

ZONING PROVISION	REQUIRED	PROVIDED
MIN. LOT WIDTH	75 m	228.93 m
MIN. LOT AREA	10000 m <sup>2</sup>	37582 m <sup>2</sup>
MIN. FRONT YARD SETBACK	9 m	70.65 m
MIN. CORNER YARD SETBACK	9 m	N/A
MIN. REAR YARD SETBACK	10 m	65.69 m
MIN. INTERIOR YARD SETBACK	9 m	76.82 m (WEST) 118.20 m (EAST)
MAX. HEIGHT	10 m	6.67 m
LOT COVERAGE	30% MAX. 11275 m <sup>2</sup>	2.4% 917 m <sup>2</sup>
LANDSCAPED AREA	20% MIN. 7516 m <sup>2</sup>	97.6% 36665 m <sup>2</sup>

PARKING QUEUING + LOADING	REQUIRED	PROVIDED
PARKING SPACES INCLUDING:		
• COMMUNITY HALL (388x4/100 = 16)	16	12
• SPORT FIELD (3x4=12)	12	4
• EXISTING FIRE STATION (357x1/100=4)	4	
TOTAL PARKING SPACES	32	44
ACCESSIBLE SPACES	1	2
BICYCLE PARKING	1	12

**LEGAL DESCRIPTION**  
CITY OF OTTAWA  
PIN 04540-0186  
PIN 04540-0187

**REFERENCE SURVEY**  
BASED ON THE TOPOGRAPHIC SKETCH OF BLOCK A, REGISTERED PLAN M-4248, GEOGRAPHIC TOWNSHIP OF HUNTLEY, CITY OF OTTAWA. TOPOGRAPHIC SKETCH IS ISSUED BY OTTAWA PLANNING, INFRASTRUCTURE AND ECONOMIC DEVELOPMENT DEPARTMENT, SURVEYS AND MAPPING BRANCH. FIELD SURVEY ACCOMPLISHED AND CERTIFIED BY THE ONTARIO LAND SURVEYOR SAEID SEDAGHAT AT SEPTEMBER 14, 2022.

**MUNICIPAL ADDRESS**  
3347 & 3349 OLD ALMONTE RD.  
CARP, ON, CANADA

**SITE AREA** 37582m<sup>2</sup>  
**BUILDING AREA** 507.6 m<sup>2</sup>  
**GROSS FLOOR AREA PER ZONING** 388.1 m<sup>2</sup>  
**BUILDING HEIGHT** 6.67 m / 1 STOREY  
**ZONE** RI3

**SITE PLAN GENERAL NOTES:**

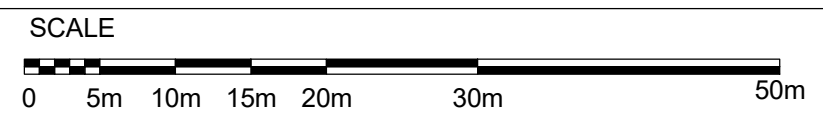
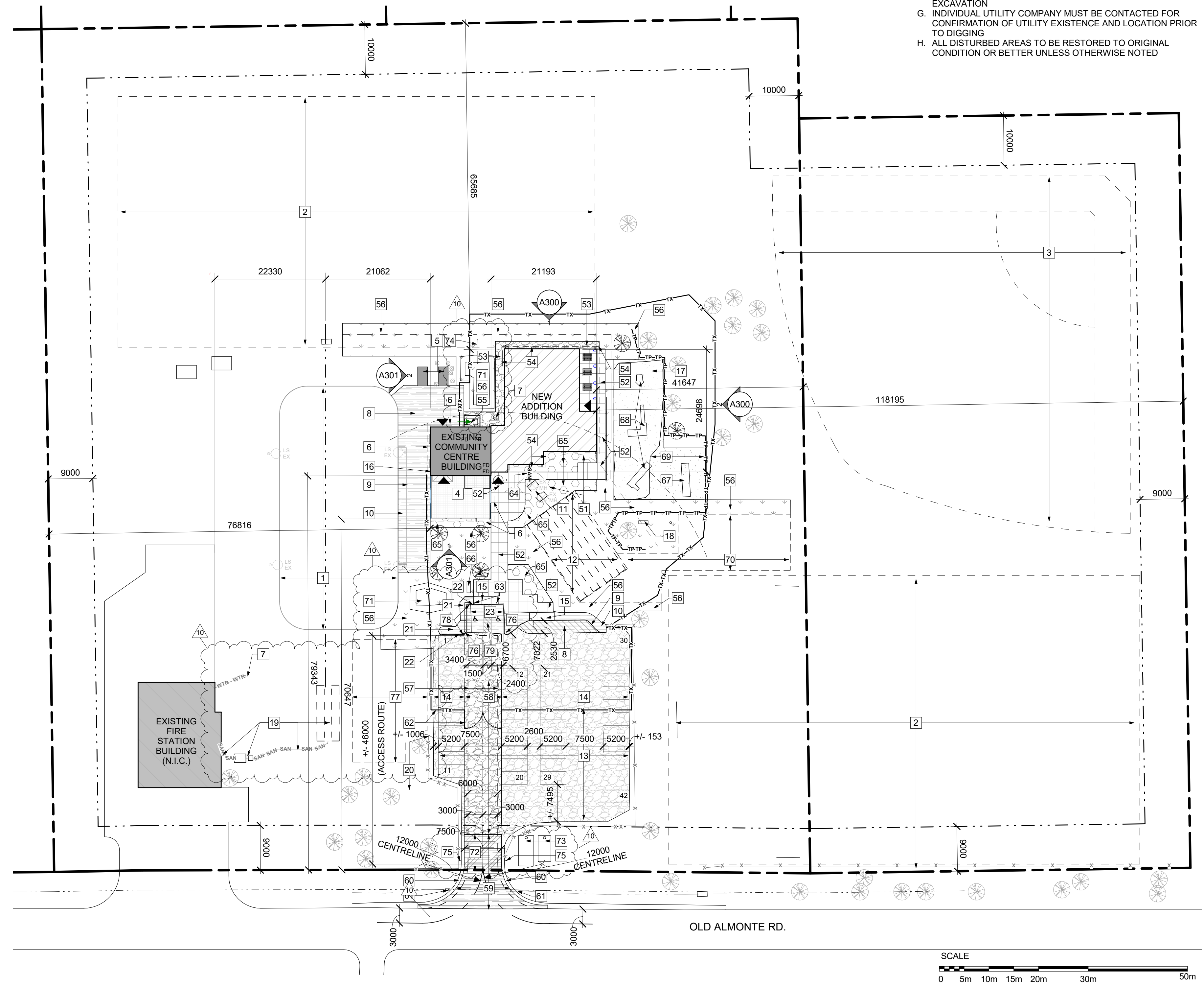
- A. DO NOT SCALE THIS DRAWING
- B. REPORT ANY DISCREPANCIES PRIOR TO COMMENCING WORK. NO RESPONSIBILITY IS BORN BY THE CONSULTANT FOR UNKNOWN SUBSURFACE CONDITIONS
- C. CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ANY ERRORS AND/OR OMISSIONS TO THE CONSULTANT
- D. REINSTATE ALL AREAS AND ITEMS DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITIES TO THE SATISFACTION OF THE CONSULTANT
- E. CONTRACTOR TO LAYOUT PLANTING BEDS, PATHWAYS ETC. TO APPROVAL OF CONSULTANT PRIOR TO ANY JOB EXCAVATION
- F. THE ACCURACY OF THE POSITION OF UTILITIES IS NOT GUARANTEED - CONTRACTOR TO VERIFY PRIOR TO EXCAVATION
- G. INDIVIDUAL UTILITY COMPANY MUST BE CONTACTED FOR CONFIRMATION OF UTILITY EXISTENCE AND LOCATION PRIOR TO DIGGING
- H. ALL DISTURBED AREAS TO BE RESTORED TO ORIGINAL CONDITION OR BETTER UNLESS OTHERWISE NOTED

**NEW SITE PLAN LEGEND**

- EXISTING BUILDING TO REMAIN
- DEMOLISH EXISTING BUILDING AND OBJECTS
- EXISTING BUILDING NOT IN CONTRACT
- NEW ADDITION BUILDING
- EXISTING ASPHALT TO REMAIN
- NEW ASPHALT
- EXISTING CONCRETE SIDEWALK TO REMAIN
- NEW CONCRETE SIDEWALK
- EXISTING CRUSHED STONE PARKING TO REMAIN
- NEW GRANULAR PER LANDSCAPING
- EXISTING PLANTING TO REMAIN
- NEW PLANTING
- NEW GRASS
- EXISTING SAND PLAYGROUND TO REMAIN
- NEW SAND PLAYGROUND
- MUD SLAB PER CIVIL (TEMPORARY CONSTRUCTION)
- PROPERTY LINE
- SETBACK LINE
- ROAD SETBACK
- OVERHEAD
- EXISTING FENCE TO REMAIN
- NEW FENCE
- TEMPORARY FENCE FOR PERIOD OF CONSTRUCTION
- TREE PROTECTION PER LANDSCAPING
- EXISTING WATER SUPPLY TO REMAIN
- NEW WATER SUPPLY
- EXISTING SANITARY TO REMAIN
- NEW SANITARY
- NEW STORM
- EXISTING ELECTRICAL SERVICE TO REMAIN (BELOW GRADE)
- NEW ELECTRICAL SERVICE (BELOW GRADE)
- BUILDING ENTRANCE / EXIT
- LIGHT STAND - EXISTING
- LIGHT STAND - NEW
- MANHOLE - EXISTING
- MANHOLE - NEW
- UTILITY POLE - EXISTING
- UTILITY POLE - NEW
- TREE - EXISTING
- TREE - NEW

**SITE PLAN KEYNOTES:**

- 1 EXISTING SKATING RING TO REMAIN
- 2 EXISTING SOCCER FIELD TO REMAIN
- 3 EXISTING BASEBALL DIAMOND TO REMAIN
- 4 EXISTING COVERED DECK TO REMAIN
- 5 EXISTING STORAGE UNIT TO REMAIN
- 6 EXISTING ROOF OVERHANG ABOVE TO REMAIN
- 7 EXISTING DRILLED WELL TO REMAIN. VERIFY LOCATION ON SITE.
- 8 EXISTING ASPHALT PAVING TO REMAIN
- 9 EXISTING CURB TO REMAIN
- 10 EXISTING ASPHALT SIDEWALK TO REMAIN
- 11 EXISTING SEPTIC TANK TO REMAIN
- 12 EXISTING SEPTIC DRAIN FIELD TO REMAIN. ELIMINATE AUTOMOBILE AND EQUIPMENT MOVEMENT OVER THIS AREA
- 13 PARKING SPACES RESERVED FOR SOCCER TEAMS DURING CONSTRUCTION
- 14 EXISTING GRAVEL PARKING TO REMAIN
- 15 EXISTING ACCESSIBLE CONCRETE CURB RAMP AND DEPRESSED CURB TO REMAIN
- 16 EXISTING HOSE BIB TO REMAIN. ENSURE RUNNING WATER FOR HOCKEY RING DURING CONSTRUCTION.
- 17 EXISTING PLAYGROUND TO REMAIN
- 18 EXISTING BENCH TO REMAIN
- 19 EXISTING SEPTIC FIELD AND SANITARY SERVICE. SHOWN LOCATIONS ARE APPROXIMATE. VERIFY LOCATIONS ON SITE.
- 20 PORTION OF EXISTING LUMBER FENCE TO REMAIN. COORDINATE EXTENT ON SITE.
- 21 PORTION OF EXISTING ASPHALT SIDEWALK TO REMAIN
- 22 PORTION OF EXISTING CONCRETE CURB TO REMAIN
- 23 PORTION OF EXISTING ASPHALT PAVING TO REMAIN
- 51 REQUIRED STRUCTURE SETBACK
- 52 NEW CONCRETE PAVING PER LANDSCAPING
- 53 NEW GRANULAR PER LANDSCAPING
- 54 NEW ROOF OVERHANG ABOVE
- 55 NEW HEAT PUMP AND CONDENSING UNITS PER MECHANICAL ON CONCRETE PAD. SURROUND BY LINK FENCE WITH LOCKABLE ACCESS GATE.
- 56 NEW TOP SOIL AND GRASS AT AREA AFFECTED BY CONSTRUCTION AND PER LANDSCAPING
- 57 NEW ACCESS ROUTE FOR FIRE DEPARTMENT (SHOWN DASHED). CLEAR WIDTH 6000mm MIN., CENTERLINE RADIUS 12000mm MIN.
- 58 NEW HEAVY DUTY GRAVEL PAVEMENT STRUCTURE DESIGNED TO SUPPORT FIRE FIGHTING EQUIPMENT AND PERMIT ACCESSIBILITY UNDER ALL CLIMATIC CONDITIONS PER CIVIL
- 59 NEW ASPHALT HEAVY DUTY PAVEMENT STRUCTURE DESIGNED TO SUPPORT FIRE FIGHTING EQUIPMENT PER CIVIL
- 60 EXTEND DRIVEWAY PER CIVIL AS REQUIRED. VERIFY EXTENT OF EXISTING DRIVEWAY ON SITE.
- 61 EXTEND CULVERT PER CIVIL AS REQUIRED. VERIFY EXTENT OF EXISTING CULVERT ON SITE.
- 62 TEMPORARY FENCING COMPLETED WITH ACCESS GATES FOR PERIOD OF CONSTRUCTION
- 63 NEW POST AND ACCESSIBLE PARKING SIGN.
- 64 NEW SANITARY SEWAGE PER CIVIL
- 65 NEW PLANTING PER LANDSCAPING
- 66 INSTALL SALVAGED BICYCLE RACKS. ADJUST AS REQUIRED.
- 67 INSTALL SALVAGED SWINGS PER LANDSCAPING
- 68 INSTALL SALVAGED PLAY STRUCTURES PER LANDSCAPING
- 69 NEW PLAY GROUND EXTENSION PER LANDSCAPING
- 70 AREA FOR FUTURE SEPTIC FIELD EXPANSION PER LANDSCAPING
- 71 POND PER CIVIL
- 72 TEMPORARY CONSTRUCTION. MUD MAT PER CIVIL ON TOP OF EXISTING ASPHALT SITE ENTRANCE.
- 73 NEW HOLDING TANKS FOR FIRE PROTECTION PER CIVIL C/W FIRE SERVICE CONNECTIONS AND ROUND ACCESS OPENINGS.
- 74 COVERED DRAINAGE PIPE PER CIVIL
- 75 NEW POST AND SIGN C/W WORDING: " 6 METER WIDE FIRE ROUTE WITHIN PARKING AISLE. NO PARKING ON FIRE ROUTE."
- 76 NEW POST AND SIGN C/W WORDING: " END OF FIRE ROUTE."
- 77 SNOW STORAGE AREA
- 78 PROVIDE NEW CONCRETE CURB AS REQUIRED FOR NEW ACCESSIBLE PARKING CONSTRUCTION. REINSTATE ASPHALT PAVING AND BASE COURSES. MATCH EXISTING CONCRETE CURB AND EXISTING PAVING ASSEMBLIES AT SIDEWALK AND PARKING SPOTS. MAKE ALL JUNCTION SMOOTH AND IN STRAIGHT LINES
- 79 PROVIDE NEW CONTRASTING PAINTING AT FACE OF ASPHALT WITHIN 1500mm ACCESS AISLE. REINSTATE PAVING MARKINGS CONTAINING INTERNATIONAL SYMBOL OF ACCESSIBILITY.



**1 OVERALL SITE PLAN - NEW**  
A100 | 1:500

sustainable design · conception écologique  
613.564.8118 190 O Connor Street, Suite 100  
www.csv.ca Ottawa, Ontario, K2P 2R3

**STRUCTURAL ENGINEER**  
WSP  
2611 Queensview Dr, Suite 300  
Ottawa, Ontario, K2B 8K2 Canada  
613-690-3752  
wsp.com

**MECHANICAL ENGINEER**  
Chorley + Bisset Consulting  
Engineers  
403-250 City Centre Ave,  
Ottawa ON K1R 6K7  
613-241-0030  
chorley.com

**ELECTRICAL ENGINEER**  
Chorley + Bisset Consulting  
Engineers  
403-250 City Centre Ave,  
Ottawa ON K1R 6K7  
613-241-0030  
chorley.com

**CIVIL ENGINEER**  
McIntosh Perry  
115 Walgreen Road, RR3,  
Carp, ON K0A 1L0  
613-836-2184  
mcintoshperry.com

**LANDSCAPE ARCHITECT**  
GJA Inc.  
110 Didsbury Road Unit #9  
Ottawa Ontario, K2T 0C2  
613-286-5130  
Gino@GJALA.com

**STAMP**

10	2022/11/08	ISSUED FOR SITE PLAN CONTROL REVIEW
6	2022/04/22	ISSUED FOR TENDER
3	2022/02/23	ISSUED FOR SITE PLAN CONTROL
REV DATE		ISSUE

**NOTES**

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**CLIENT**

**CITY OF OTTAWA**

OTTAWA  
ONTARIO, CANADA

**PROJECT**

**CORKERY COMMUNITY HALL EXPANSION**

3447 OLD ALMONTE RD., CARP, ON K0A 1L0

**TITLE**

**SITE PLAN**

PROJECT NO: 2020-0640  
DRAWN: JS  
APPROVED: IK  
SCALE: As indicated  
DATE PRINTED: 11/8/2022 6:21:18 PM

REV DRAWING NO.

10 A100

STRUCTURAL ENGINEER  
 WSP  
 2611 Queensview Dr, Suite 300  
 Ottawa, Ontario, K2B 8K2 Canada  
 613-690-3752  
 wsp.com

MECHANICAL ENGINEER  
 Chorley + Bisset Consulting  
 Engineers  
 403-250 City Centre Ave,  
 Ottawa ON K1R 6K7  
 613-241-0030  
 chorley.com

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 403-250 City Centre Ave,  
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CIVIL ENGINEER  
 McIntosh Perry  
 115 Walgreen Road, RR3,  
 Carp, ON K0A 1L0  
 613-836-2184  
 mcintoshperry.com

LANDSCAPE ARCHITECT  
 GJA Inc.  
 110 Didsbury Road Unit #9  
 Ottawa Ontario, K2T 0C2  
 613-286-5130  
 Gjno@GJALA.com

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- 23 PORTION OF EXISTING ASPHALT PAVING TO REMAIN

**DEMOLITION SITE PLAN LEGEND**

	EXISTING BUILDING TO REMAIN
	DEMOLISH EXISTING BUILDING AND OBJECTS
	EXISTING BUILDING NOT IN CONTRACT
	EXISTING ASPHALT TO REMAIN
	EXISTING ASPHALT TO REMOVE
	EXISTING CONCRETE SIDEWALK TO REMAIN
	EXISTING CRUSHED STONE PARKING TO REMAIN
	EXISTING CRUSHED STONE PARKING TO REMOVE
	EXISTING PLANTING TO REMAIN
	EXISTING SAND PLAYGROUND TO REMAIN
	NEW SHORING
	PROPERTY LINE
	SETBACK LINE
	OVERHEAD
	EXISTING FENCE TO REMAIN
	DEMOLISH EXISTING FENCE
	EXISTING ELECTRICAL SERVICE TO REMAIN (BELOW GRADE)
	EXISTING WATER SUPPLY TO REMAIN
	EXISTING SANITARY TO REMAIN
	BUILDING ENTRANCE / EXIT
	LIGHT STAND - EXISTING TO REMAIN
	MANHOLE - EXISTING TO REMAIN
	UTILITY POLE - EXISTING TO REMAIN
	TREE - EXISTING TO REMAIN
	TREE - DEMOLITION
	SHRUB - EXISTING TO REMAIN
	SHRUB - DEMOLITION

- 31 REQUIRED STRUCTURE SETBACK
- 32 REMOVE EXISTING TREE
- 33 REMOVE EXISTING BENCH. REPAIR, CLEAN AND STORE FOR RE-USE AT NEW CONSTRUCTION
- 34 REMOVE EXISTING ASPHALT PAVING AND BASE COURSES AS REQUIRED FOR NEW CONSTRUCTION. CUT ASPHALT IN STRAIGHT LINE.
- 35 REMOVE EXISTING SHRUBS
- 36 REMOVE EXISTING BOULDER
- 37 REMOVE PORTION OF EXISTING PLAYGROUND AS REQUIRED FOR FOUNDATION EXCAVATION AND NEW LANDSCAPING. MINIMIZE REMOVAL ON SITE.
- 38 EXCAVATE AS REQUIRED FOR FOUNDATION CONSTRUCTION PER GEOTECHNICAL. CONSIDER EXTENT OF EXCAVATION SLOPES PER GEOTECHNICAL.
- 39 NEW SHORING AS REQUIRED TO PROTECT EXISTING WATER WELL / SANITARY TANK FOR PERIOD OF WORK. REMOVE UPPER PORTION OF SHORING FOR PROPER LANDSCAPING WHEN SAFE FOR WELL AT THE END OF CONSTRUCTION.
- 40 PROTECT EXISTING FOUNDATION FOR PERIOD OF WORK. PROVIDE ADEQUATE UNDERPINNING AND SHORING AS REQUIRED.
- 41 REMOVE EXISTING PLANTING AS REQUIRED FOR EXCAVATION.
- 42 REMOVE EXISTING ROOF AS REQUIRED FOR NEW CONSTRUCTION.
- 43 REMOVE PROPANE TANKS SURROUNDED BY LINK FENCE AND ALL ASSOCIATED COMPONENTS
- 44 VERIFY EXISTING GRAVEL THICKNESS ON SITE. REMOVE EXISTING GRAVEL AND SOIL IF REQUIRED TO ACCOMMODATE NEW HEAVY DUTY GRAVEL ACCESS ROUTE ASSEMBLY.
- 45 VERIFY EXISTING ROAD ASSEMBLY ON SIDE. REMOVE EXISTING ASPHALT PAVING, ASSOCIATED BASE COURSES AND SOIL IF REQUIRED FOR NEW ACCESS ROUTE HEAVY DUTY PAVING STRUCTURE.
- 46 TEMPORARY FENCING COMPLETED WITH ACCESS GATES FOR PERIOD OF CONSTRUCTION
- 47 REMOVE EXISTING SANITARY MAIN FROM EXISTING BUILDING TO EXISTING SEPTIC TANK TO REMAIN
- 48 REMOVE EXISTING SWING. INSPECT, REPAIR, CLEAN AND STORE FOR RE-USE AT NEW CONSTRUCTION
- 49 REMOVE EXISTING PLAY STRUCTURE. INSPECT, REPAIR, CLEAN AND STORE FOR RE-USE AT NEW CONSTRUCTION
- 50 REMOVE EXISTING BICYCLE RACKS. INSPECT, REPAIR, CLEAN AND STORE FOR RE-USE AT NEW CONSTRUCTION
- 51 REMOVE EXISTING LUMBER FENCE AND POSTS. COORDINATE ON SITE EXTENT OF REMOVAL TO THE NEAREST POST PASSING THE EXISTING TREE. FILL AND COMPACT THE HOLES AFTER POST REMOVAL. REINSTATE TOP SOIL AND SEED GRASS AT AFFECTED AREAS.
- 52 REMOVE PORTION OF EXISTING CURB AND ASPHALT PAVING AND BASE COURSES AS REQUIRED FOR NEW CURB CONSTRUCTION. CUT ASPHALT IN STRAIGHT LINE. MINIMIZE REMOVAL.
- 53 REMOVE EXISTING PAINTING FROM THE FACE OF ASPHALT. PROTECT EXISTING TO REMAIN ASPHALT



STAMP

REV DATE	ISSUE
10 2022/11/08	ISSUED FOR SITE PLAN CONTROL REVIEW
6 2022/04/22	ISSUED FOR TENDER
4 2022/02/23	ISSUED FOR BUILDING PERMIT AND TENDER

NOTES

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CLIENT

CITY OF OTTAWA

OTTAWA  
 ONTARIO, CANADA

PROJECT

CORKERY COMMUNITY  
 HALL EXPANSION

3447 OLD ALMONTE RD., CARP,  
 ON K0A 1L0

TITLE

DEMOLITION SITE  
 PLAN

PROJECT NO: 2020-0640  
 DRAWN: IK  
 APPROVED: JS  
 SCALE: As indicated  
 DATE PRINTED: 11/8/2022 6:21:19 PM

REV DRAWING NO.

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WSP  
2611 Queensview Dr, Suite 300  
Ottawa, Ontario, K2B 8K2 Canada  
613-690-3752  
wsp.com

**MECHANICAL ENGINEER**  
Chorley + Bisset Consulting  
Engineers  
403-250 City Centre Ave,  
Ottawa ON K1R 6K7  
613-241-0030  
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**LANDSCAPE ARCHITECT**  
GJA Inc.  
110 Didsbury Road Unit # 9  
Ottawa Ontario, K2T 0C2  
613-286-5130  
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3 2022/02/23 ISSUED FOR SITE PLAN CONTROL  
REV DATE ISSUE

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**CITY OF OTTAWA**

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ONTARIO, CANADA

PROJECT

**CORKERY COMMUNITY  
HALL EXPANSION**

3447 OLD ALMONTE RD., CARP,  
ON K0A 1L0

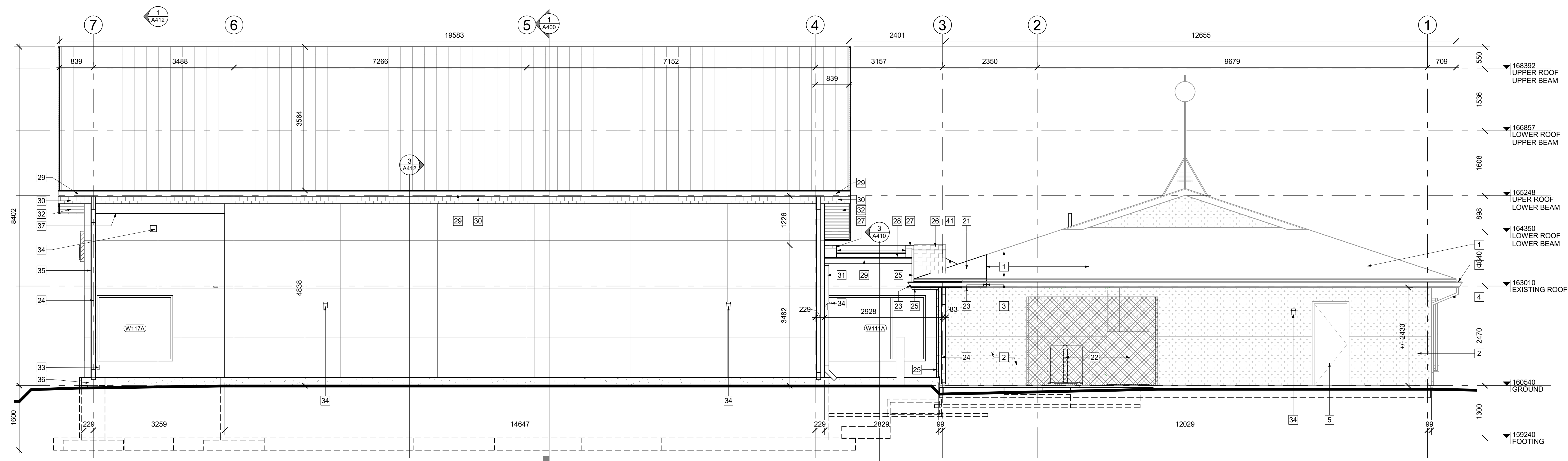
TITLE

**NORTH AND EAST  
ELEVATIONS**

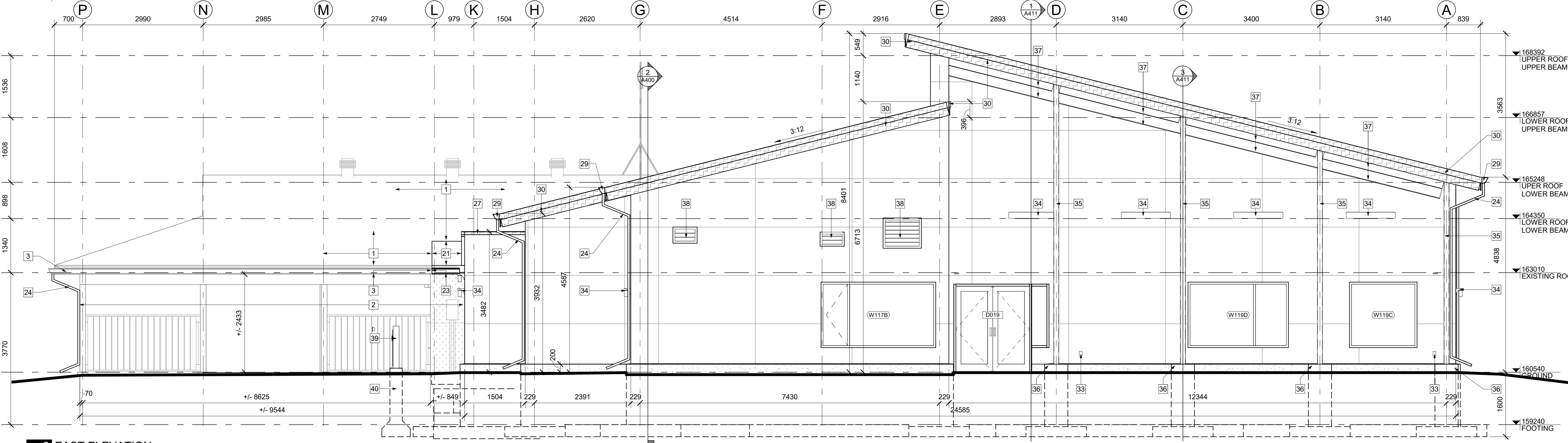
PROJECT NO: 2020-0640  
DRAWN: IK  
APPROVED: JS  
SCALE: 1:50  
DATE PRINTED: 2/24/2022 7:23:03 PM

REV DRAWING NO.

3 A301



**1 CD-ELEX-1N-NORTH ELEVATION - NEW**  
A301 1:50



**2 EAST ELEVATION**  
A301 1:50

**GENERAL NOTES:**

- A. CONTRACTOR TO COORDINATE WITH MANUFACTURER'S SPECIFICATIONS AND INSTALLATIONS GUIDELINES FOR ALL MATERIAL SEALING, TRANSITIONS, SEPARATIONS, FLASHING DETAILS, CONNECTIONS, ANCHORAGES, ETC. CONTRACTOR TO PROVIDE DETAIL DRAWINGS OR MOCK-UP FOR ARCHITECT'S REVIEW AND APPROVAL FOR ALL SPECIAL CONDITIONS NOT SHOWN IN THE CONTRACT DOCUMENTS.
- B. COORDINATE ALL GRADE ELEVATIONS WITH CIVIL ENGINEERING DRAWINGS

**EXTERIOR MATERIALS LEGEND**

HATCH PATTERNS SHOWN ARE FOR GRAPHIC PURPOSES ONLY AND SHOULD BE COORDINATED WITH ACTUAL SPECIFIED MATERIALS.

HATCH	SYMBOL	DESCRIPTION
[Pattern]	[Symbol]	NEW ASPHALT SHINGLE ROOF MATCH EXISTING
[Pattern]	[Symbol]	STANDING SEAM ROOFING MANUFACTURER: TBD COLOUR: TBD

HATCH	SYMBOL	DESCRIPTION
[Pattern]	[Symbol]	NEW ASPHALT SHINGLE ROOF MATCH EXISTING
[Pattern]	[Symbol]	FIBERCEMENT CLADDING MANUFACTURER: TBD COLOUR: TBD
[Pattern]	[Symbol]	CONCRETE FACED INSULATION MANUFACTURER: TBD COLOUR: GRAY TYPICAL
[Pattern]	[Symbol]	EXISTING STUCCO C/W REVEALS TO REMAIN
[Pattern]	[Symbol]	EXISTING ASPHALT SHINGLE ROOF TO REMAIN

**KEYNOTES:**

- 1 EXISTING ROOF TO REMAIN
- 2 EXISTING BUILDING TO REMAIN
- 3 EXISTING GUTTER TO REMAIN
- 4 EXISTING DOWNSPOUT TO REMAIN
- 5 EXISTING DOOR TO REMAIN
- 6 EXISTING WINDOW C/W METAL GUARD TO REMAIN
- 7 EXISTING WATER WELL TO REMAIN. GRADE SURFACE TO DIVERT RAIN WATER FROM WATER WELL.

- 21 REINSTATE EXISTING ROOF TO MATCH EXISTING ASSEMBLY
- 22 NEW HEAT PUMP AND CONDENSING UNITS PER MECHANICAL ON CONCRETE PAD. SURROUND BY LINK FENCE WITH LOCKABLE ACCESS GATE.
- 23 NEW FASCIA AND GUTTER INTEGRATED WITH EXISTING. MATCH EXISTING ADJACENT IN SHAPE, STYLE, MATERIAL AND FINISH.
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- 28 OPENING IN ROOF PARAPET / WIDE SCUPPER
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- 36 NEW PIER PER STRUCTURAL
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- 42 NEW DOOR INTEGRATE INTO EXTERIOR WALL ASSEMBLY.

**STRUCTURAL ENGINEER**  
 WSP  
 2611 Queensview Dr, Suite 300  
 Ottawa, Ontario, K2B 8K2 Canada  
 613-690-3752  
 wsp.com

**MECHANICAL ENGINEER**  
 Chorley + Bisset Consulting  
 Engineers  
 403-250 City Centre Ave,  
 Ottawa ON K1R 6K7  
 613-241-0030  
 chorley.com

**ELECTRICAL ENGINEER**  
 Chorley + Bisset Consulting  
 Engineers  
 403-250 City Centre Ave,  
 Ottawa ON K1R 6K7  
 613-241-0030  
 chorley.com

**CIVIL ENGINEER**  
 McIntosh Perry  
 115 Walgreen Road, RR3,  
 Carp, ON K0A 1L0  
 613-836-2184  
 mcintoshperry.com

**LANDSCAPE ARCHITECT**  
 GJA Inc.  
 110 Didsbury Road Unit # 9  
 Ottawa Ontario, K2T 0C2  
 613-286-5130  
 Gino@GJALA.com



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 3 2022/02/23 ISSUED FOR SITE PLAN CONTROL  
 REV DATE ISSUE

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 4. DO NOT SCALE DRAWINGS. CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY DIMENSIONS ON SITE.  
 5. ALL WORK SHALL BE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE AND ALL SUPPLEMENTS AND APPLICABLE MUNICIPAL REGULATIONS.

CLIENT  
**CITY OF OTTAWA**  
 OTTAWA  
 ONTARIO, CANADA

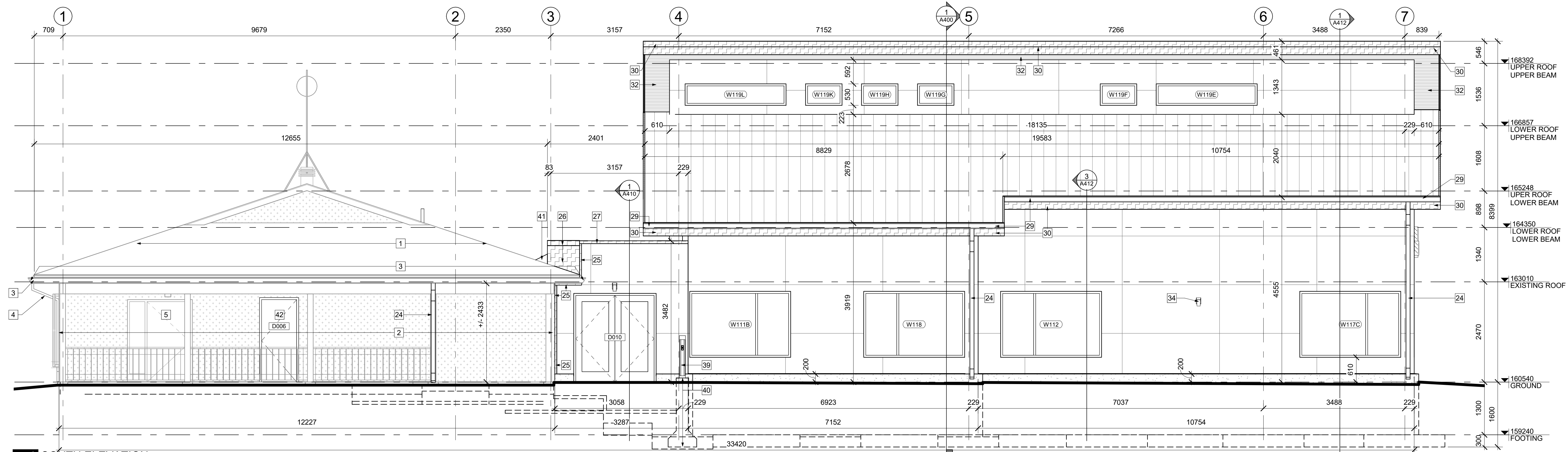
PROJECT  
**CORKERY COMMUNITY HALL EXPANSION**

3447 OLD ALMONTE RD., CARP,  
 ON K0A 1L0

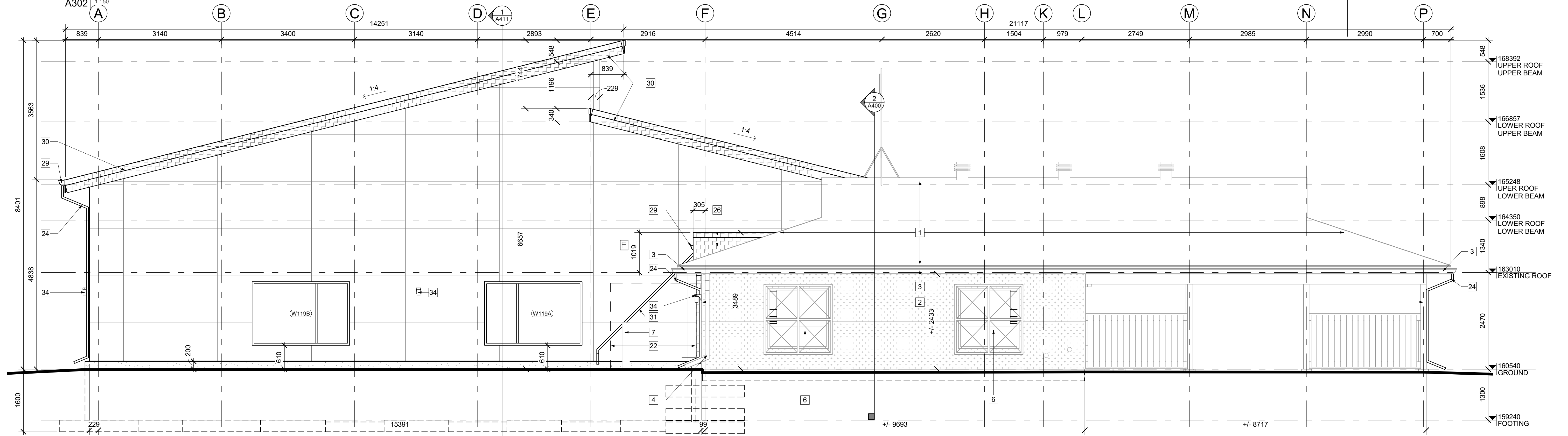
TITLE  
**SOUTH AND WEST ELEVATIONS**

PROJECT NO: 2020-0640  
 DRAWN: IK  
 APPROVED: JS  
 SCALE: 1:50  
 DATE PRINTED: 2/24/2022 7:23:05 PM

REV DRAWING NO.  
**3 A302**



**1 SOUTH ELEVATION**  
 A302 1:50



**2 WEST ELEVATION**  
 A302 1:50

**GENERAL NOTES:**

- A. CONTRACTOR TO COORDINATE WITH MANUFACTURER'S SPECIFICATIONS AND INSTALLATIONS GUIDELINES FOR ALL MATERIAL SEALING, TRANSITIONS, SEPARATIONS, FLASHING DETAILS, CONNECTIONS, ANCHORAGES, ETC. CONTRACTOR TO PROVIDE DETAIL DRAWINGS OR MOCK-UP FOR ARCHITECT'S REVIEW AND APPROVAL FOR ALL SPECIAL CONDITIONS NOT SHOWN IN THE CONTRACT DOCUMENTS.  
 B. COORDINATE ALL GRADE ELEVATIONS WITH CIVIL ENGINEERING DRAWINGS

**EXTERIOR MATERIALS LEGEND**

HATCH PATTERNS SHOWN ARE FOR GRAPHIC PURPOSES ONLY AND SHOULD BE COORDINATED WITH ACTUAL SPECIFIED MATERIALS.

HATCH	SYMBOL	DESCRIPTION
[Hatch Pattern]	[Symbol]	NEW ASPHALT SHINGLE ROOF MATCH EXISTING
[Hatch Pattern]	[Symbol]	STANDING SEAM ROOFING MANUFACTURER: TBD COLOUR: TBD

HATCH	SYMBOL	DESCRIPTION
[Hatch Pattern]	[Symbol]	NEW ASPHALT SHINGLE ROOF MATCH EXISTING
[Hatch Pattern]	[Symbol]	FIBERCEMENT CLADDING MANUFACTURER: TBD COLOUR: TBD
[Hatch Pattern]	[Symbol]	CONCRETE FACED INSULATION MANUFACTURER: TBD COLOUR: GRAY TYPICAL
[Hatch Pattern]	[Symbol]	EXISTING STUCCO C/W REVEALS TO REMAIN
[Hatch Pattern]	[Symbol]	EXISTING ASPHALT SHINGLE ROOF TO REMAIN

**KEYNOTES:**

- 1 EXISTING ROOF TO REMAIN
- 2 EXISTING BUILDING TO REMAIN
- 3 EXISTING GUTTER TO REMAIN
- 4 EXISTING DOWNSPOUT TO REMAIN
- 5 EXISTING DOOR TO REMAIN
- 6 EXISTING WINDOW C/W METAL GUARD TO REMAIN
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