DESIGN GUIDELINES". TO BE APPLIED TO ALL VISION GLASS AND BALCONY GUARDRAILINGS FROM GROUND FLOOR TO 7TH FLOOR; 16m FROM TOP OF GRADE; AND 4m MEASURED FROM TOP OF OUTDOOR ROOF AMENITY AREAS

NO.	REVISIONS	DATE	BY
2	ISSUED FOR SITE PLAN APPROVAL	FEB.09.2021	OH
1	ISSUED FOR CLIENT REVIEW	FEB.04.2021	OH

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**BUILDING C
NORTH & EAST ELEVATIONS**

**PROPOSED MULTI-FAMILY
RESIDENTIAL DEVELOPMENT**
1971 & 1975 ST. LAURENT BLVD.
OTTAWA, ONTARIO
FOR: STARLIGHT DEVELOPMENTS

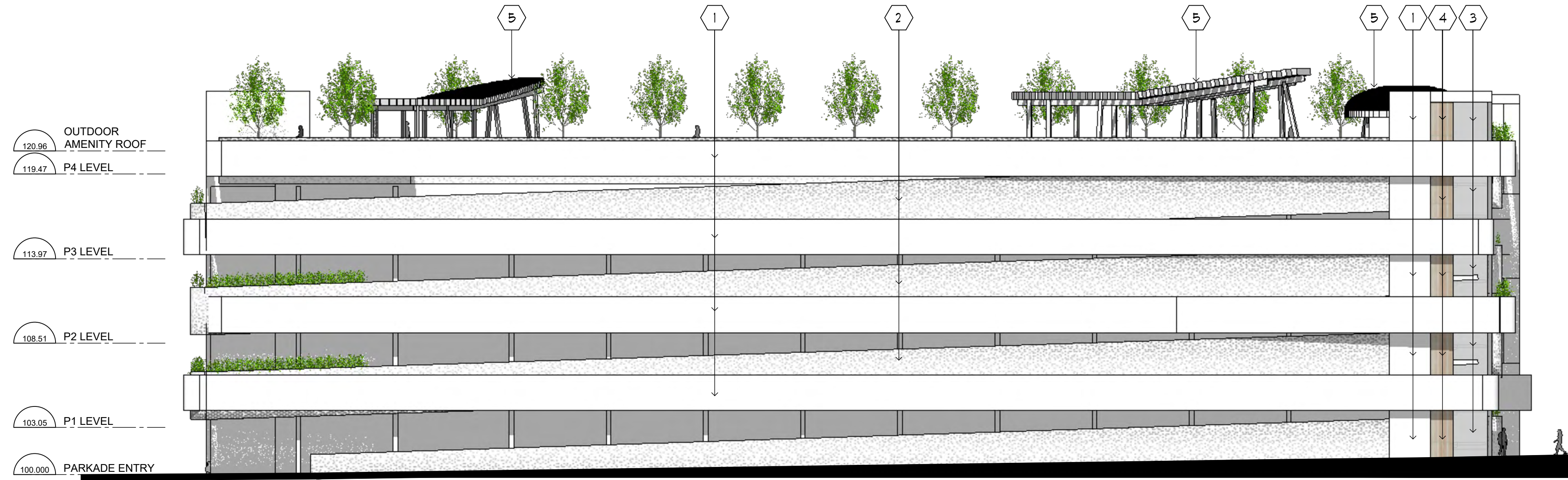
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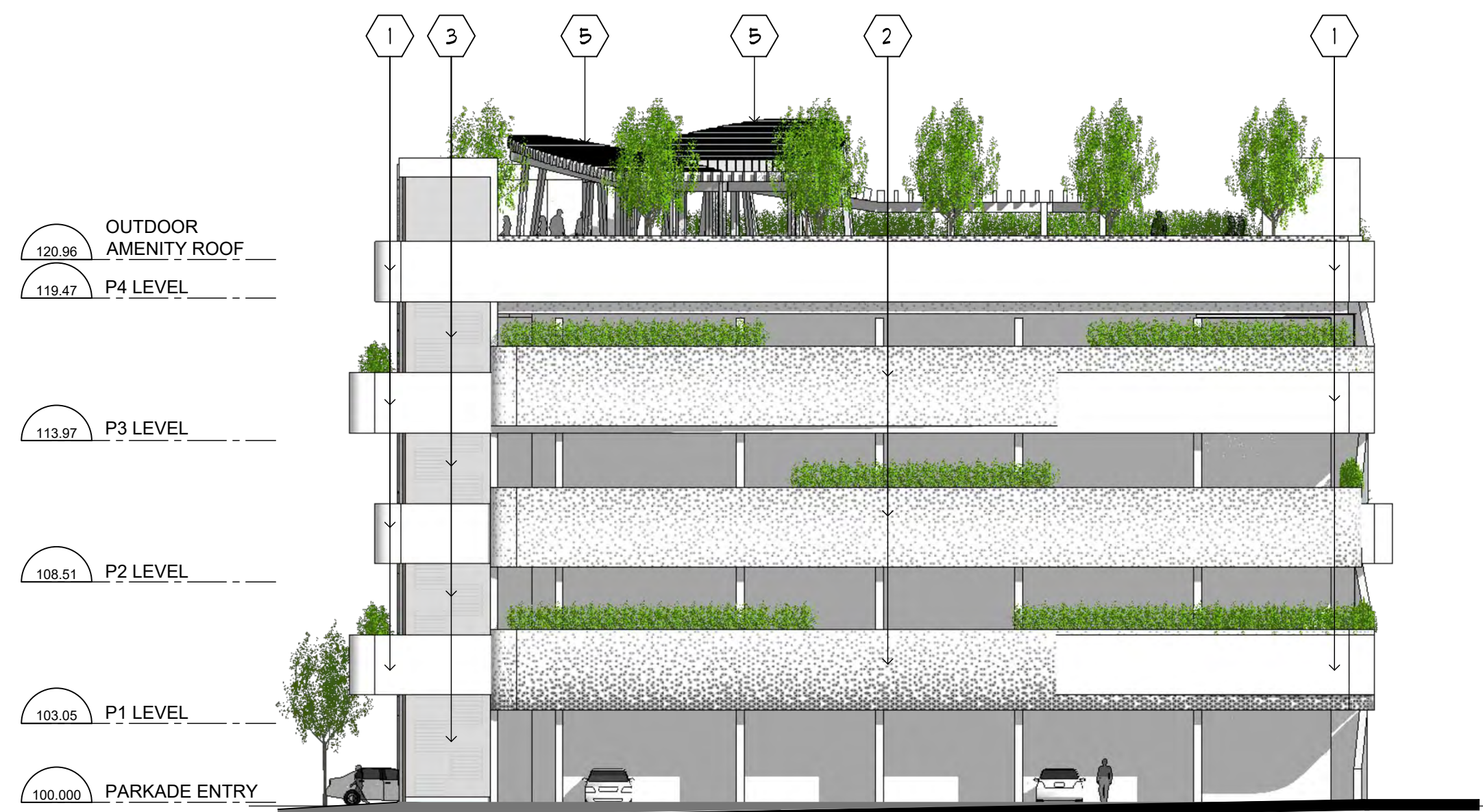
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CHECKED BY	PETROFF	DWG. NO.	A331
DATE			
ISSUED			

MATERIAL LEGEND

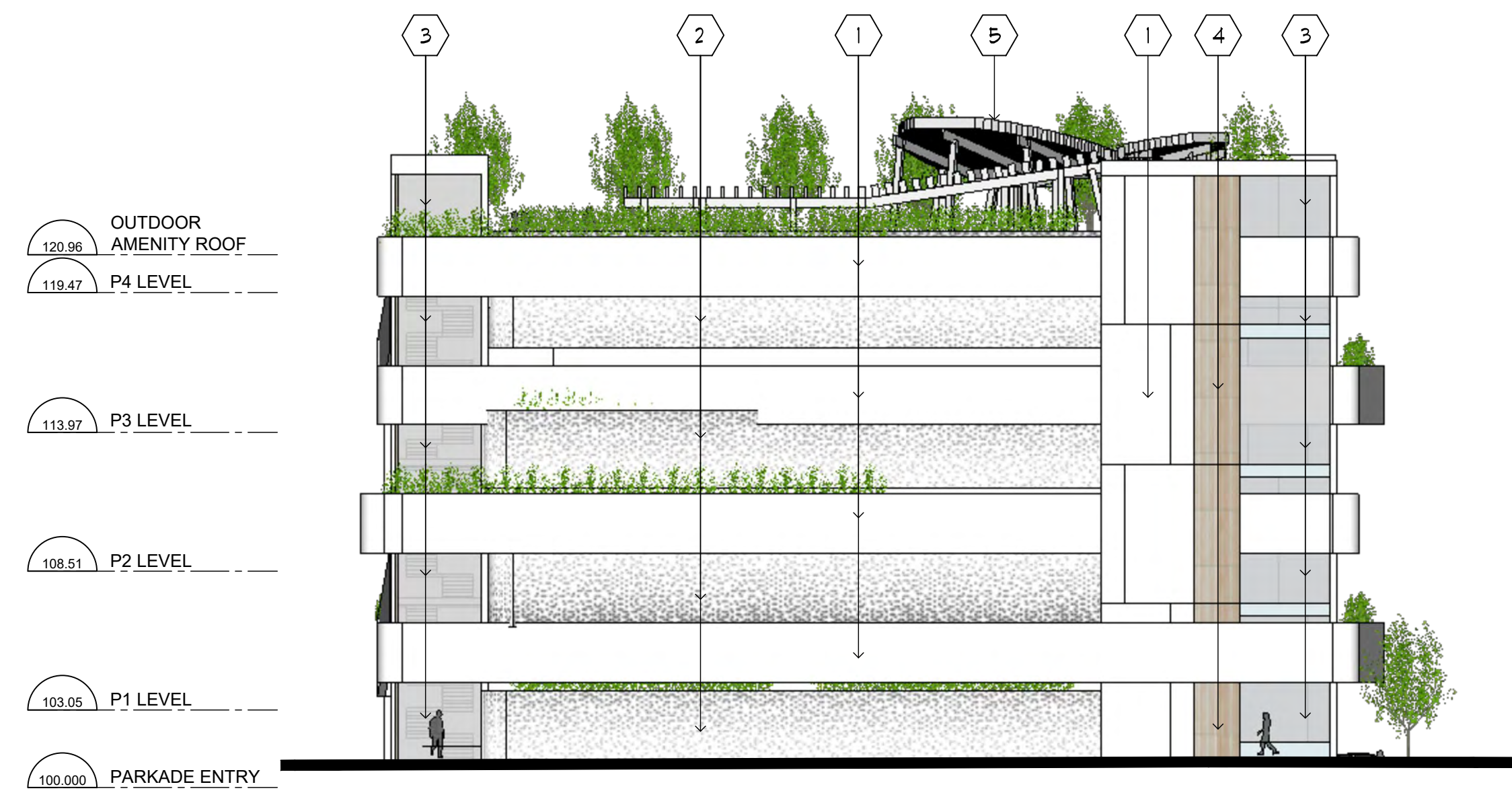
- 1 ARCHITECTURAL PRECAST CONCRETE PANELS
SMOOTH FINISH
- 2 ARCHITECTURAL PRECAST CONCRETE PANELS
TEXTURED FINISH
- 3 LOW-E CLEAR GLAZING IN THERMALLY BROKEN PRE-FINISHED
ALUMINUM WINDOW WALL SYSTEM
- 4 INSULATED PRE-FINISHED SPANDREL METAL PANEL IN THERMALLY
BROKEN PRE-FINISHED ALUMINUM WINDOW WALL SYSTEM
- 5 PRE-FINISHED METAL FRAME TRELLIS



1 PARKADE EAST ELEVATION
A340 SCALE: 1:200



2 PARKADE SOUTH ELEVATION
A340 SCALE: 1:200



1 PARKADE NORTH ELEVATION
A340 SCALE: 1:200

NO.	REVISIONS	DATE	BY
2	ISSUED FOR SITE PLAN APPROVAL	FEB.09.2021	OH
1	ISSUED FOR CLIENT REVIEW	FEB.04.2021	OH

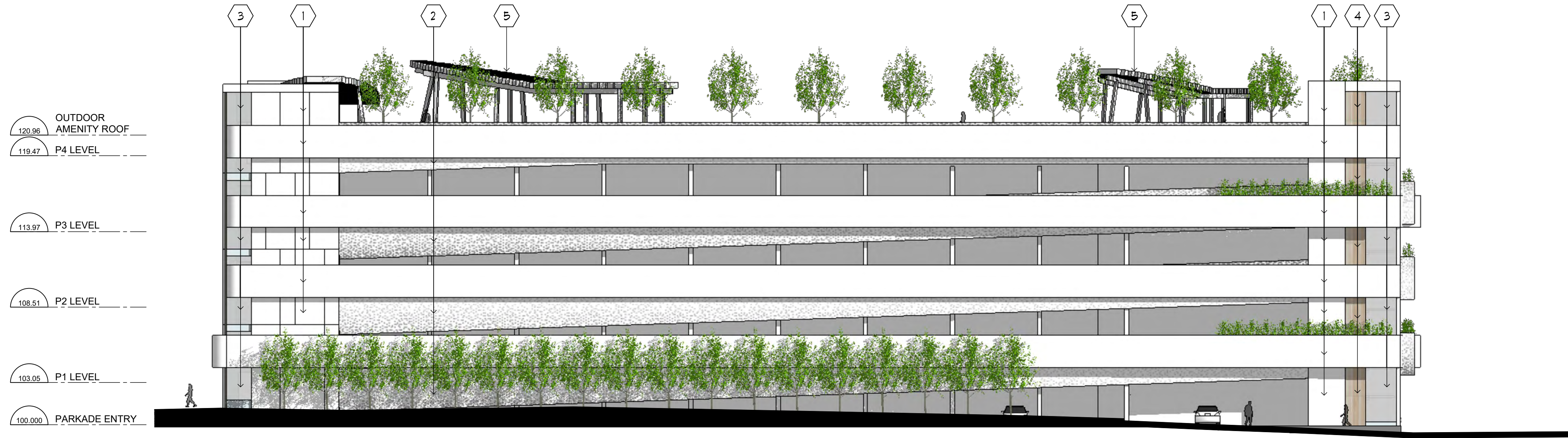
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PARKADE ELEVATIONS
SCALE: AS NOTED
PROPOSED MULTI-FAMILY RESIDENTIAL DEVELOPMENT
1971 & 1975 ST. LAURENT BLVD.
OTTAWA, ONTARIO
FOR: STARLIGHT DEVELOPMENTS

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DRAWN BY: PETROFF	PROJECT NO: 21740	
CHECKED BY: PETROFF	DWG. NO: A340	
DATE:		
ISSUED:		

MATERIAL LEGEND

- 1 ARCHITECTURAL PRECAST CONCRETE PANELS SMOOTH FINISH
- 2 ARCHITECTURAL PRECAST CONCRETE PANELS TEXTURED FINISH
- 3 LOW-E CLEAR GLAZING IN THERMALLY BROKEN PRE-FINISHED ALUMINUM WINDOW WALL SYSTEM
- 4 INSULATED PRE-FINISHED SPANDREL METAL PANEL IN THERMALLY BROKEN PRE-FINISHED ALUMINUM WINDOW WALL SYSTEM
- 5 PRE-FINISHED METAL FRAME TRELLIS



1 PARKADE WEST ELEVATION
 A341 SCALE: 1:200

NL	REVISIONS	DATE	BY
2	ISSUED FOR SITE PLAN APPROVAL	FEB. 09. 2021	OH
1	ISSUED FOR CLIENT REVIEW	FEB. 04. 2021	OH

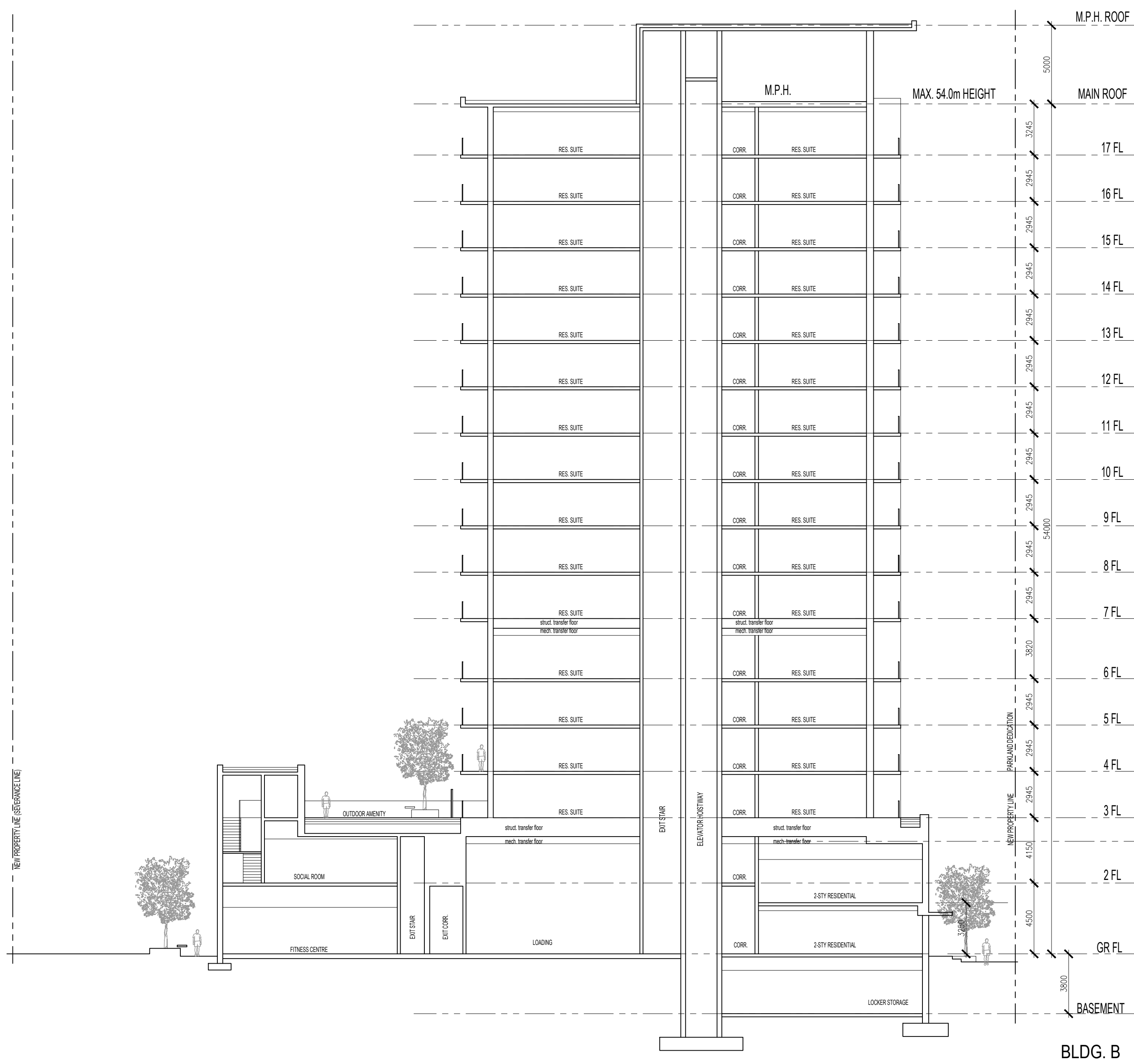
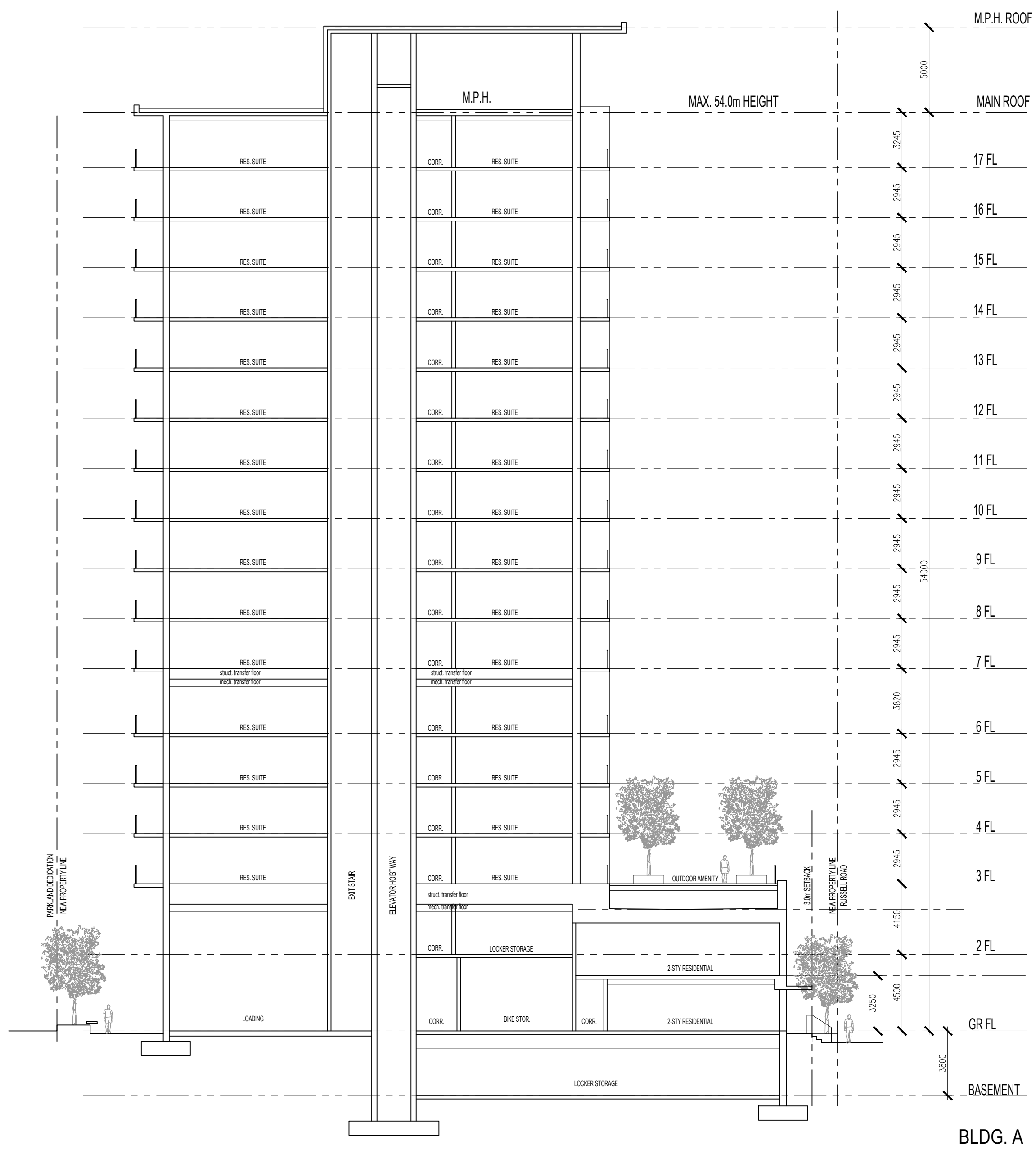
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PARKADE ELEVATIONS

SCALE: AS NOTED
PROPOSED MULTI-FAMILY RESIDENTIAL DEVELOPMENT
 1971 & 1975 ST. LAURENT BLVD.
 OTTAWA, ONTARIO
 FOR: STARLIGHT DEVELOPMENTS

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DRAWN BY:	PETROFF	PROJECT NO.	21740
CHECKED BY:	PETROFF	DWG. NO.	A341
DATE:			
ISSUED:			



1 BUILDING 'A' - BUILDING SECTION
A401 SCALE: 1:200

2 BUILDING 'B' - BUILDING SECTION
A401 SCALE: 1:200

NO.	REVISIONS	DATE	BY
2	ISSUED FOR SITE PLAN APPROVAL	FEB.09.2021	OH
1	ISSUED FOR CLIENT REVIEW	FEB.04.2021	OH

NO.	REVISIONS	DATE	BY

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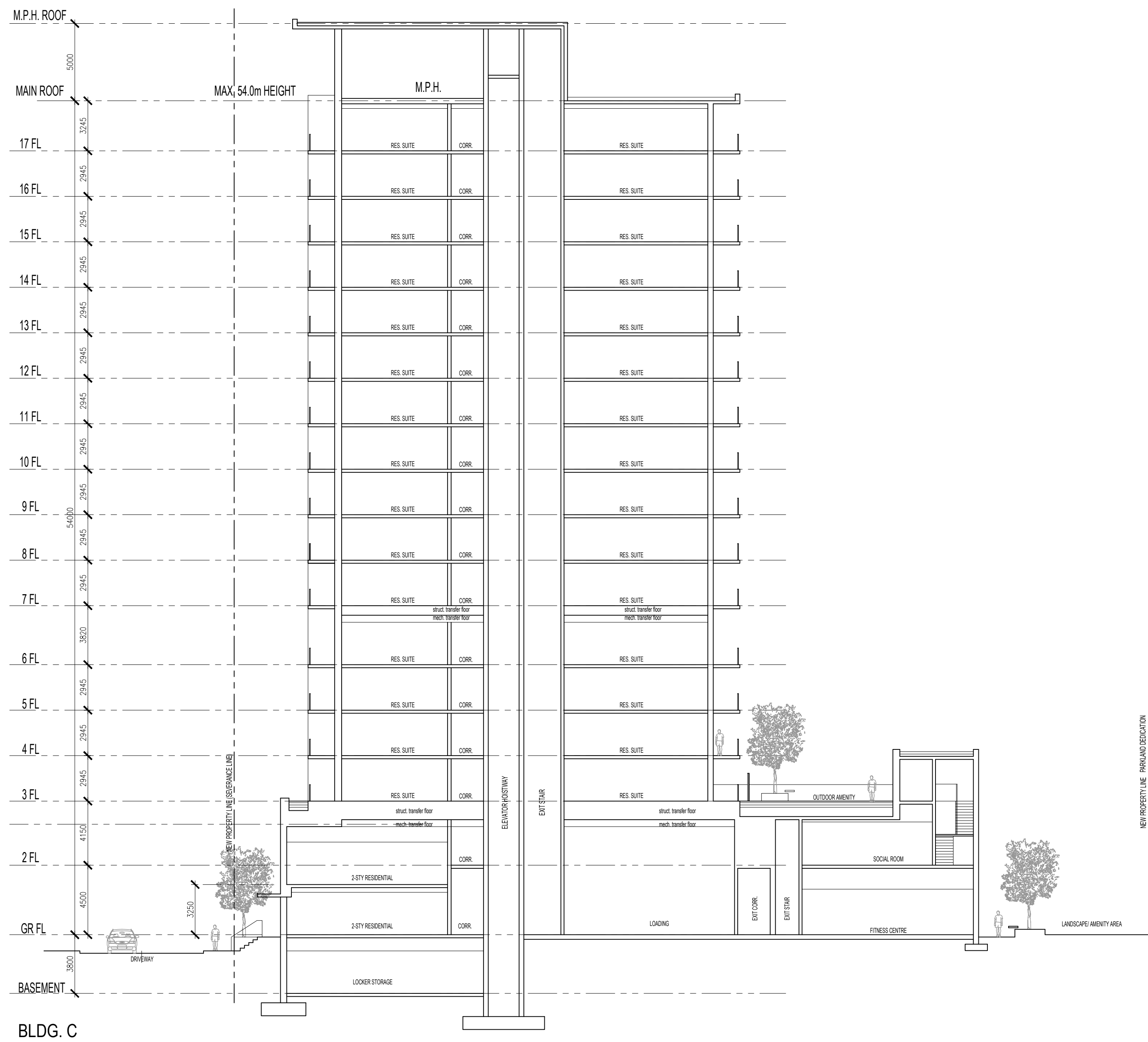
BUILDING SECTIONS

PROPOSED MULTI-FAMILY RESIDENTIAL DEVELOPMENT
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OTTAWA, ONTARIO
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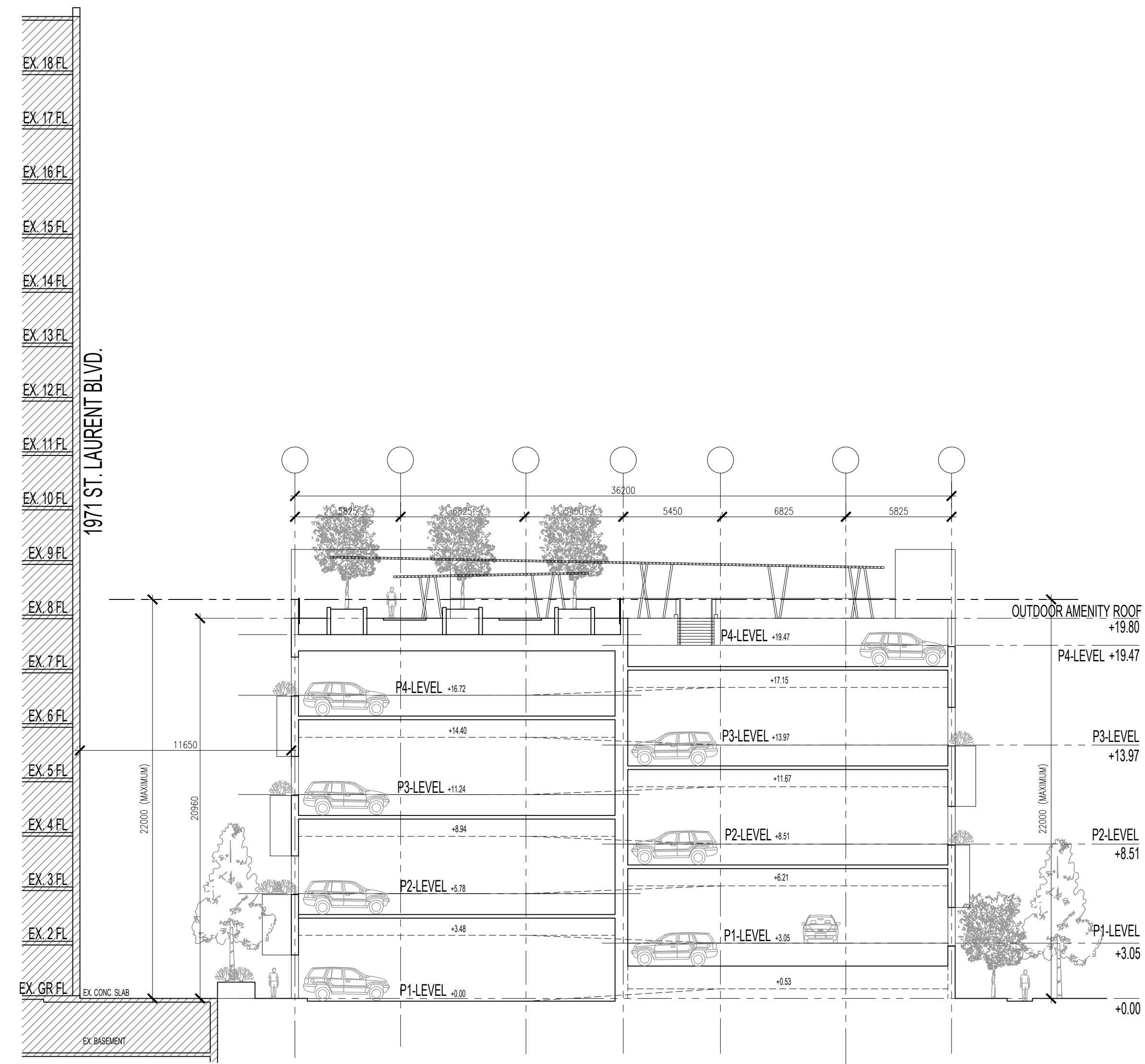
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BLDG. C



1 BUILDING 'C' - BUILDING SECTION
A402 SCALE: 1:200

2 PARKADE - BUILDING CROSS-SECTION
A402 SCALE: 1:200

2	ISSUED FOR SITE PLAN APPROVAL	FEB.09.2021	OH
1	ISSUED FOR CLIENT REVIEW	FEB.04.2021	OH

NO.	REVISIONS	DATE	BY

Contractor must check and verify all dimensions on the job and report any discrepancies to the Architect before proceeding with the work.
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BUILDING SECTIONS

SCALE: AS NOTED
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