

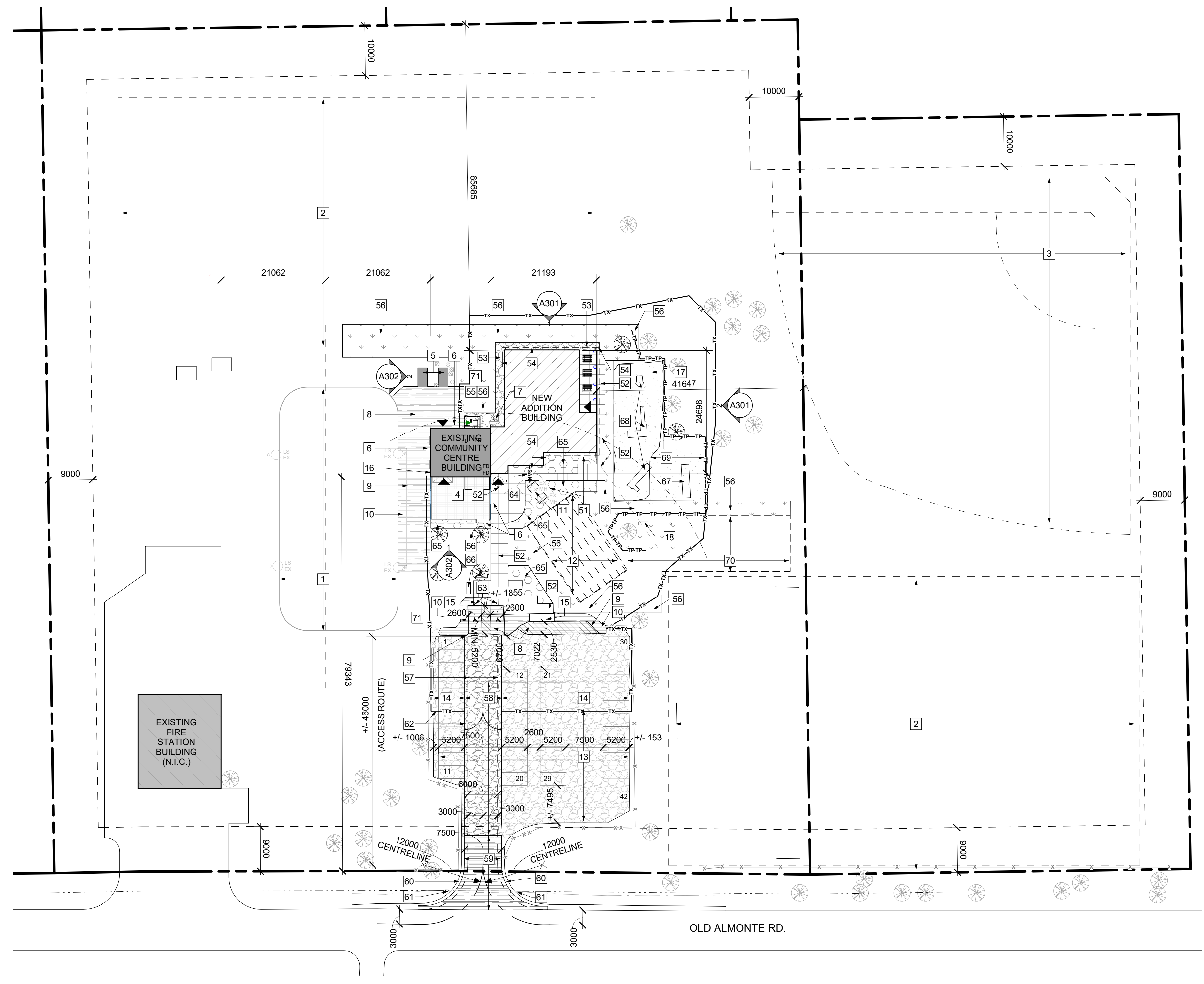
ZONING PROVISION	REQUIRED	PROVIDED	PARKING QUEING + LOADING	REQUIRED	PROVIDED
MIN. LOT WIDTH	75 m	228.93 m	REGULAR SPACES	17	42
MIN. LOT AREA	10000 m ²	37582 m ²	ACCESSIBLE SPACES	0	2
MIN. FRONT YARD SETBACK	9 m	9 m	TOTAL PARKING SPACES	17	44
MIN. CORNER YARD SETBACK	9 m	N/A	BICYCLE PARKING	1	12
MIN. REAR YARD SETBACK	10 m	10 m			
MIN. INTERIOR YARD SETBACK	9 m	9 m			
MAX. HEIGHT	10 m	6.67 m			
LOT COVERAGE	30% MAX. 11275 m ²	2.4% 917 m ²			
LANDSCAPED AREA	20% MIN. 7516 m ²	97.6% 36665 m ²			

LEGAL DESCRIPTION
CITY OF OTTAWA
PIN 04540-0186
PIN 04540-0187

REFERENCE SURVEY
N/A

MUNICIPAL ADDRESS
3347 & 3349 OLD ALMONTE RD.
CARP, ON, CANADA

SITE AREA 37582m²
BUILDING AREA 507.6 m²
GROSS FLOOR AREA PER ZONING 400.2 m²
BUILDING HEIGHT 6.67 m / 1 STOREY
ZONE RI3



NEW SITE PLAN LEGEND

	EXISTING BUILDING TO REMAIN
	DEMOLISH EXISTING BUILDING AND OBJECTS
	EXISTING BUILDING NOT IN CONTRACT
	NEW ADDITION BUILDING
	EXISTING ASPHALT TO REMAIN
	NEW ASPHALT
	EXISTING CONCRETE SIDEWALK TO REMAIN
	NEW CONCRETE SIDEWALK
	EXISTING CRUSHED STONE PARKING TO REMAIN
	NEW GRANULAR PER LANDSCAPING
	EXISTING PLANTING TO REMAIN
	NEW PLANTING
	NEW GRASS
	EXISTING SAND PLAYGROUND TO REMAIN
	NEW SAND PLAYGROUND
	PROPERTY LINE
	SETBACK LINE
	ROAD SETBACK
	OVERHEAD
	EXISTING FENCE TO REMAIN
	NEW FENCE
	TEMPORARY FENCE FOR PERIOD OF CONSTRUCTION
	TREE PROTECTION PER LANDSCAPING
	NEW WATER SUPPLY
	NEW SANITARY
	NEW STORM
	EXISTING ELECTRICAL SERVICE TO REMAIN (BELOW GRADE)
	NEW ELECTRICAL SERVICE (BELOW GRADE)
	BUILDING ENTRANCE / EXIT
	LIGHT STAND - EXISTING
	LIGHT STAND - NEW
	MANHOLE - EXISTING
	MANHOLE - NEW
	UTILITY POLE - EXISTING
	UTILITY POLE - NEW
	TREE - EXISTING
	TREE - NEW

SITE PLAN GENERAL NOTES:

- DO NOT SCALE THIS DRAWING
- REPORT ANY DISCREPANCIES PRIOR TO COMMENCING WORK. NO RESPONSIBILITY IS BORNE BY THE CONSULTANT FOR UNKNOWN SUBSURFACE CONDITIONS
- CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ANY ERRORS AND/OR OMISSIONS TO THE CONSULTANT
- REINSTATE ALL AREAS AND ITEMS DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITIES TO THE SATISFACTION OF THE CONSULTANT
- CONTRACTOR TO LAYOUT PLANTING BEDS, PATHWAYS ETC. TO APPROVAL OF CONSULTANT PRIOR TO ANY JOB EXCAVATION
- THE ACCURACY OF THE POSITION OF UTILITIES IS NOT GUARANTEED - CONTRACTOR TO VERIFY PRIOR TO EXCAVATION
- INDIVIDUAL UTILITY COMPANY MUST BE CONTACTED FOR CONFIRMATION OF UTILITY EXISTENCE AND LOCATION PRIOR TO DIGGING
- ALL DISTURBED AREAS TO BE RESTORED TO ORIGINAL CONDITION OR BETTER UNLESS OTHERWISE NOTED

- ### SITE PLAN KEYNOTES:
- EXISTING SKATING RING TO REMAIN
 - EXISTING SOCCER FIELD TO REMAIN
 - EXISTING BASEBALL DIAMOND TO REMAIN
 - EXISTING COVERED DECK TO REMAIN
 - EXISTING STORAGE UNIT TO REMAIN
 - EXISTING ROOF OVERHANG ABOVE TO REMAIN
 - EXISTING DRILLED WELL TO REMAIN
 - EXISTING ASPHALT PAVING TO REMAIN
 - EXISTING CURB TO REMAIN
 - EXISTING ASPHALT SIDEWALK TO REMAIN
 - EXISTING SEPTIC TANK TO REMAIN
 - EXISTING SEPTIC DRAIN FIELD TO REMAIN. ELIMINATE AUTOMOBILE AND EQUIPMENT MOVEMENT OVER THIS AREA
 - PARKING SPACES RESERVED FOR SOCCER TEAMS DURING CONSTRUCTION
 - EXISTING GRAVEL PARKING TO REMAIN
 - EXISTING ACCESSIBLE CONCRETE CURB RAMP AND DEPRESSED CURB TO REMAIN
 - EXISTING HOSE BIB TO REMAIN. ENSURE RUNNING WATER FOR HOCKEY RING DURING CONSTRUCTION.
 - EXISTING PLAYGROUND TO REMAIN
 - EXISTING BENCH TO REMAIN

- REQUIRED STRUCTURE SETBACK
- NEW CONCRETE PAVING PER LANDSCAPING
- NEW GRANULAR PER LANDSCAPING
- NEW ROOF OVERHANG ABOVE
- NEW HEAT PUMP AND CONDENSING UNITS PER MECHANICAL ON CONCRETE PAD. SURROUND BY LINK FENCE WITH LOCKABLE ACCESS GATE.
- NEW TOP SOIL AND GRASS AT AREA AFFECTED BY CONSTRUCTION AND PER LANDSCAPING
- NEW ACCESS ROUTE FOR FIRE DEPARTMENT (SHOWN DASHED). CLEAR WIDTH 6000mm MIN., CENTERLINE RADIUS 12000mm MIN.
- NEW HEAVY DUTY GRAVEL PAVEMENT STRUCTURE DESIGNED TO SUPPORT FIREFIGHTING EQUIPMENT AND PERMIT ACCESSIBILITY UNDER ALL CLIMATIC CONDITIONS PER CIVIL
- NEW ASPHALT HEAVY DUTY PAVEMENT STRUCTURE DESIGNED TO SUPPORT FIRE FIGHTING EQUIPMENT PER CIVIL
- EXTEND DRIVEWAY PER CIVIL AS REQUIRED. VERIFY EXTENT OF EXISTING DRIVEWAY ON SITE.
- EXTEND CULVERT PER CIVIL AS REQUIRED. VERIFY EXTENT OF EXISTING CULVERT ON SITE.
- TEMPORARY FENCING COMPLETED WITH ACCESS GATES FOR PERIOD OF CONSTRUCTION
- NEW POST AND ACCESSIBLE PARKING SIGN.
- NEW SANITARY SEWAGE PER CIVIL
- NEW PLANTING PER LANDSCAPING
- INSTALL SALVAGED BICYCLE RACKS. ADJUST AS REQUIRED.
- INSTALL SALVAGED SWINGS PER LANDSCAPING
- INSTALL SALVAGED PLAY STRUCTURES PER LANDSCAPING
- NEW PLAY GROUND EXTENSION PER LANDSCAPING
- AREA FOR FUTURE SEPTIC FIELD EXPANSION PER LANDSCAPING
- POND PER CIVIL

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NOTES

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CLIENT
CITY OF OTTAWA
OTTAWA
ONTARIO, CANADA

PROJECT
CORKERY COMMUNITY HALL EXPANSION

3447 OLD ALMONTE RD., CARP,
ON K0A 1L0

TITLE
SITE PLAN

PROJECT NO: 2020-0640
DRAWN: JS
APPROVED: IK
SCALE: As indicated
DATE PRINTED: 2/24/2022 7:23:01 PM

REV DRAWING NO.
3 A100

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OTTAWA
ONTARIO, CANADA

PROJECT
CORKERY COMMUNITY HALL EXPANSION

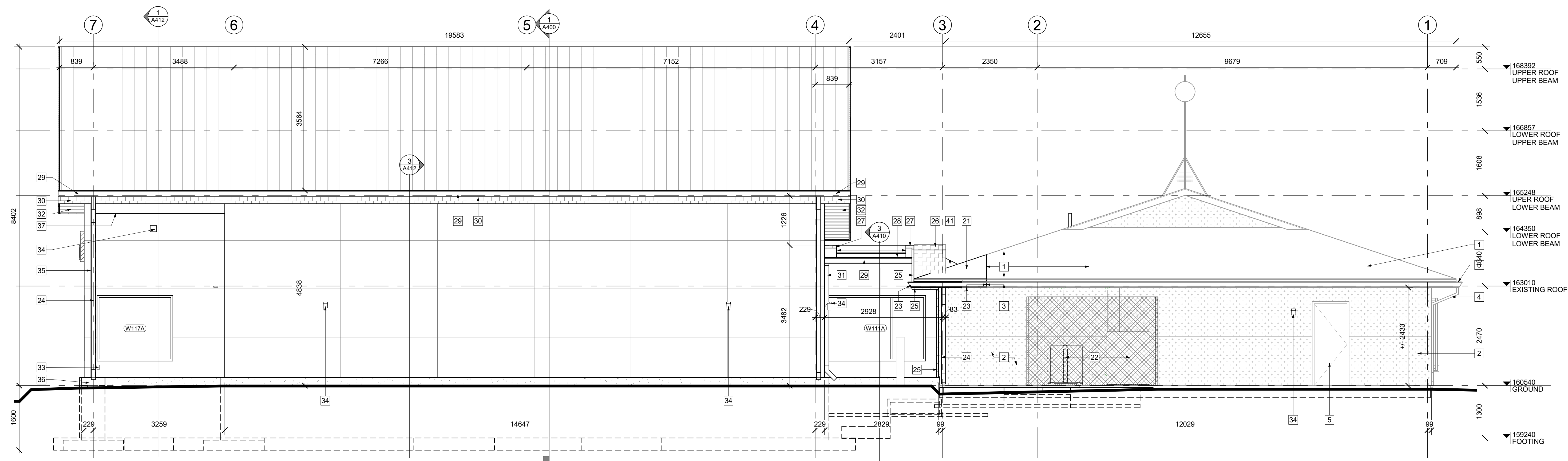
3447 OLD ALMONTE RD., CARP,
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TITLE
NORTH AND EAST ELEVATIONS

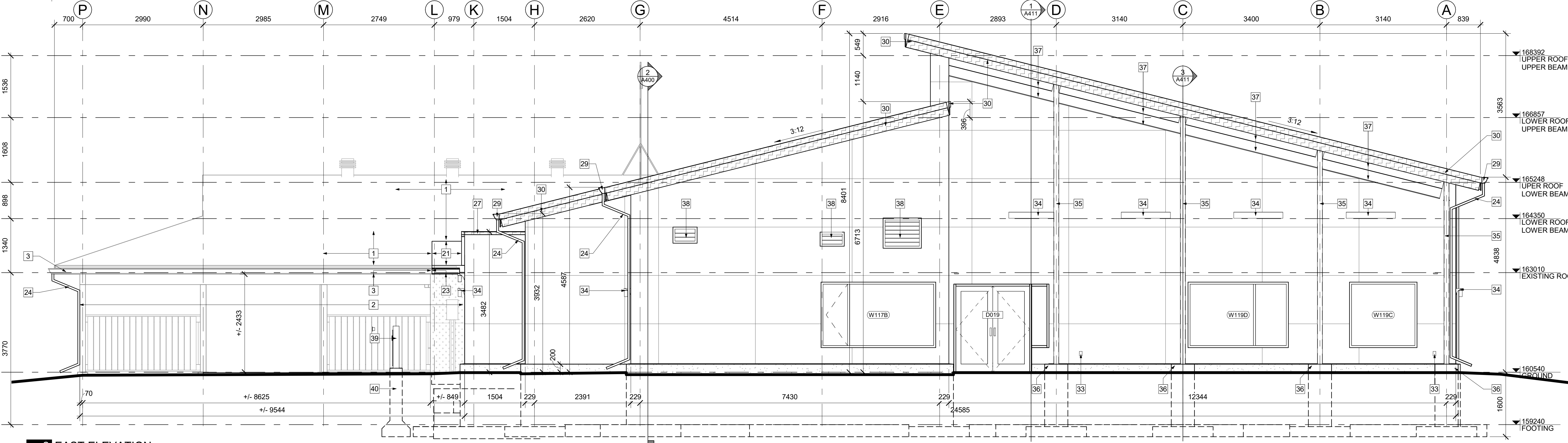
PROJECT NO: 2020-0640
DRAWN: IK
APPROVED: JS
SCALE: 1:50
DATE PRINTED: 2/24/2022 7:23:03 PM

REV DRAWING NO.

3 A301



1 CD-ELEX-1N-NORTH ELEVATION - NEW
A301 1:50



2 EAST ELEVATION
A301 1:50

GENERAL NOTES:

- A. CONTRACTOR TO COORDINATE WITH MANUFACTURER'S SPECIFICATIONS AND INSTALLATIONS GUIDELINES FOR ALL MATERIAL SEALING, TRANSITIONS, SEPARATIONS, FLASHING DETAILS, CONNECTIONS, ANCHORAGES, ETC. CONTRACTOR TO PROVIDE DETAIL DRAWINGS OR MOCK-UP FOR ARCHITECT'S REVIEW AND APPROVAL FOR ALL SPECIAL CONDITIONS NOT SHOWN IN THE CONTRACT DOCUMENTS.
- B. COORDINATE ALL GRADE ELEVATIONS WITH CIVIL ENGINEERING DRAWINGS

EXTERIOR MATERIALS LEGEND

HATCH PATTERNS SHOWN ARE FOR GRAPHIC PURPOSES ONLY AND SHOULD BE COORDINATED WITH ACTUAL SPECIFIED MATERIALS.

HATCH	SYMBOL	DESCRIPTION
[Hatch Pattern]	[Symbol]	NEW ASPHALT SHINGLE ROOF MATCH EXISTING
[Hatch Pattern]	[Symbol]	STANDING SEAM ROOFING MANUFACTURER: TBD COLOUR: TBD

HATCH	SYMBOL	DESCRIPTION
[Hatch Pattern]	[Symbol]	NEW ASPHALT SHINGLE ROOF MATCH EXISTING
[Hatch Pattern]	[Symbol]	FIBERCEMENT CLADDING MANUFACTURER: TBD COLOUR: TBD
[Hatch Pattern]	[Symbol]	CONCRETE FACED INSULATION MANUFACTURER: TBD COLOUR: GRAY TYPICAL
[Hatch Pattern]	[Symbol]	EXISTING STUCCO C/W REVEALS TO REMAIN
[Hatch Pattern]	[Symbol]	EXISTING ASPHALT SHINGLE ROOF TO REMAIN

KEYNOTES:

- 1 EXISTING ROOF TO REMAIN
- 2 EXISTING BUILDING TO REMAIN
- 3 EXISTING GUTTER TO REMAIN
- 4 EXISTING DOWNSPOUT TO REMAIN
- 5 EXISTING DOOR TO REMAIN
- 6 EXISTING WINDOW C/W METAL GUARD TO REMAIN
- 7 EXISTING WATER WELL TO REMAIN. GRADE SURFACE TO DIVERT RAIN WATER FROM WATER WELL.

- 21 REINSTATE EXISTING ROOF TO MATCH EXISTING ASSEMBLY
- 22 NEW HEAT PUMP AND CONDENSING UNITS PER MECHANICAL ON CONCRETE PAD. SURROUND BY LINK FENCE WITH LOCKABLE ACCESS GATE.
- 23 NEW FASCIA AND GUTTER INTEGRATED WITH EXISTING. MATCH EXISTING ADJACENT IN SHAPE, STYLE, MATERIAL AND FINISH.
- 24 NEW DOWNSPOUT
- 25 NEW MOVEMENT JOINT COMPLETED WITH DECORATIVE COVER, WEATHERTIGHT MEMBRANES AND INSULATION. INTEGRATE WITH NEW AND EXISTING BUILDING ENVELOPE ASSEMBLIES, INCLUDING AIR AND VAPOUR BARRIER.
- 26 NEW PARAPET C/W PRE-FINISHED METAL CAP FLASHING. INTEGRATED WEATHERTIGHT MOVEMENT JOINT, AND PRE-FINISHED METAL FLASHING DOWN
- 27 NEW PRE-FINISHED CAP FLASHING AT TRANSITION AREA ROOF PARAPET
- 28 OPENING IN ROOF PARAPET / WIDE SCUPPER
- 29 NEW GUTTER
- 30 NEW NON-CORROSIVE PRE-FINISHED METAL FASCIA
- 31 NEW DOWNSPOUT. EXTEND ALONG WALL AND DIVERT OUT OF WATER WELL

- 32 NEW VENTED SOFFIT
- 33 NEW GFCI OUTLETS PER ELECTRICAL
- 34 NEW LIGHT FIXTURE PER ELECTRICAL
- 35 NEW COLUMN PER STRUCTURAL COMPLETED WITH CORROSION PROTECTION COATING TO COLUMN, ANCHOR AND BASE PLATES. PAINTED
- 36 NEW PIER PER STRUCTURAL
- 37 NEW BEAMS AND ROOF FRAMING PER STRUCTURAL COMPLETED WITH CORROSION PROTECTION COATING. PAINTED
- 38 NEW LOUVER INTEGRATED IN BUILDING ENVELOPE PER MECHANICAL
- 39 NEW VERTICAL POWER DOOR OPERATOR CONTROL ON INTEGRATED POST. THE POWER DOOR OPERATOR CONTROL SHALL EXTENT FROM NOT MORE THAN 200mm TO NOT LESS THAN 900mm ABOVE FINISHED FLOOR AND CONTAIN A SIGN INCORPORATING INTERNATIONAL SYMBOL OF ACCESS.
- 40 REINFORCED CONCRETE SONOTUBE FOUNDATION FROM 150mm ABOVE GRADE TO 1500mm BELOW GRADE. PROVIDE BASE THICKENING AND ANCHORS PER POST MANUFACTURER.
- 41 NEW ROOF CRICKET.

- 42 NEW DOOR INTEGRATE INTO EXTERIOR WALL ASSEMBLY.

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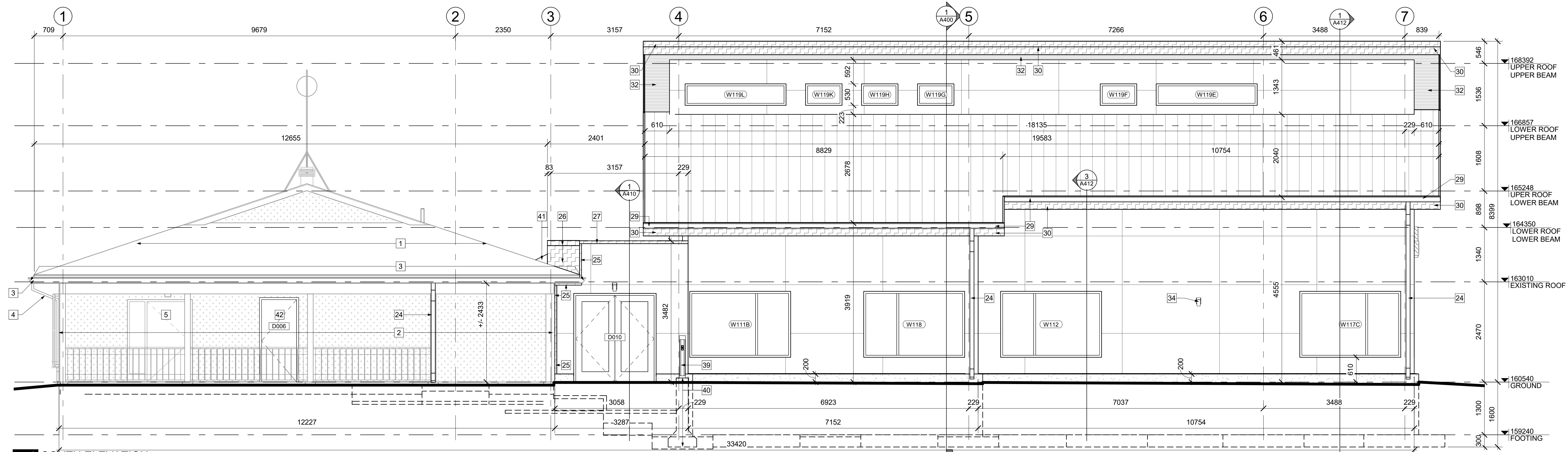
PROJECT
CORKERY COMMUNITY HALL EXPANSION

3447 OLD ALMONTE RD., CARP,
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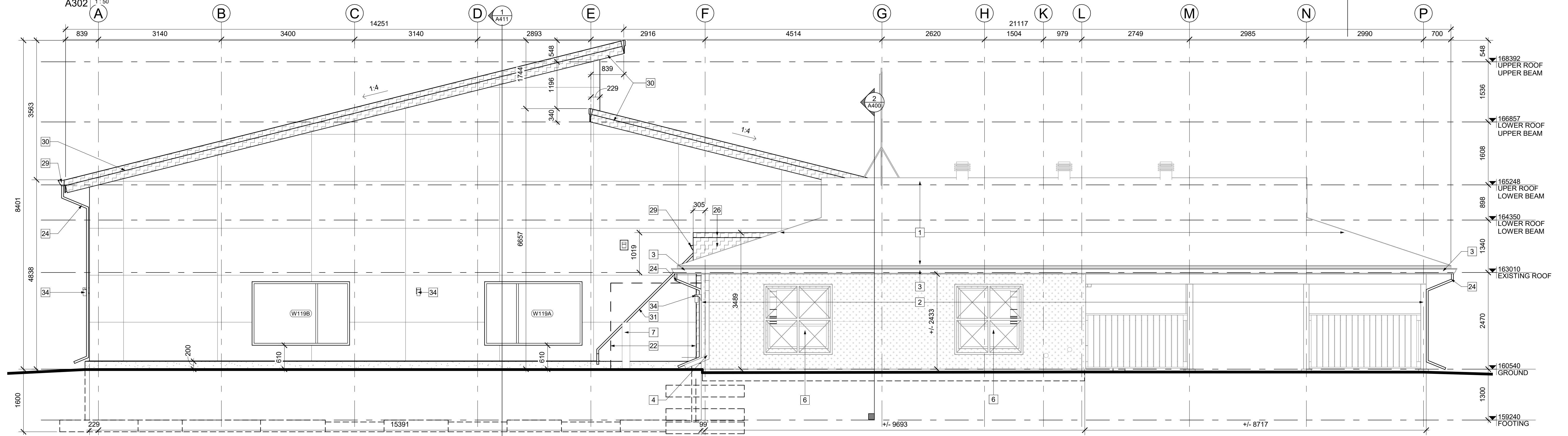
TITLE
SOUTH AND WEST ELEVATIONS

PROJECT NO: 2020-0640
 DRAWN: IK
 APPROVED: JS
 SCALE: 1:50
 DATE PRINTED: 2/24/2022 7:23:05 PM

REV DRAWING NO.
3 A302



1 SOUTH ELEVATION
 A302 1:50



2 WEST ELEVATION
 A302 1:50

GENERAL NOTES:

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