

TRANSPORTATION IMPACT ASSESSMENT STEP 1 – SCREENING FORM



Project No.: CCO-21-3339

Prepared for:

City of Ottawa
110 Laurier Avenue West
Ottawa, ON
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Prepared by:

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July 2022

1.0 SCREENING FORM

The following section describes the initial assessment of the proposed development with respect to the Transportation Impact Assessment (TIA) Screening Form and will provide reasoning for potential triggers. The TIA screening form is attached in [Appendix A](#) with the site plan attached in [Appendix B](#).

1.1 Trip Generation Triggers

The developments land use types includes an addition of 507.6 m² to an existing community center located at 3447 Old Almonte Road in Carp. A review of the trip generation using the Institute of Transportation Engineers, Trip Generation Manual, 11th edition land use code 495 (Recreational Community Center) results in 13 person trips during the am peak hour and 43 person trips during the pm peak hour. As such, the criteria for the trip generation trigger is not met as the total person trips generated expected to be under 60. Trip generation summary can be found in Table 1.

Table 1 ITE Trip Generation

Land Use	ITE LUC	GFA Sq Ft. (Sq. m)	Rate (Trips per 1000 Sq. Ft.)		Trips Generated		Trip Distribution			
			AM	PM	AM	PM	AM		PM	
							In	Out	In	Out
Community Center	495 Recreational Community Center	5,464 (507.6)	1.91	$\ln(T) = 0.71 \ln(X) + 2.31$	10	34	6	4	16	18
Total Person Trips (x1.28)					13	43	8	5	20	23

1.2 Location Trigger

The proposed development is neither located within a Design Priority Area (DPA) or a Transit-oriented Development (TOD) zone. The site will not have a driveway that accesses a roadway that is designated as part of the City's Spine Bicycle Network and will continue to use the pre-existing site accesses. As such, the criteria for a location trigger have not been met.

1.3 Safety Trigger

The proposed development does not have a boundary street with a posted speed limit of 80 km/h or higher. The proposed development is not located within 150 m of a signalized intersection nor is there any curvature in the roadway which cause concern in the area of the proposed development. The development does not have a driveway within an auxiliary lane nor make use of an existing median break. The proposed development does not include a drive-through.

Collisions were reviewed for the surrounding area of the proposed development up to 500 m from the proposed development and can be found in Table 2.

Table 2 Collision Summary

Location	Collisions								
	2016	2017	2018	2019	2020	Total	Cyclist	Pedestrian	Fatalities
Corkery Road Between Manion Road and Old Almonte Road	0	1	0	0	0	1	0	0	0
Old Almonte Road between Upper Dwyer Hill Road and Corkery Road	0	0	0	1	1	2	0	0	0
Corkery Road between Old Almonte Road & Manion Heights Crescent	0	0	0	0	1	1	0	0	0
Old Almonte Road between Corkery Road and Howie Road	0	1	1	0	0	2	0	0	0
Old Almonte at Corkery Road	0	1	0	0	0	1	0	0	0
Total	0	3	1	1	2	7	0	0	0

7 total collisions were reported within 500 m of the proposed development between the years 2016-2020. All collisions were property damage only with no collision resulting in injury nor death. None of the 7 collisions included a pedestrian or a cyclist. As such, it can be said that there is not a safety concern based on the collisions reported within the surrounding area.

In summary, the criteria for a safety trigger have not been met.

APPENDIX A – TIA SCREENING FORM

City of Ottawa 2017 TIA Guidelines Screening Form

1. Description of Proposed Development

Municipal Address	3447 Old Almonte Road
Description of Location	North Side of Old Almonte Road, +/- 315m East of Corkery Road
Land Use Classification	Rural Institutional (Community Centre Addition)
Development Size (units)	N/a
Development Size (m ²)	507.6 square metres (400.2 square metres GFA per ZBL)
Number of Accesses and Locations	Two (existing) accesses to remain.
Phase of Development	Single.
Buildout Year	2022

If available, **please attach a sketch of the development or site plan** to this form.

2. Trip Generation Trigger

Considering the Development's Land Use type and Size (as filled out in the previous section), please refer to the Trip Generation Trigger checks below.

Land Use Type	Minimum Development Size
Single-family homes	40 units
Townhomes or apartments	90 units
Office	3,500 m ²
Industrial	5,000 m ²
Fast-food restaurant or coffee shop	100 m ²
Destination retail	1,000 m ²
Gas station or convenience market	75 m ²

* If the development has a land use type other than what is presented in the table above, estimates of person-trip generation may be made based on average trip generation characteristics represented in the current edition of the Institute of Transportation Engineers (ITE) Trip Generation Manual.

If the proposed development size is greater than the sizes **identified** above, **the Trip Generation Trigger is satisfied.**

3. Location Triggers

	Yes	No
Does the development propose a new driveway to a boundary street that is designated as part of the City's Transit Priority, Rapid Transit or Spine Bicycle Networks?		X
Is the development in a Design Priority Area (DPA) or Transit-oriented Development (TOD) zone?*		X

*DPA and TOD are identified in the City of Ottawa Official Plan (DPA in Section 2.5.1 and Schedules A and B; TOD in Annex 6). See Chapter 4 for a list of City of Ottawa Planning and Engineering documents that support the completion of TIA).

If any of the above questions were answered with 'Yes,' the Location Trigger is satisfied.

4. Safety Triggers

	Yes	No
Are posted speed limits on a boundary street are 80 km/hr or greater?		X
Are there any horizontal/vertical curvatures on a boundary street limits sight lines at a proposed driveway?		X
Is the proposed driveway within the area of influence of an adjacent traffic signal or roundabout (i.e. within 300 m of intersection in rural conditions, or within 150 m of intersection in urban/ suburban conditions)?		X
Is the proposed driveway within auxiliary lanes of an intersection?		X
Does the proposed driveway make use of an existing median break that serves an existing site?		X
Is there is a documented history of traffic operations or safety concerns on the boundary streets within 500 m of the development?		X
Does the development include a drive-thru facility?		X

If any of the above questions were answered with 'Yes,' the Safety Trigger is satisfied.

5. Summary

	Yes	No
Does the development satisfy the Trip Generation Trigger?		X
Does the development satisfy the Location Trigger?		X
Does the development satisfy the Safety Trigger?		X

If none of the triggers are satisfied, the TIA Study is complete. If one or more of the triggers is satisfied, **the TIA Study must continue into the next stage** (Screening and Scoping).

APPENDIX B – SITE PLAN

ZONING PROVISION	REQUIRED	PROVIDED	PARKING QUEUING + LOADING	REQUIRED	PROVIDED
MIN. LOT WIDTH	75 m	228.93 m	REGULAR SPACES	17	42
MIN. LOT AREA	10000 m ²	37582 m ²	ACCESSIBLE SPACES	0	2
MIN. FRONT YARD SETBACK	9 m	9 m	TOTAL PARKING SPACES	17	44
MIN. CORNER YARD SETBACK	9 m	N/A	BICYCLE PARKING	1	12
MIN. REAR YARD SETBACK	10 m	10 m			
MIN. INTERIOR YARD SETBACK	9 m	9 m			
MAX. HEIGHT	10 m	6.67 m			
LOT COVERAGE	30% MAX. 11275 m ²	2.4% 917 m ²			
LANDSCAPED AREA	20% MIN. 7516 m ²	97.6% 36695 m ²			

LEGAL DESCRIPTION
CITY OF OTTAWA
PIN 04540-0186
PIN 04540-0187

REFERENCE SURVEY
N/A

MUNICIPAL ADDRESS
3347 & 3349 OLD ALMONTE RD.
CARP, ON, CANADA

SITE AREA 37582m²
BUILDING AREA 507.6 m²
GROSS FLOOR AREA PER ZONING 400.2 m²
BUILDING HEIGHT 6.67 m / 1 STOREY
ZONE R13

NEW SITE PLAN LEGEND

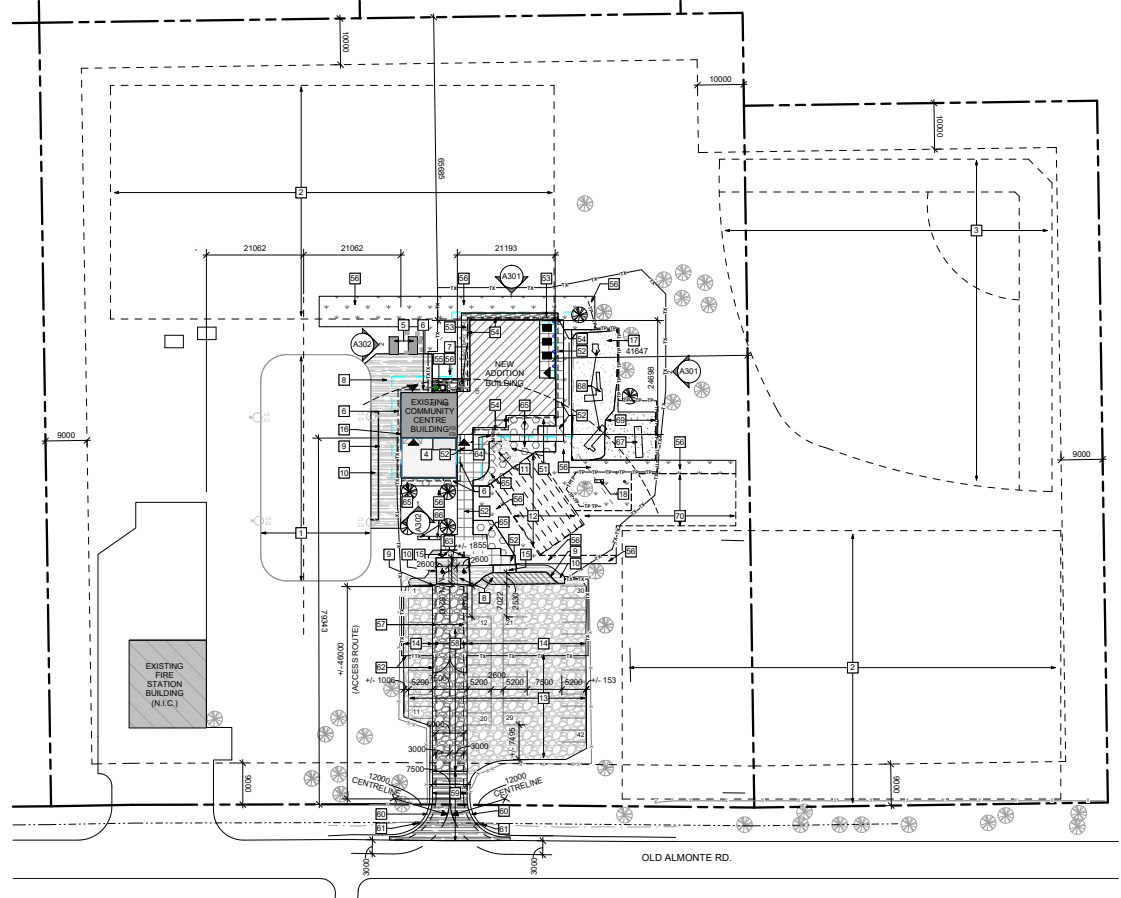
- EXISTING BUILDING TO REMAIN
- DEMOLISH EXISTING BUILDING AND OBJECTS
- EXISTING BUILDING NOT IN CONTRACT
- NEW ADDITION BUILDING
- EXISTING ASPHALT TO REMAIN
- NEW ASPHALT
- EXISTING CONCRETE SIDEWALK TO REMAIN
- NEW CONCRETE SIDEWALK
- EXISTING CRUSHED STONE PARKING TO REMAIN
- NEW GRANULAR PER LANDSCAPING
- EXISTING PLANTING TO REMAIN
- NEW PLANTING
- NEW GRASS
- EXISTING SAND PLAYGROUND TO REMAIN
- NEW SAND PLAYGROUND
- PROPERTY LINE
- SETBACK LINE
- ROAD SETBACK
- OVERHEAD
- EXISTING FENCE TO REMAIN
- NEW FENCE
- TEMPORARY FENCE FOR PERIOD OF CONSTRUCTION
- NEW WATER SUPPLY
- NEW SANITARY
- NEW STORM
- EXISTING ELECTRICAL SERVICE TO REMAIN (BELOW GRADE)
- NEW ELECTRICAL SERVICE (BELOW GRADE)
- BUILDING ENTRANCE - EXIST
- LIGHT STAND - EXISTING
- LIGHT STAND - NEW
- MANHOLE - EXISTING
- MANHOLE - NEW
- UTILITY POLE - EXISTING
- UTILITY POLE - NEW
- TREE - EXISTING
- TREE - NEW

SITE PLAN GENERAL NOTES:

- A. DO NOT SCALE THIS DRAWING.
- B. REPORT ANY DISCREPANCIES PRIOR TO COMMENCING WORK. NO RESPONSIBILITY IS BORN BY THE CONSULTANT FOR UNKNOWN SUBSURFACE CONDITIONS.
- C. CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ANY ERRORS AND/OR OMISSIONS TO THE CONSULTANT.
- D. RESTATE ALL AREAS AND ITEMS DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITIES TO THE SATISFACTION OF THE CONSULTANT.
- E. CONTRACTOR TO LAYOUT PLANTING BEDS, PATHWAYS ETC. TO APPROVAL OF CONSULTANT PRIOR TO ANY JOB EXCAVATION.
- F. THE ACCURACY OF THE POSITION OF UTILITIES IS NOT GUARANTEED - CONTRACTOR TO VERIFY PRIOR TO EXCAVATION.
- G. INDIVIDUAL UTILITY COMPANY MUST BE CONTACTED FOR CONFIRMATION OF UTILITY EXISTENCE AND LOCATION PRIOR TO DIGGING.
- H. ALL DISTURBED AREAS TO BE RESTORED TO ORIGINAL CONDITION OR BETTER UNLESS OTHERWISE NOTED.

SITE PLAN KEYNOTES:

- 1 EXISTING SKATING RING TO REMAIN
- 2 EXISTING SOCCER FIELD TO REMAIN
- 3 EXISTING BASEBALL DIAMOND TO REMAIN
- 4 EXISTING COVERED DECK TO REMAIN
- 5 EXISTING STORAGE UNIT TO REMAIN
- 6 EXISTING ROOF OVERHANG ABOVE TO REMAIN
- 7 EXISTING DRILLED WELL TO REMAIN
- 8 EXISTING ASPHALT PAVING TO REMAIN
- 9 EXISTING CURB TO REMAIN
- 10 EXISTING ASPHALT SIDEWALK TO REMAIN
- 11 EXISTING SEPTIC TANK TO REMAIN
- 12 EXISTING SEPTIC DRAIN FIELD TO REMAIN. ELIMINATE AUTOMOBILE AND EQUIPMENT MOVEMENT OVER THIS AREA.
- 13 PARKING SPACES RESERVED FOR SOCCER TEAMS DURING CONSTRUCTION.
- 14 EXISTING GRAVEL PARKING TO REMAIN
- 15 EXISTING ACCESSIBLE CONCRETE CURB RAMP AND DEPRESSED CURB TO REMAIN
- 16 EXISTING HOSE BIB TO REMAIN. ENSURE RUNNING WATER FOR HOCKEY RINGS DURING CONSTRUCTION.
- 17 EXISTING PLAYGROUND TO REMAIN
- 18 EXISTING BENCH TO REMAIN



STAMP

REV DATE	ISSUE
3 2022/02/22	ISSUED FOR REVIEW
2 2021/10/29	ISSUED FOR PERMITS
1 2021/09/28	ISSUED FOR 60%

NOTES

1. OWNERSHIP OF THE COPYRIGHT OF THE DESIGN AND THE WORKS EXECUTED FROM THE DESIGN REMAINS WITH CSV ARCHITECTS, AND MAY NOT BE REPRODUCED IN ANY FORM WITHOUT THE WRITTEN CONSENT OF CSV ARCHITECTS.
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3. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER PROJECT DRAWINGS AND SPECIFICATIONS.
4. DO NOT SCALE DRAWINGS. CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY DIMENSIONS ON SITE.
5. ALL WORK SHALL BE IN ACCORDANCE WITH THE OTTAWA BUILDING CODE AND ALL SUPPLEMENTARY AND APPLICABLE MUNICIPAL REGULATIONS.

CITY OF OTTAWA

OTTAWA
ONTARIO, CANADA

PROJECT
CORKERY COMMUNITY HALL EXPANSION

3447 OLD ALMONTE RD., CARP, ON K0A 1L0

TITLE
SITE PLAN

PROJECT NO: 2020-0640
DRAWN: JS
APPROVED: IK
SCALE: As indicated
DATE PRINTED: 2/22/2022 6:50:27 PM

REV DRAWING NO.

3 A100

PRELIMINARY

STAMP

REV	DATE	ISSUE
3	2022/02/22	ISSUED FOR REVIEW
2	2021/10/29	ISSUED FOR 60%
1	2021/09/28	ISSUED FOR 60%

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CITY OF OTTAWA

OTTAWA
 ONTARIO, CANADA

PROJECT
CORKERY COMMUNITY HALL EXPANSION

3447 OLD ALMONTE RD., CARP,
 ON K0A 1L0

TITLE
DEMOLITION SITE PLAN

PROJECT NO. 2020-0640
 DRAWN: IK
 APPROVED: JS
 SCALE: As indicated
 DATE PRINTED: 2/22/2022 6:50:28 PM

REV DRAWING NO.

3

D101

DEMOLITION SITE PLAN KEYNOTES:

- 1 EXISTING SKATING RING TO REMAIN
- 2 EXISTING SOCCER FIELD TO REMAIN
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- 16 EXISTING HOSE BIB TO REMAIN. ENSURE RUNNING WATER FOR HOCKEY RINGS DURING CONSTRUCTION.
- 17 EXISTING PLAYGROUND TO REMAIN
- 18 EXISTING BENCH TO REMAIN
- 19 EXISTING BENCH TO REMAIN

- 20 REQUIRED STRUCTURE SETBACK
- 21 REMOVE EXISTING TREE
- 22 REMOVE EXISTING BENCH. REPAIR, CLEAN AND STORE FOR RE-USE AT NEW CONSTRUCTION
- 23 REMOVE EXISTING ASPHALT PAVING AND BASE COURSES AS REQUIRED FOR NEW CONSTRUCTION. CUT ASPHALT IN STRAIGHT LINE.
- 24 REMOVE EXISTING SHRUBS
- 25 REMOVE EXISTING BOLLARD
- 26 REMOVE PORTION OF EXISTING PLAYGROUND AS REQUIRED FOR FOUNDATION EXCAVATION AND NEW LANDSCAPING. MINIMIZE REMOVAL ON SITE.
- 27 EXCAVATE AS REQUIRED FOR FOUNDATION CONSTRUCTION PER GEOTECHNICAL. CONSIDER EXTENT OF EXCAVATION SLOPES PER GEOTECHNICAL.
- 28 NEW SHORING AS REQUIRED TO PROTECT EXISTING WATER WELL / SANITARY TANK FOR PERIOD OF WORK. REMOVE UPPER PORTION OF SHORING FOR PROPER LANDSCAPING WHEN SAFE FOR WELL AT THE END OF CONSTRUCTION.
- 29 PROTECT EXISTING FOUNDATION FOR PERIOD OF WORK. PROVIDE ADEQUATE UNDERPINNING AND SHORING AS REQUIRED.
- 30 REMOVE EXISTING PLANTING AS REQUIRED FOR EXCAVATION.
- 31 REMOVE EXISTING ROOF AS REQUIRED FOR NEW CONSTRUCTION.
- 32 REMOVE PROPANE TANKS SURROUNDED BY LINK FENCE AND ALL ASSOCIATED COMPONENTS
- 33 VERIFY EXISTING GRAVEL THICKNESS ON SITE. REMOVE EXISTING GRAVEL AND SOIL IF REQUIRED TO ACCOMMODATE NEW HEAVY DUTY GRAVEL ACCESS ROUTE ASSEMBLY.
- 34 VERIFY EXISTING ROAD ASSEMBLY ON SIDE. REMOVE EXISTING ASPHALT PAVING, ASSOCIATED BASE COURSES AND SOIL IF REQUIRED FOR NEW ACCESS ROUTE HEAVY DUTY PAVING STRUCTURE.
- 35 TEMPORARY FENCING COMPLETED WITH ACCESS GATES FOR PERIOD OF CONSTRUCTION
- 36 REMOVE EXISTING SANITARY MAIN FROM EXISTING BUILDING TO EXISTING SEPTIC TANK TO REMAIN
- 37 REMOVE EXISTING SWING. INSPECT, REPAIR, CLEAN AND STORE FOR RE-USE AT NEW CONSTRUCTION
- 38 REMOVE EXISTING PLAY STRUCTURE. INSPECT, REPAIR, CLEAN AND STORE FOR RE-USE AT NEW CONSTRUCTION
- 39 REMOVE EXISTING BICYCLE RACKS. INSPECT, REPAIR, CLEAN AND STORE FOR RE-USE AT NEW CONSTRUCTION

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- BUILDING ENTRANCE / EXIT
- LIGHT STAND - EXISTING TO REMAIN
- MANHOLE - EXISTING TO REMAIN
- UTILITY POLE - EXISTING TO REMAIN
- TREE - EXISTING TO REMAIN
- TREE - DEMOLITION
- SHRUB - EXISTING TO REMAIN
- SHRUB - DEMOLITION

