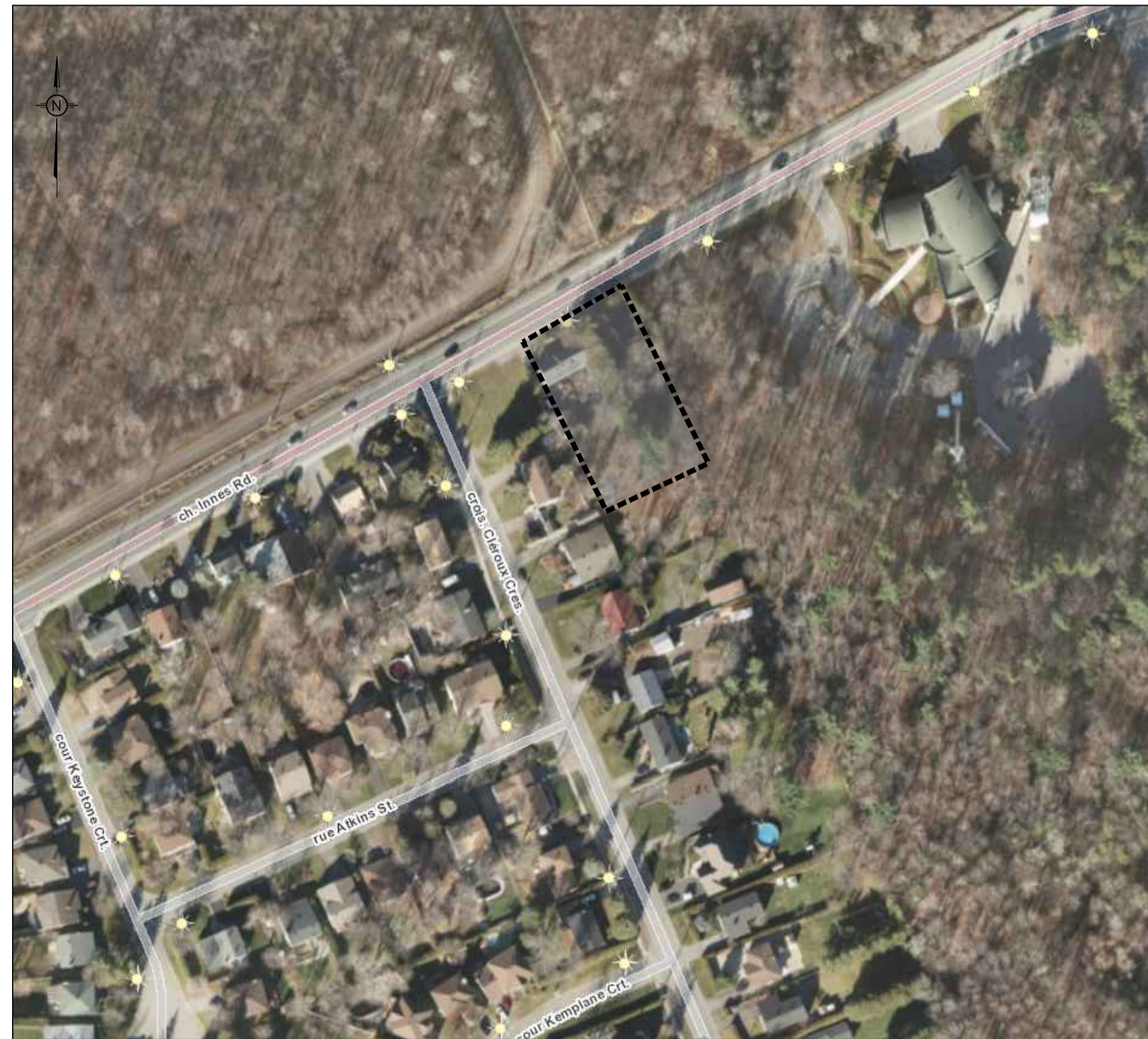


# 3040/3044 INNES ROAD

## REVISION 04



KEY PLAN (N.T.S.)

DRAWING INDEX	
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CONSTRUCTION DETAIL PLAN	C901



# LRJ

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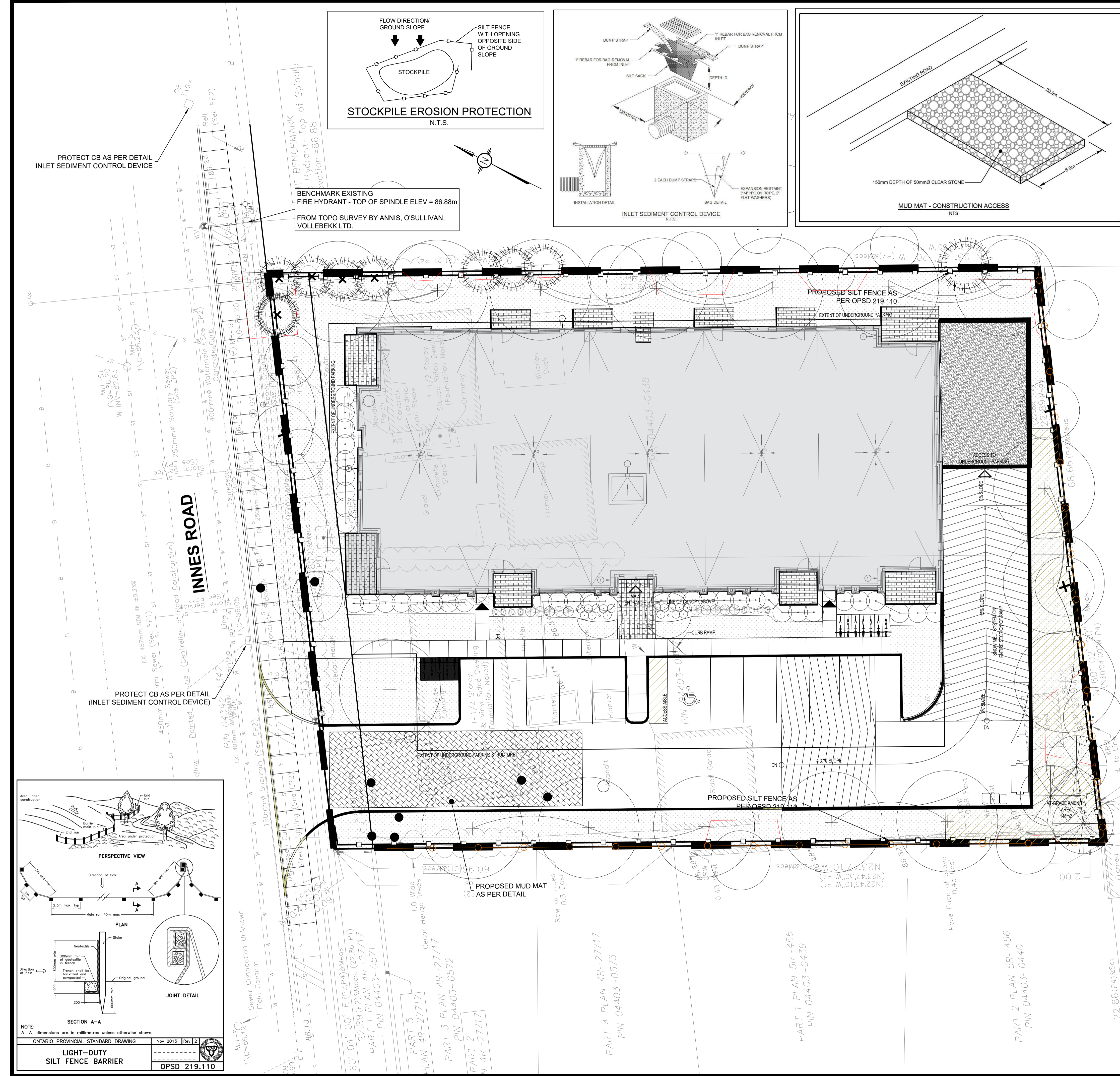
5430 Canotek Road | Ottawa, ON, K1J 9G2  
www.lrl.ca | (613) 842-3434

3040/3044 INNES ROAD  
REV.04 - REISSUED FOR APPROVAL - OCTOBER 23, 2023  
LRL PROJECT no: 210374



NOT AUTHENTIC UNLESS SIGNED AND DATED





**LEGEND:**

[Symbol]	EXISTING PROPERTY LINE TO REMAIN
[Symbol]	PROPOSED CURB
[Symbol]	PROPOSED DEPRESSED CURB
[Symbol]	PROPOSED TERRACING (3:1 MIN.)
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[Symbol]	EXISTING WATERMAIN
[Symbol]	EXISTING GAS LINE
[Symbol]	EXISTING MANHOLE
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[Symbol]	STORM WATERSHED EXTENT
[Symbol]	WATERSHED NAME
[Symbol]	RUNOFF COEFFICIENT
[Symbol]	AREA IN HECTARES

**EROSION AND SEDIMENT CONTROL MEASURES:**

**\*\* CONTRACTOR IS RESPONSIBLE FOR ALL INSTALLATION, MONITORING, REPAIR AND REMOVAL OF ALL EROSION AND SEDIMENT CONTROL FEATURES \*\***

**\*\* THE SEDIMENT AND EROSION CONTROL MEASURES MAY BE MODIFIED IN THE FIELD AT THE DISCRETION OF THE CITY OF OTTAWA SITE INSPECTOR OR CONSERVATION AUTHORITY \*\***

**1. PRIOR TO START OF CONSTRUCTION:**

- PRIOR TO THE REMOVAL OF ANY VEGETATIVE COVER, MOVING OF SOIL, AND CONSTRUCTION:
- INSTALL SILT FENCE IMMEDIATELY DOWNSTREAM FROM AREAS TO BE DISTURBED (SEE PLAN FOR LOCATION).
- INSTALL GEOSOCK INSERTS WITH AN OVERFLOW IN ALL THE DOWNSTREAM CATCHBASINS AND MANHOLES
- INSTALL SILT SACK FILTERS IN ALL CONCRETE CATCH BASIN STRUCTURES
- INSPECT MEASURES IMMEDIATELY AFTER INSTALLATION.

**2. DURING CONSTRUCTION:**

- MINIMIZE THE EXTENT OF DISTURBED AREAS AND THE DURATION OF EXPOSURE
- PROTECT DISTURBED AREAS FROM RUNOFF.
- PROVIDE TEMPORARY COVER SUCH AS SEEDING OR MULCHING IF DISTURBED AREA WILL NOT BE REHABILITATED WITHIN 30 DAYS.
- INSPECT SILT FENCES, FILTER CLOTHS AND CATCH BASIN SUMP WEEKLY AND AFTER EVERY MAJOR STORM EVENT. CLEAN AND REPAIR WHEN NECESSARY.
- PLAN TO BE REVIEWED AND REVISED AS REQUIRED DURING CONSTRUCTION
- EROSION CONTROL FENCING TO BE ALSO INSTALLED AROUND THE BASE OF ALL STOCKPILES.
- DO NOT LOCATE TOPSOIL PILES AND EXCAVATION MATERIAL CLOSER THAN 2.5m FROM ANY PAVED SURFACE, OR ONE WHICH IS TO BE PAVED BEFORE THE PILE IS REMOVED. ALL TOPSOIL PILES ARE TO BE SEEDED IF THEY ARE TO REMAIN ON SITE LONG ENOUGH FOR SEEDS TO GROW LONGER THAN 30 DAYS).
- CONTROL WIND-BLOWN DUST OFF SITE TO ACCEPTABLE LEVELS BY SEEDING TOPSOIL PILES AND OTHER AREAS TEMPORARILY (PROVIDE WATERING AS REQUIRED).
- ALL EROSION CONTROL STRUCTURE TO REMAIN IN PLACE UNTIL ALL DISTURBED GROUND SURFACES HAVE BEEN STABILIZED EITHER BY PAVING OR RESTORATION OF VEGETATIVE COVER.
- NO ALTERNATE METHODS OF EROSION PROTECTION SHALL BE PERMITTED UNLESS APPROVED BY THIS CONSULTING ENGINEER AND THE CITY DEPARTMENT OF PUBLIC WORKS
- CONTRACTOR RESPONSIBLE FOR CITY ROADWAY AND SIDEWALK TO BE CLEANED OF ALL SEDIMENT FROM VEHICULAR TRACKING ETC. AT THE END OF EACH WORK DAY.
- PROVIDE GRAVEL ENTRANCE WHEREVER EQUIPMENT LEAVES THE SITE TO PREVENT MUD TRACKING ONTO PAVED SURFACES. GRAVEL BED SHALL BE A MINIMUM OF 15m LONG, 4M WIDE AND 0.3m DEEP AND SHALL CONSIST OF COARSE (50mm CRUSHERT-RUN LIMESTONE) MATERIAL. MAINTAIN GRAVEL ENTRANCE IN CLEAN CONDITION.
- DURING WET CONDITIONS, TIRES OF ALL VEHICLES/EQUIPMENT LEAVING THE SITE ARE TO BE SCRAPPED.
- ANY MUD/MATERIAL TRACKED onto the ROAD SHALL BE REMOVED IMMEDIATELY BY HAND OR RUBBER TIRE LOADER.
- TAKE ALL NECESSARY MEASURES TO PREVENT BUILDING MATERIAL, CONSTRUCTION DEBRIS OR WASTE BEING SPILLED OR TRACKED ONTO ADJACENT PROPERTIES OR PUBLIC STREETS DURING CONSTRUCTION AND BRUCING IMMEDIATELY TO CLEAN UP ANY AREAS SO AFFECTED.

**3. AFTER CONSTRUCTION:**

- PROVIDE PERMANENT COVER CONSISTING OF TOPSOIL AND SEED TO DISTURBED AREAS.
- REMOVE STRAW BALE FLOW CHECK DAMS, SILT FENCES AND FILTER CLOTHS ON CATCH BASINS AND MANHOLE COVERS AFTER DISTURBED AREAS HAVE BEEN REHABILITATED AND STABILIZED.
- INSPECT AND CLEAN CATCH BASIN SUMPS AND STORM SEWERS.

**USE AND INTERPRETATION OF DRAWINGS**

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3.0m 1.5m 0.0m 6.0m  
SCALE: 1:150

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01	ISSUED FOR MUNICIPAL APPROVAL	A.S.	03 MAR 2022

No. REVISIONS BY DATE

**Licensed Professional Engineer**  
M. BASNET  
100501996  
2023/10/23  
PROVINCE OF ONTARIO

NOT AUTHENTIC UNLESS SIGNED AND DATED

**LRJ**  
ENGINEERING | INGENIERIE  
5430 Canotek Road | Ottawa, ON, K1J 9G2  
www.lri.ca | (613) 842-3434

CLIENT: **LANDRIC HOMES INC.**

DESIGNED BY: T.H. DRAWN BY: T.H. APPROVED BY: M.B.

PROJECT: **PROPOSED 42 UNITS RESIDENTIAL DEVELOPMENTS**  
3040-3044 INNES RD, OTTAWA ON

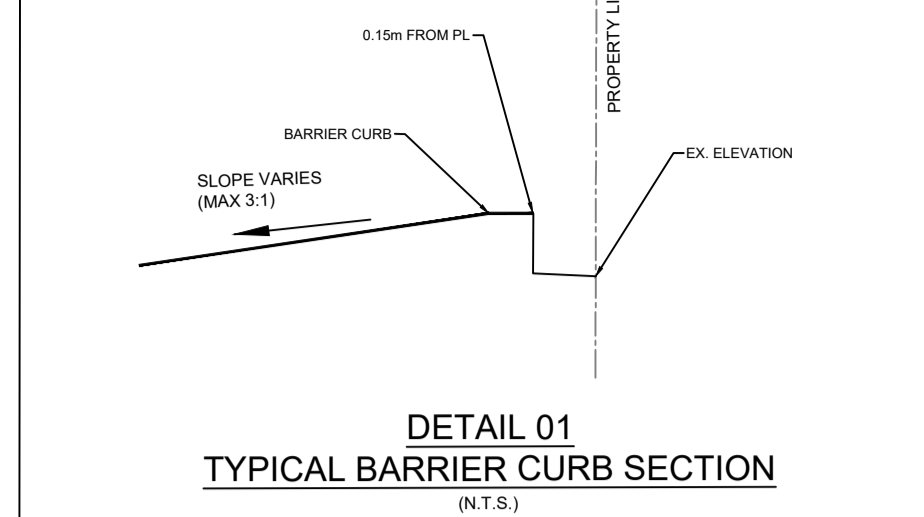
DRAWING TITLE: **EROSION AND SEDIMENT CONTROL PLAN**

PROJECT NO: 210374  
DATE: OCTOBER, 2023  
C101

D07-12-22-0050

PAVEMENT STRUCTURE

COURSE	MATERIAL	THICKNESS (mm)	
		AUTOMOBILE PARKING	TRUCK ROUTE (HEAVY TRAFFIC)
SURFACE	HL 3 A/C (PG 58-34)	50	40
BINDER	HL 8 A/C (PG 58-34)	-	50
BASECOURSE	OPSS GRANULAR "A"	150	150
SUBBASE	OPSS GRANULAR "B" TYPE II	300	450



NOTE: PAVEMENT STRUCTURE AS PER GEOTECHNICAL RECOMMENDATIONS BY PATERSON GROUP, REPORT# PG5763-1, DATED JUNE 23, 2021. IN PREPARATION FOR PAVEMENT CONSTRUCTION AT THIS SITE, ANY SURFICIAL OR NEAR SURFACE/SUBGRADE LEVEL TOPSOIL AND ANY SOFT, WET OR DELETERIOUS MATERIALS SHOULD BE REMOVED FROM THE PROPOSED PAVED AREAS. THE EXPOSED SUBGRADE SHOULD BE INSPECTED AND APPROVED BY GEOTECHNICAL PERSONNEL AND ANY SOFT AREAS EVIDENT SHOULD BE SUBCAVATED AND REPLACED WITH SUITABLE BARTH BORROW APPROVED BY THE GEOTECHNICAL ENGINEER. THE SUBGRADE SHOULD BE SHAPED AND CROWNED TO PROMOTE DRAINAGE OF THE SITE DRAINAGE STRUCTURES. FOLLOWING APPROVAL OF THE PREPARATION OF THE SUBGRADE, THE PAVEMENT GRANULARS MAY BE PLACED.

PAVEMENT STRUCTURE AS PER THE GEOTECHNICAL REPORT PREPARED BY PATERSON GROUP (JUNE 23, 2021)

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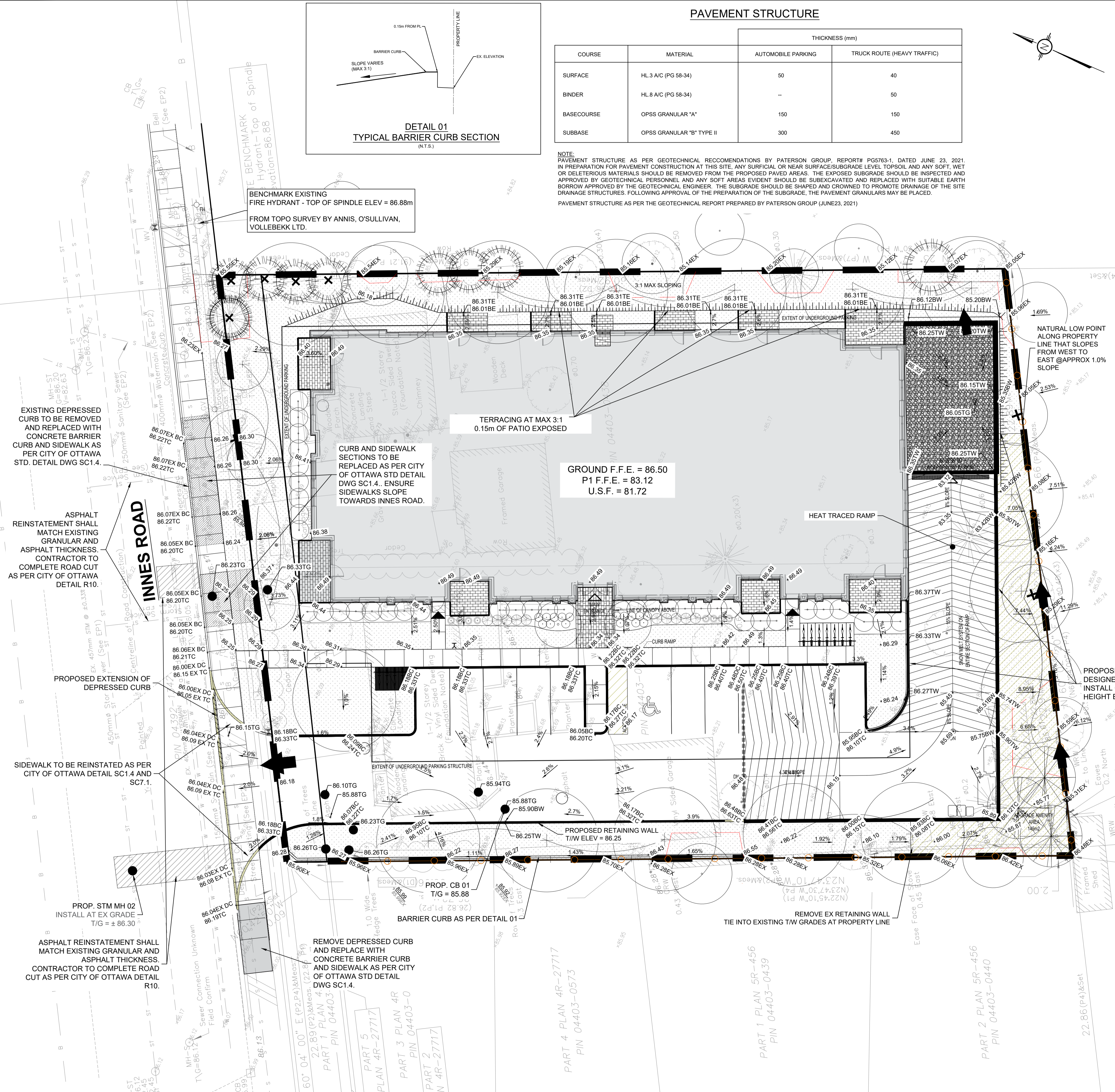
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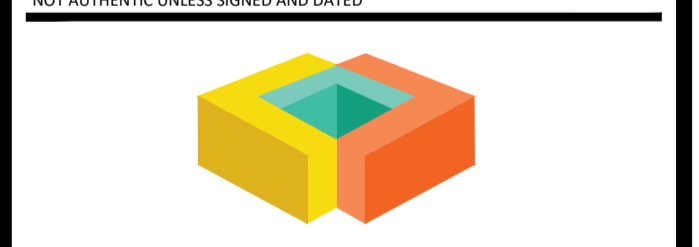


**NOTES:**

- GRADE RAISE RESTRICTION OF 2.0m EXISTS AS PER GEOTECHNICAL INVESTIGATION PREPARED BY PATERSON GROUP DATED JUNE 23, 2021.
- EXISTING ELEVATIONS ALONG NORTHWEST AND SIDEWALK AND SOUTHWEST PROPERTY LINE TO BE CONFIRMED PRIOR TO CONSTRUCTION.
- FIRE ROUTES OVER PARKING STRUCTURE REQUIRES THE GARAGE BE CONSTRUCTED TO BRIDGE STANDARDS (REFER TO STRUCTURAL).

PROPOSED RETAINING WALL TO BE DESIGNED BY STRUCTURAL ENGINEER. INSTALL GUARD RAIL WHERE WALL HEIGHT EXCEEDS 600mm

No.	REVISIONS	BY	DATE
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CLIENT  
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DESIGNED BY: T.H. DRAWN BY: T.H. APPROVED BY: M.B.

PROJECT  
**PROPOSED 42 UNITS RESIDENTIAL DEVELOPMENTS  
3040-3044 INNES RD, OTTAWA ON**

DRAWING TITLE  
**GRADING AND DRAINAGE PLAN**

PROJECT NO.  
**210374**

DATE  
**OCTOBER, 2023**

**C301**



EXISTING WATER AND SANITARY SERVICES ARE TO BE BLANKED AT THE MAIN.

**LEGEND:**

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3.0m 1.5m 0.0m 3.0m 6.0m

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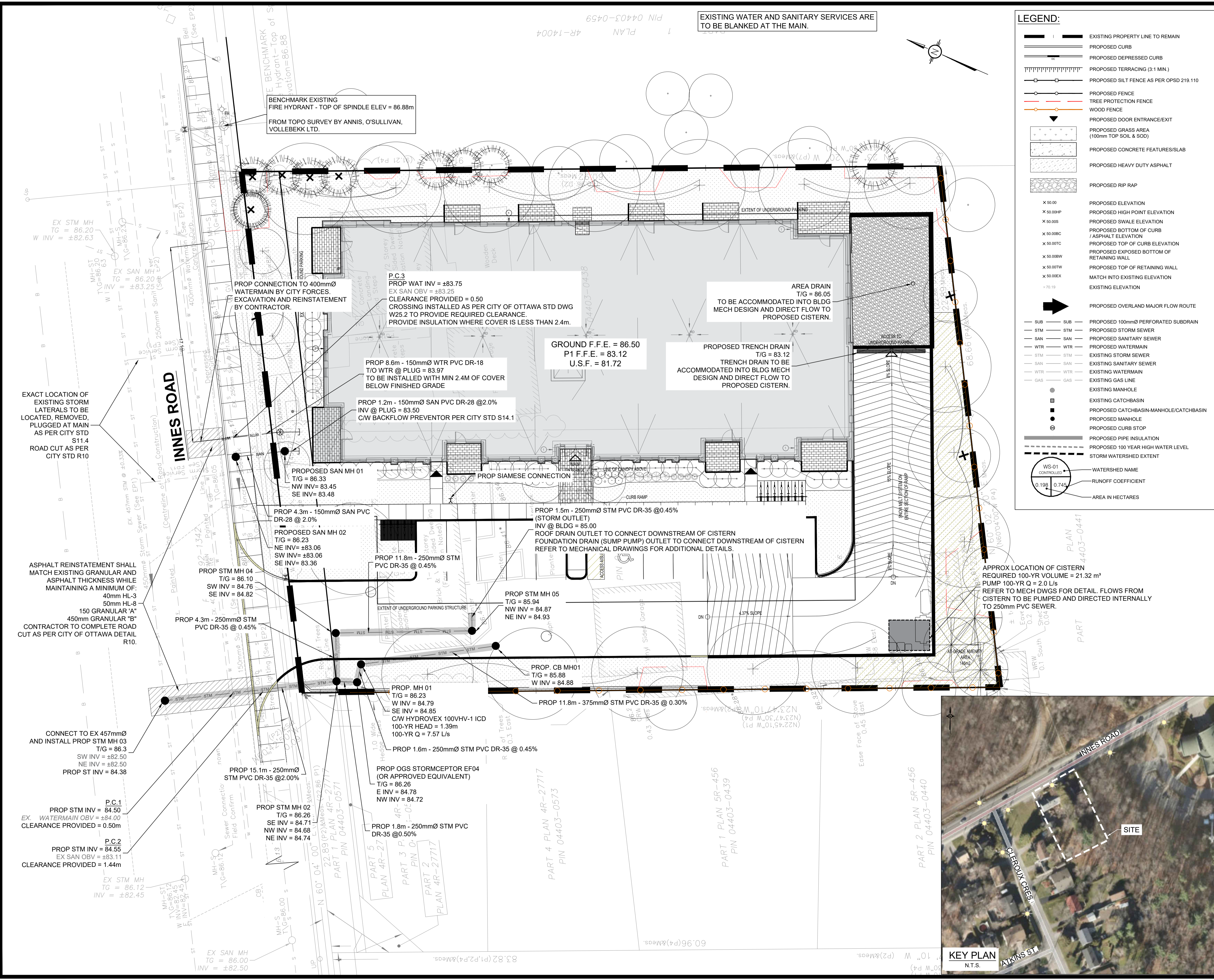
CLIENT: **LANDRIC HOMES INC.**

DESIGNED BY: T.H. DRAWN BY: T.H. APPROVED BY: M.B.

PROJECT: **PROPOSED 42 UNITS RESIDENTIAL DEVELOPMENTS  
3040-3044 INNES RD, OTTAWA ON**

DRAWING TITLE: **SERVICING PLAN**

PROJECT NO: 210374  
DATE: OCTOBER, 2023  
**C401**



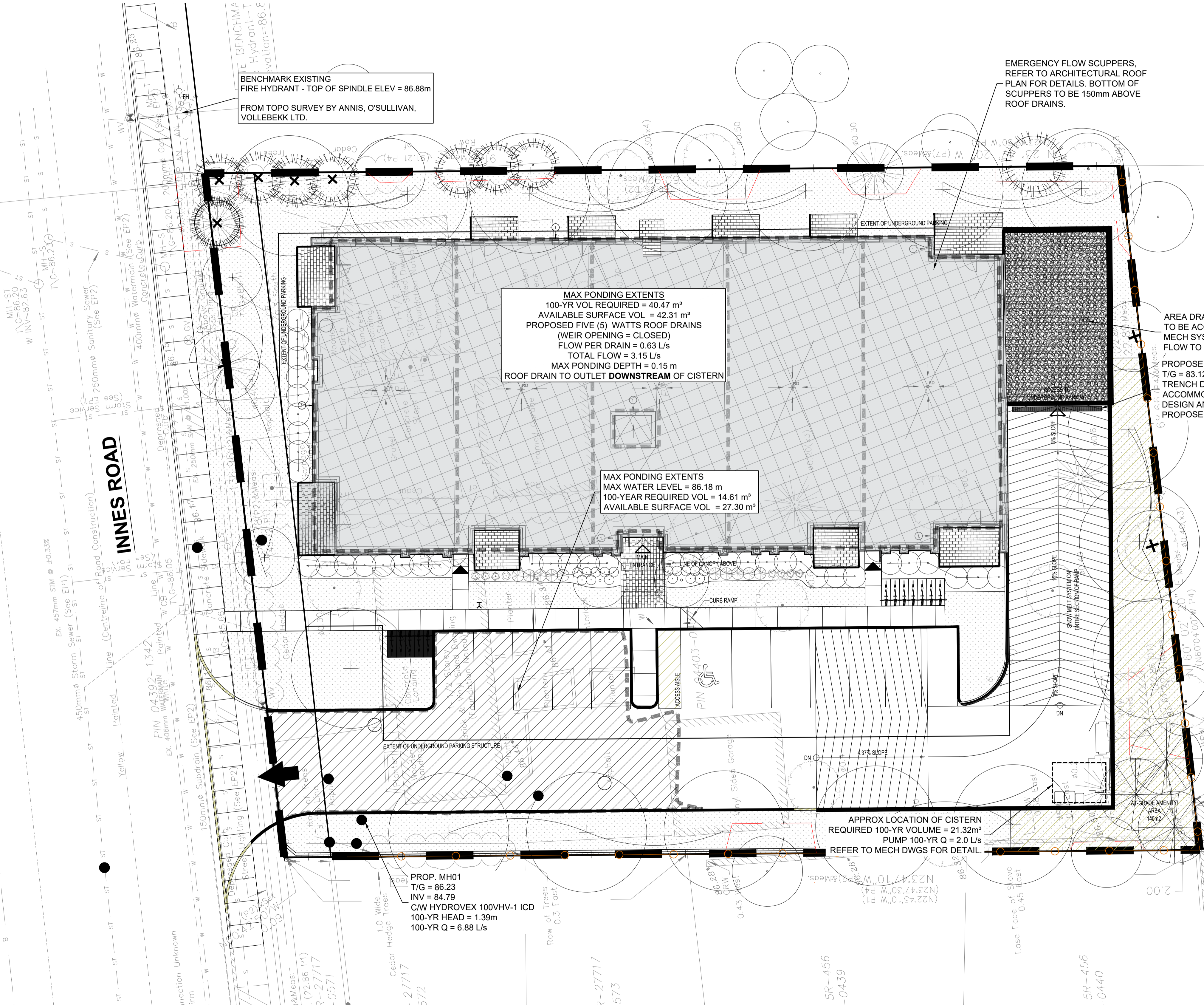
**KEY PLAN**  
N.T.S.



D07-12-22-0050

**SUMMARY OF RELEASE RATES AND STORAGE VOLUMES**

Catchment Area	Drainage Area (ha)	100-year Release Rate (L/s)	100-Year Required Storage (m3)	Total Available Storage (m3)
WS-01 & WS-05 (Un-Controlled)	0.065	10.46	0	0
WS-02 (Roof Controls)	0.092	3.15	40.47	42.31
WS-03 (ICD)	0.069	6.88	14.61	27.30
WS-04 (Cistern)	0.051	2.00	21.32	22.00
<b>TOTAL</b>	<b>0.277</b>	<b>22.50</b>	<b>76.39</b>	<b>91.61</b>



**MAX PONDING EXTENTS**  
 100-YR VOL REQUIRED = 40.47 m<sup>3</sup>  
 AVAILABLE SURFACE VOL = 42.31 m<sup>3</sup>  
 PROPOSED FIVE (5) WATTS ROOF DRAINS  
 (WEIR OPENING = CLOSED)  
 FLOW PER DRAIN = 0.63 L/s  
 TOTAL FLOW = 3.15 L/s  
 MAX PONDING DEPTH = 0.15 m  
 ROOF DRAIN TO OUTLET DOWNSTREAM OF CISTERN

**MAX PONDING EXTENTS**  
 MAX WATER LEVEL = 86.18 m  
 100-YEAR REQUIRED VOL = 14.61 m<sup>3</sup>  
 AVAILABLE SURFACE VOL = 27.30 m<sup>3</sup>

**APPROX LOCATION OF CISTERN**  
 REQUIRED 100-YR VOLUME = 21.32m<sup>3</sup>  
 PUMP 100-YR Q = 2.0 L/s  
 REFER TO MECH DWGS FOR DETAIL.

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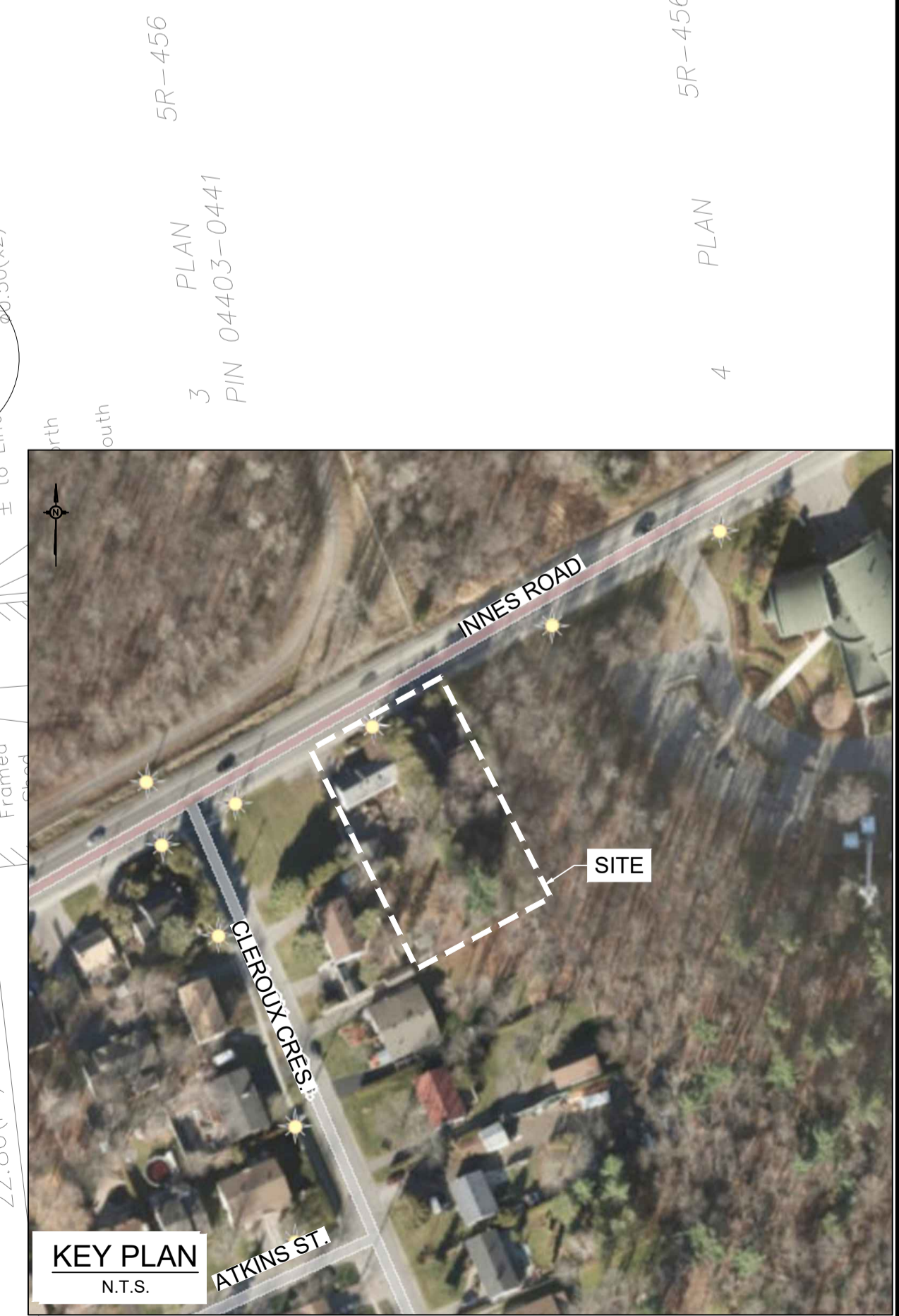
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3.0m 1.5 0 3.0 6.0m  
 SCALE: 1:150

**Available Underground Storage**

Oversized Pipe	Diameter	Area (m2)	Length (m)	Volume (m3)
Storm Sewer	0.375	0.11	11.8	1.30
Structures	Diameter	Area (m2)	Depth from 85.88m	Volume (m3)
CB MH-01	1.2	1.13	1	1.13
MH-01	1.2	1.13	1.09	1.23
<b>Total Available Underground Storage =</b>				<b>3.66</b>
<b>Required 2-Year Storage =</b>				<b>3.63</b>



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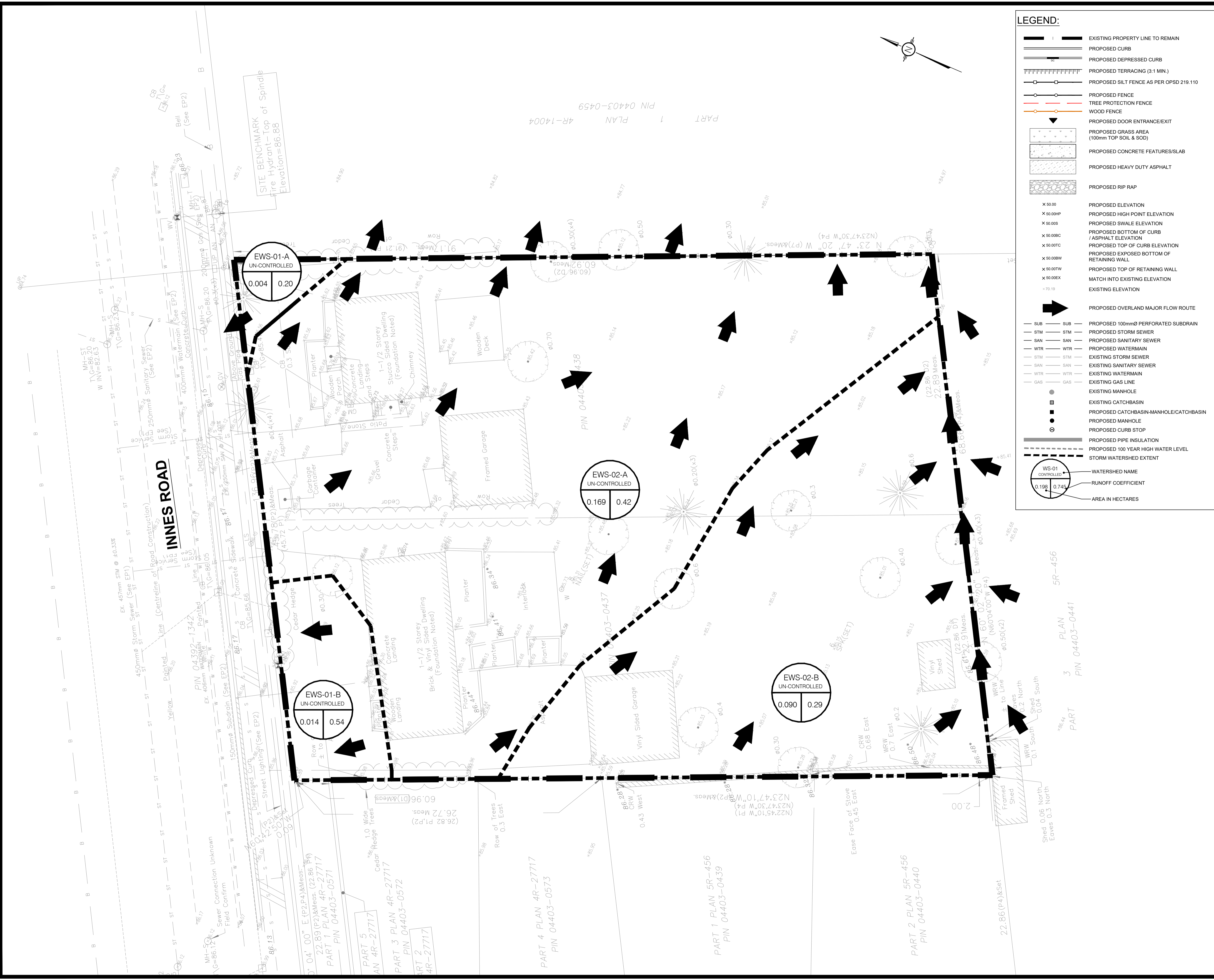
DESIGNED BY: T.H. DRAWN BY: T.H. APPROVED BY: M.B.

PROJECT: **PROPOSED 42 UNITS RESIDENTIAL DEVELOPMENTS**  
 3040-3044 INNES RD, OTTAWA ON

DRAWING TITLE: **STORMWATER MANAGEMENT PLAN**

PROJECT NO: 210374  
 DATE: OCTOBER, 2023

**C601**



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- EXISTING PROPERTY LINE TO REMAIN
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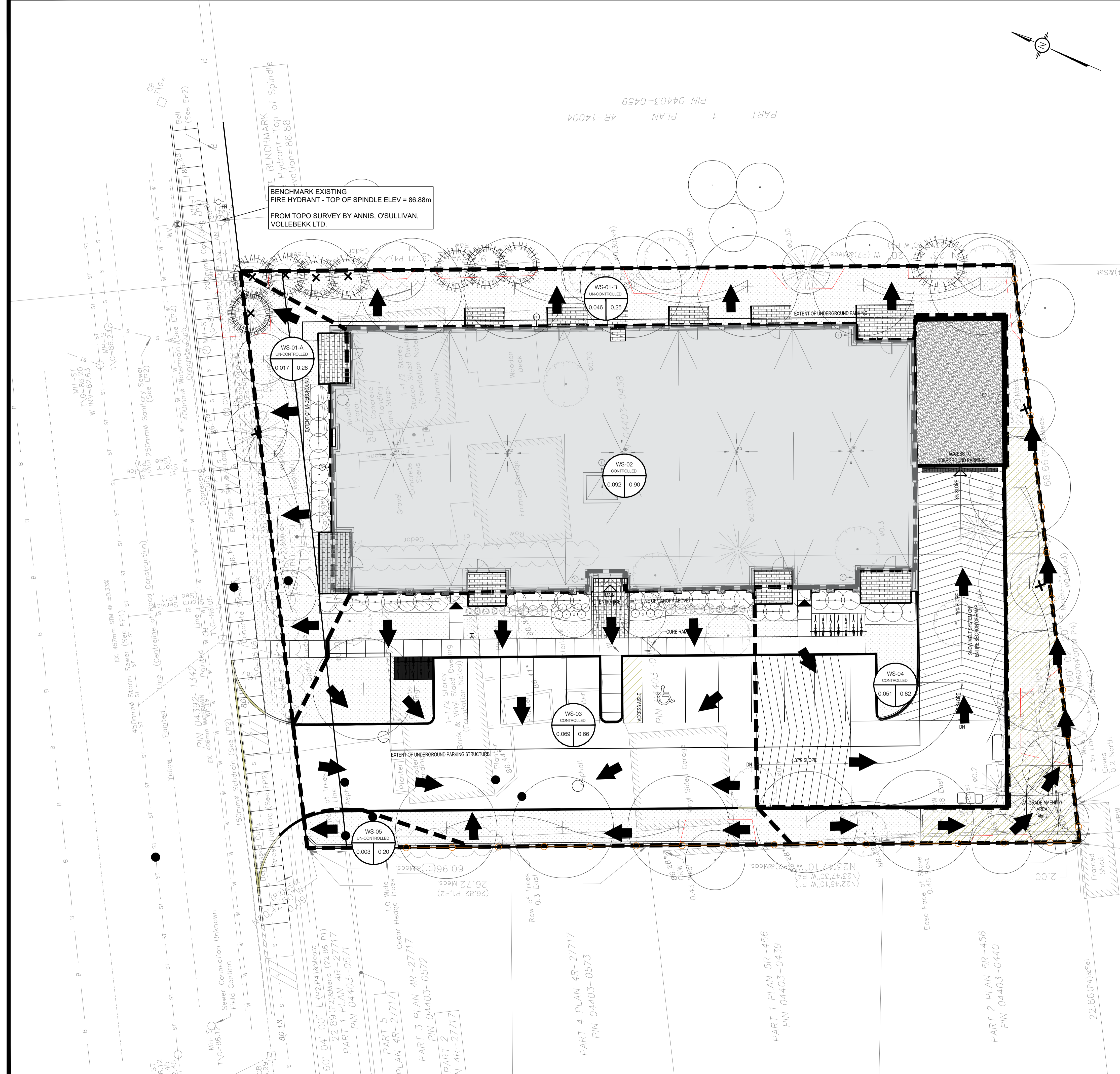
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PROJECT: **PROPOSED 42 UNITS RESIDENTIAL DEVELOPMENTS  
3040-3044 INNES RD, OTTAWA ON**

DRAWING TITLE: **PRE-DEVELOPMENT WATERSHED PLAN**

PROJECT NO: 210374 DATE: OCTOBER, 2023

**C701**



**LEGEND:**

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CONTRACTOR TO VERIFY ALL DIMENSIONS AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES BEFORE WORK COMMENCES. DO NOT SCALE DRAWINGS.

3.0m 1.5 0 3.0 6.0m  
SCALE: 1:150

No.	REVISIONS	BY	DATE
05	RE-ISSUED FOR MUNICIPAL APPROVAL	T.H.	23 OCT 2023
04	RE-ISSUED FOR MUNICIPAL APPROVAL	T.H.	27 APR 2023
03	RE-ISSUED FOR MUNICIPAL APPROVAL	T.H.	09 MAR 2023
02	RE-ISSUED FOR MUNICIPAL APPROVAL	T.H.	21 NOV 2022
01	ISSUED FOR MUNICIPAL APPROVAL	A.S.	03 MAR 2022



NOT AUTHENTIC UNLESS SIGNED AND DATED

**LRJ**  
ENGINEERING | INGENIERIE  
5430 Canotek Road | Ottawa, ON, K1J 9G2  
www.lri.ca | (613) 842-3434

CLIENT  
**LANDRIC HOMES INC.**

DESIGNED BY: T.H. DRAWN BY: T.H. APPROVED BY: M.B.

PROJECT  
**PROPOSED 42 UNITS RESIDENTIAL DEVELOPMENTS  
3040-3044 INNES RD, OTTAWA ON**

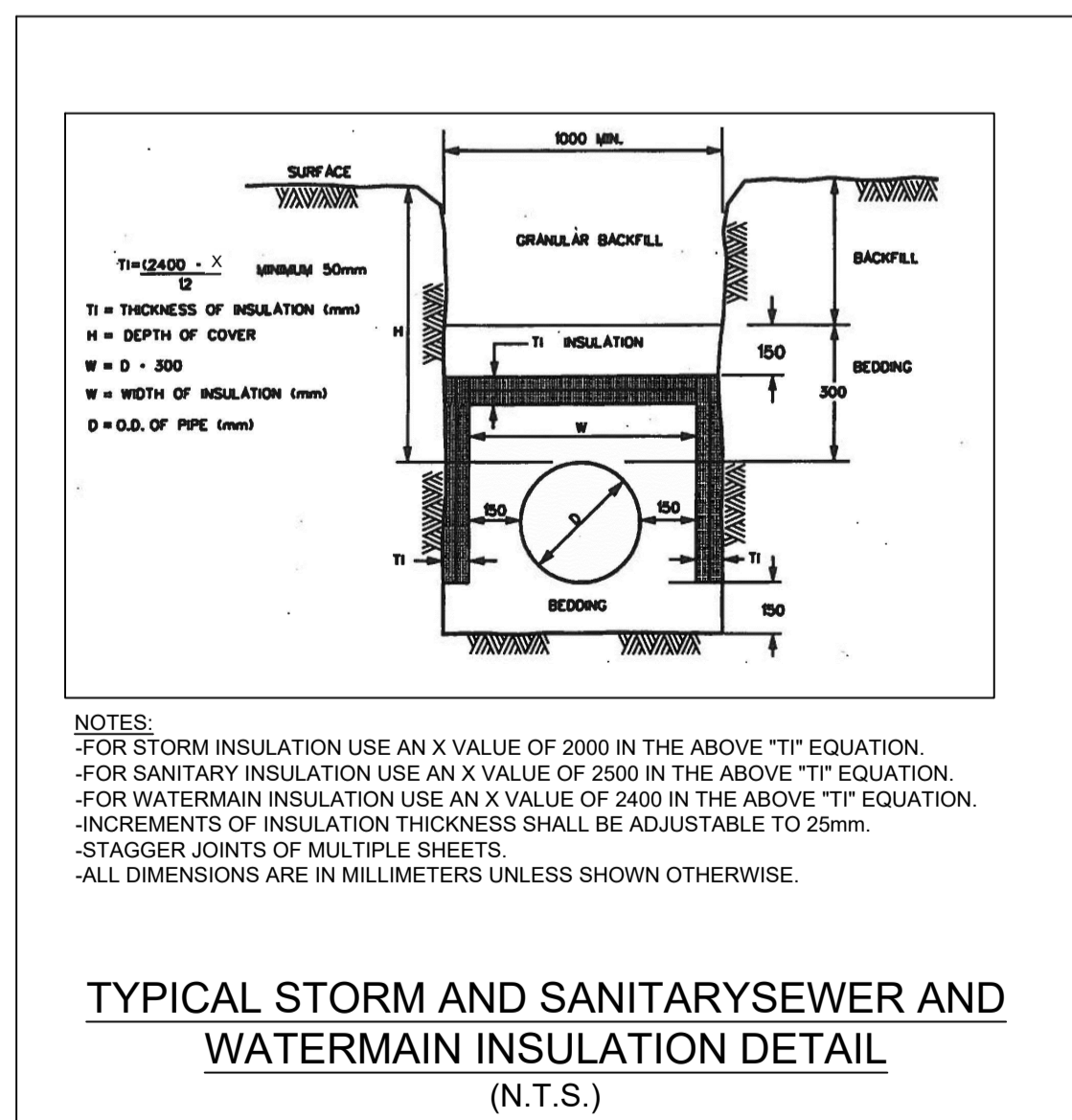
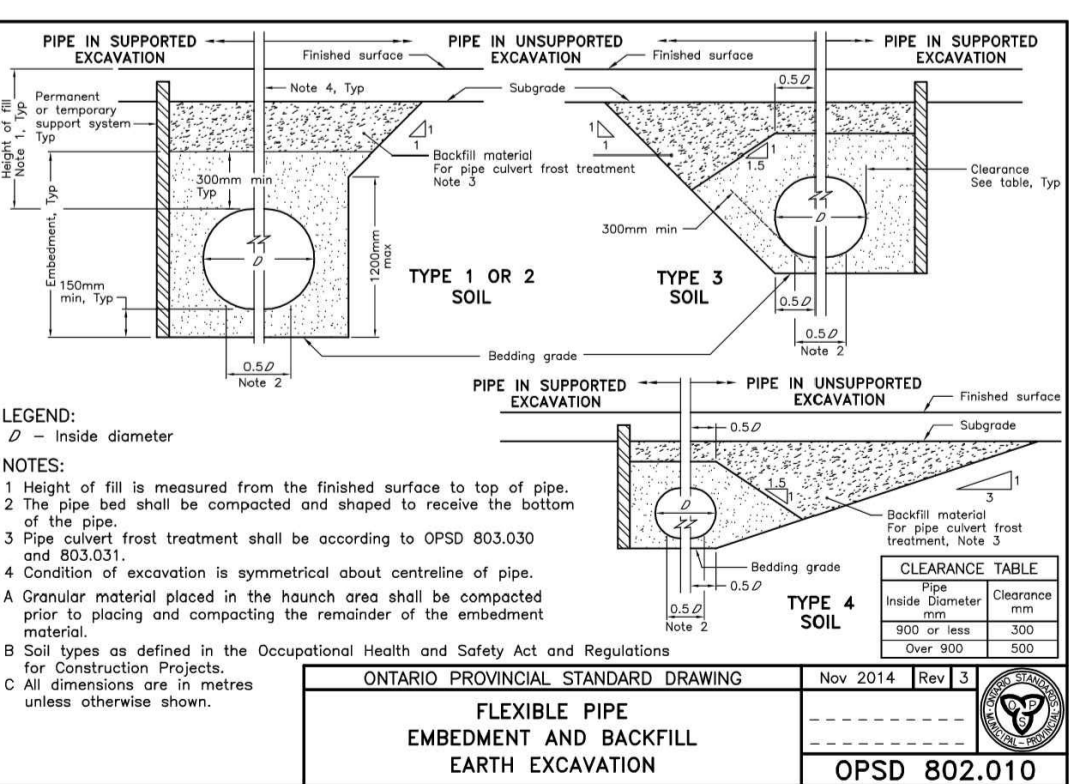
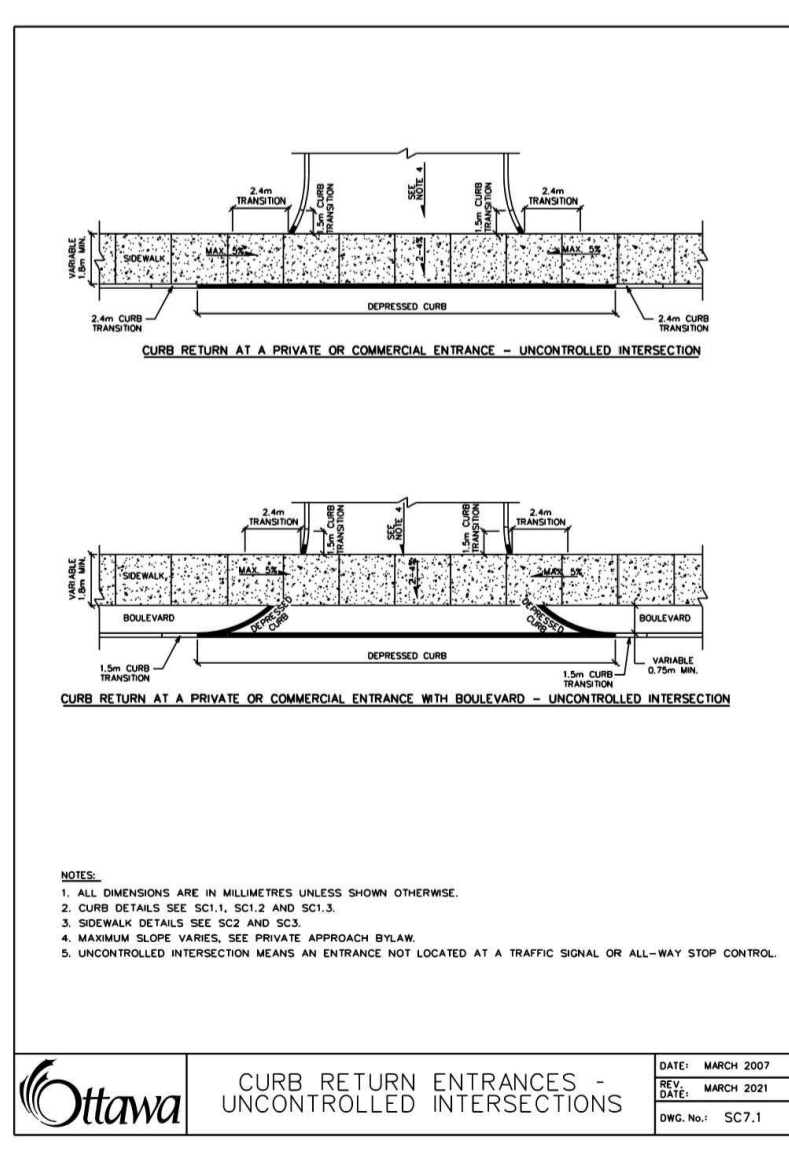
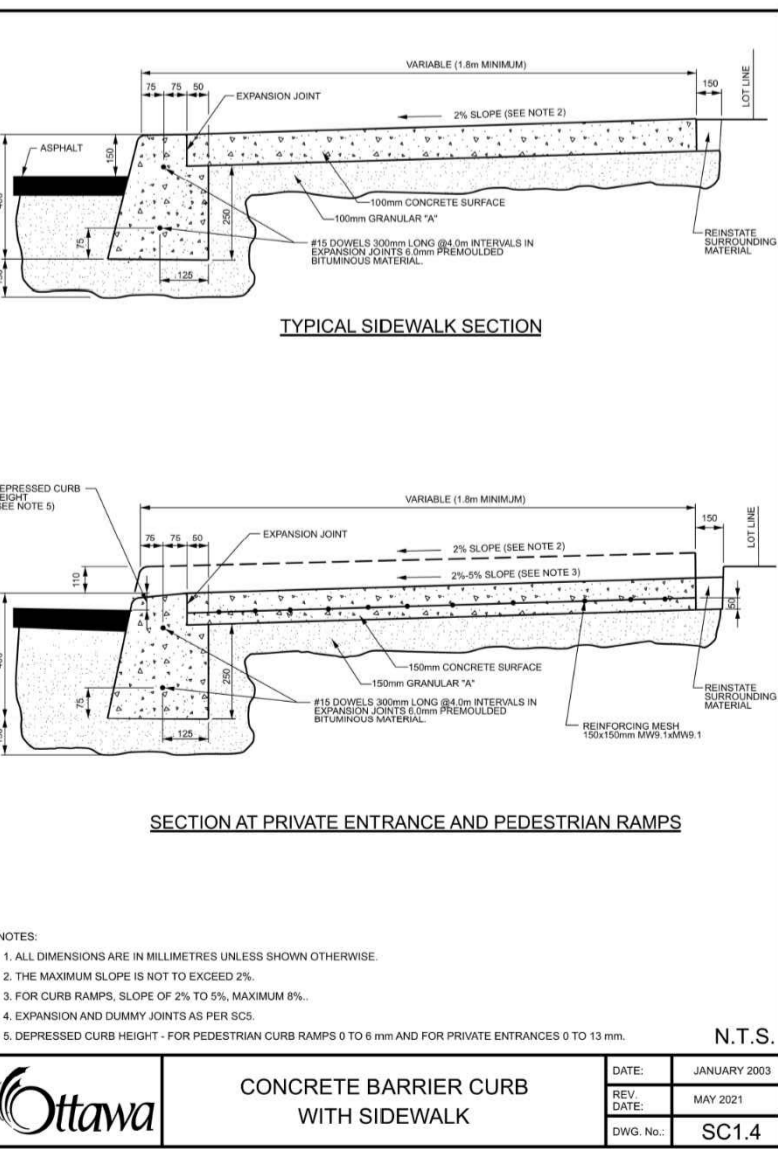
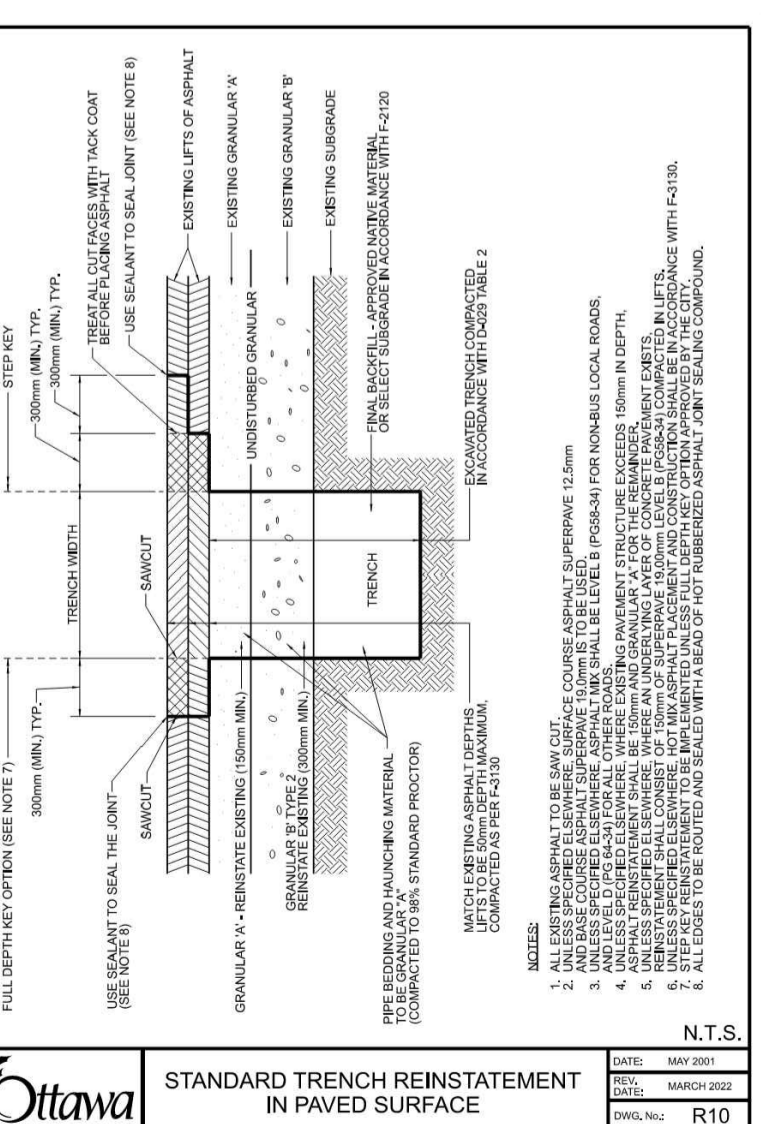
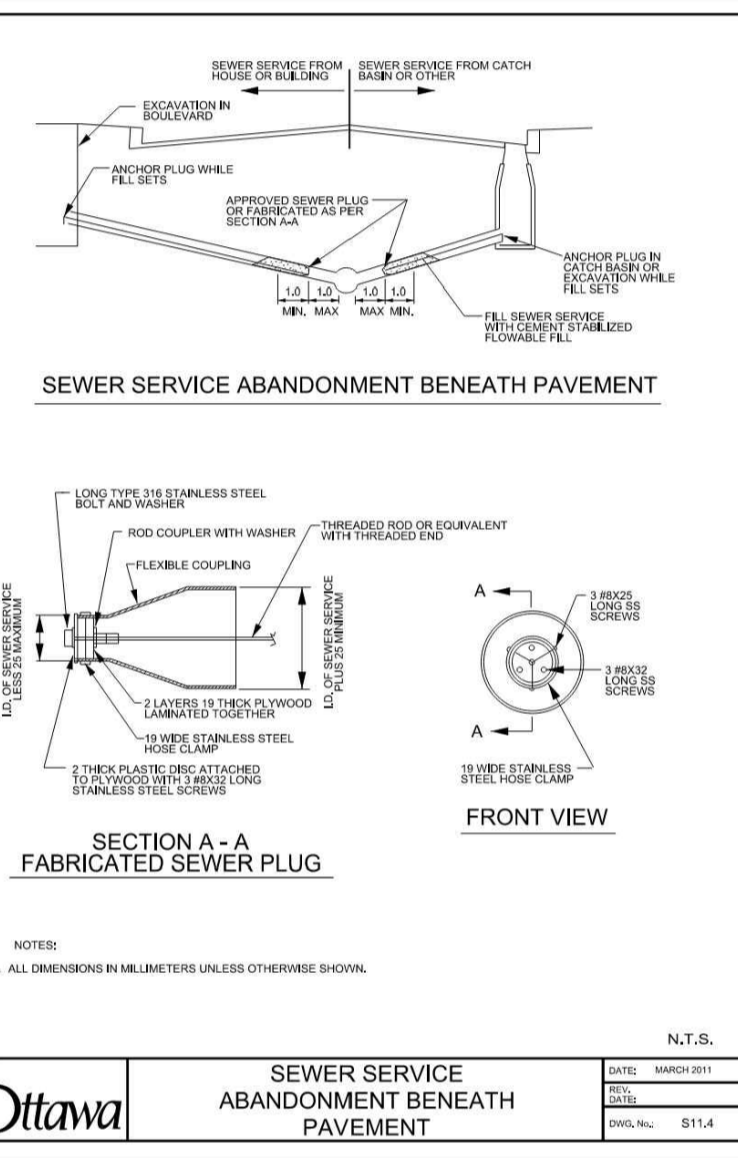
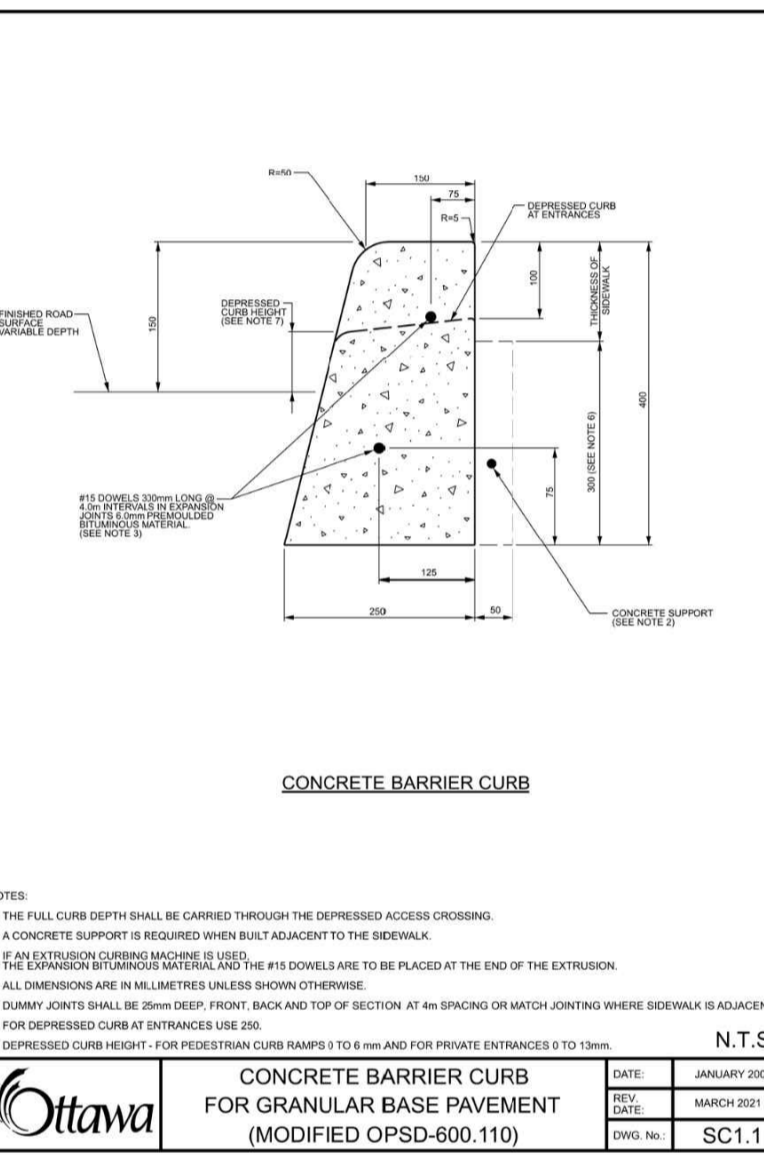
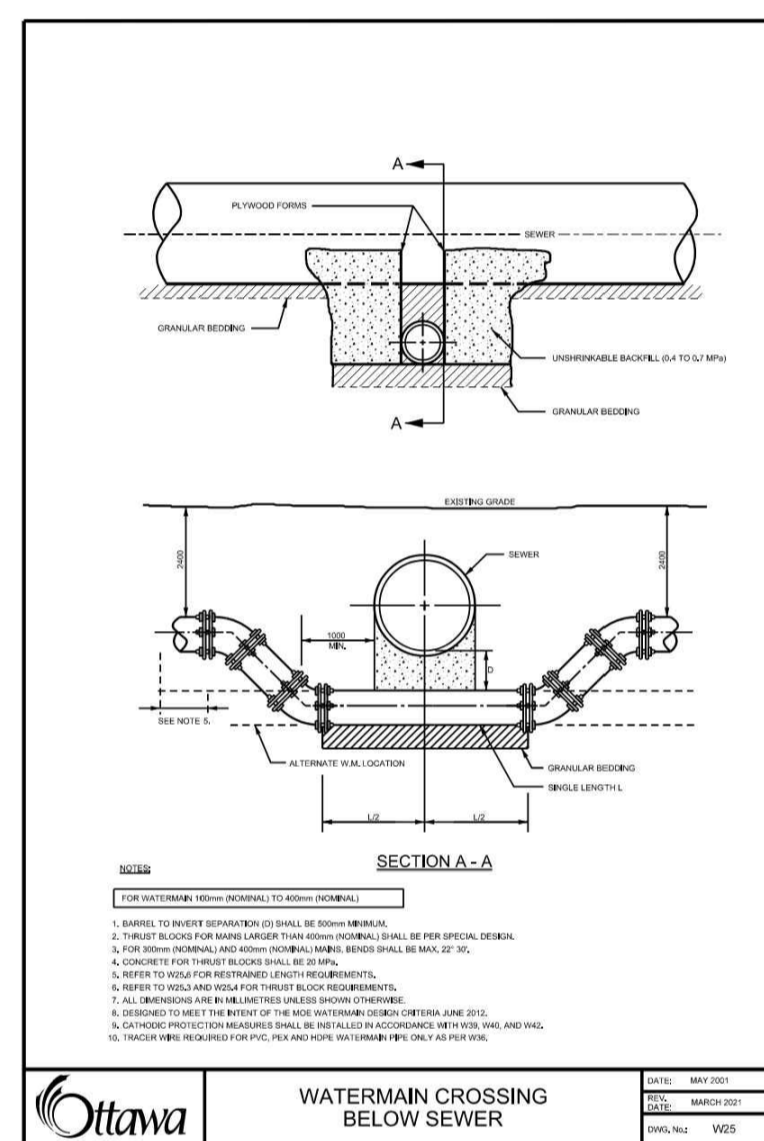
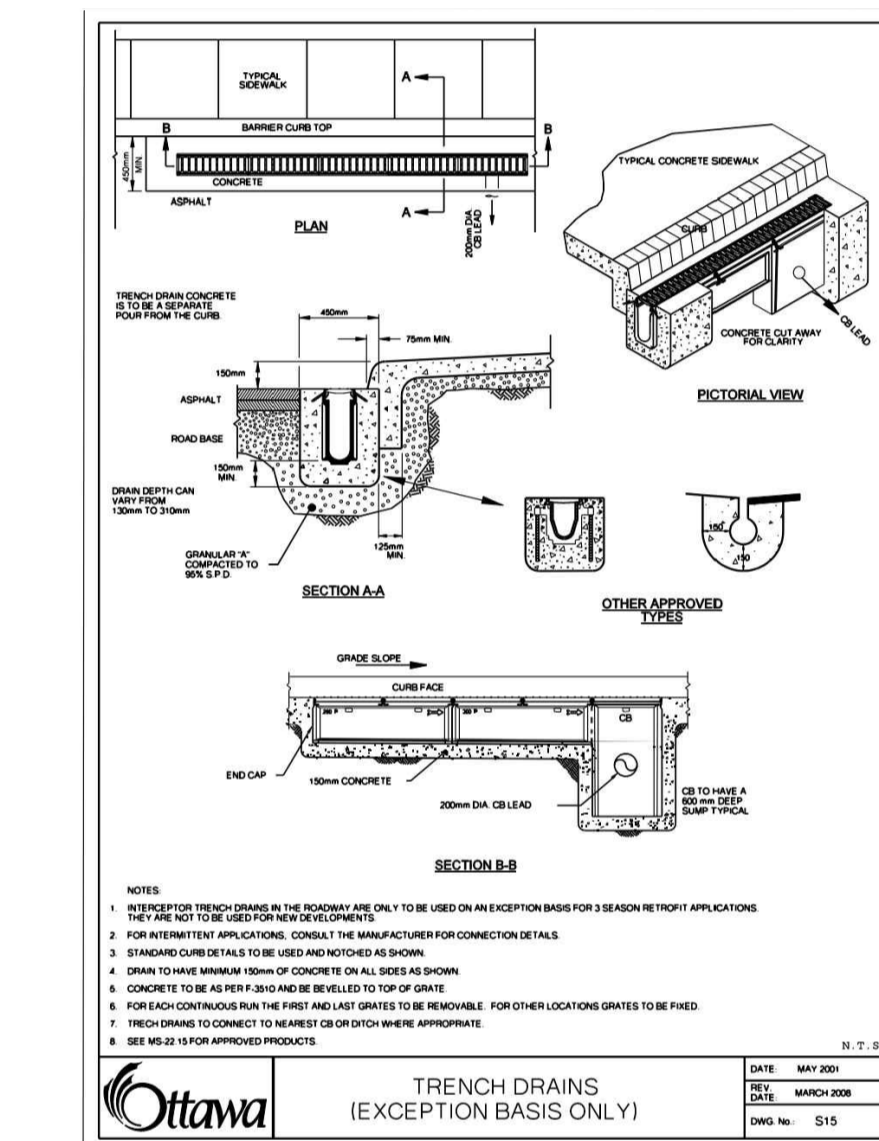
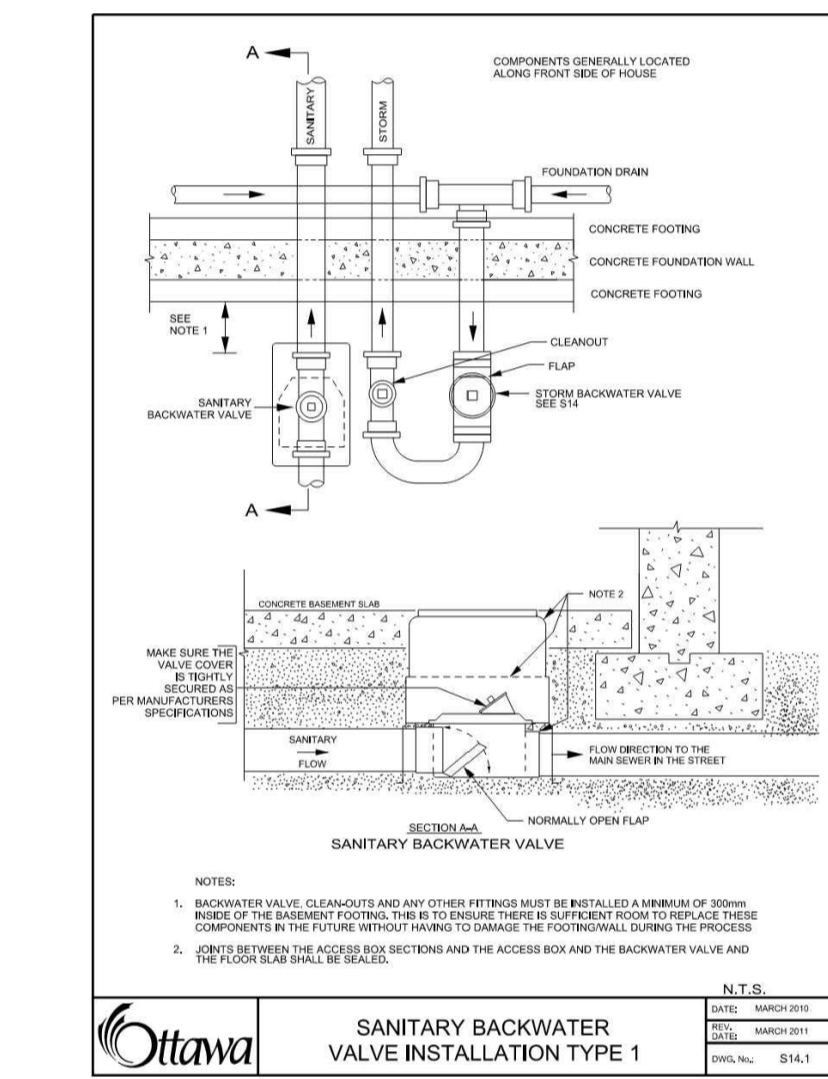
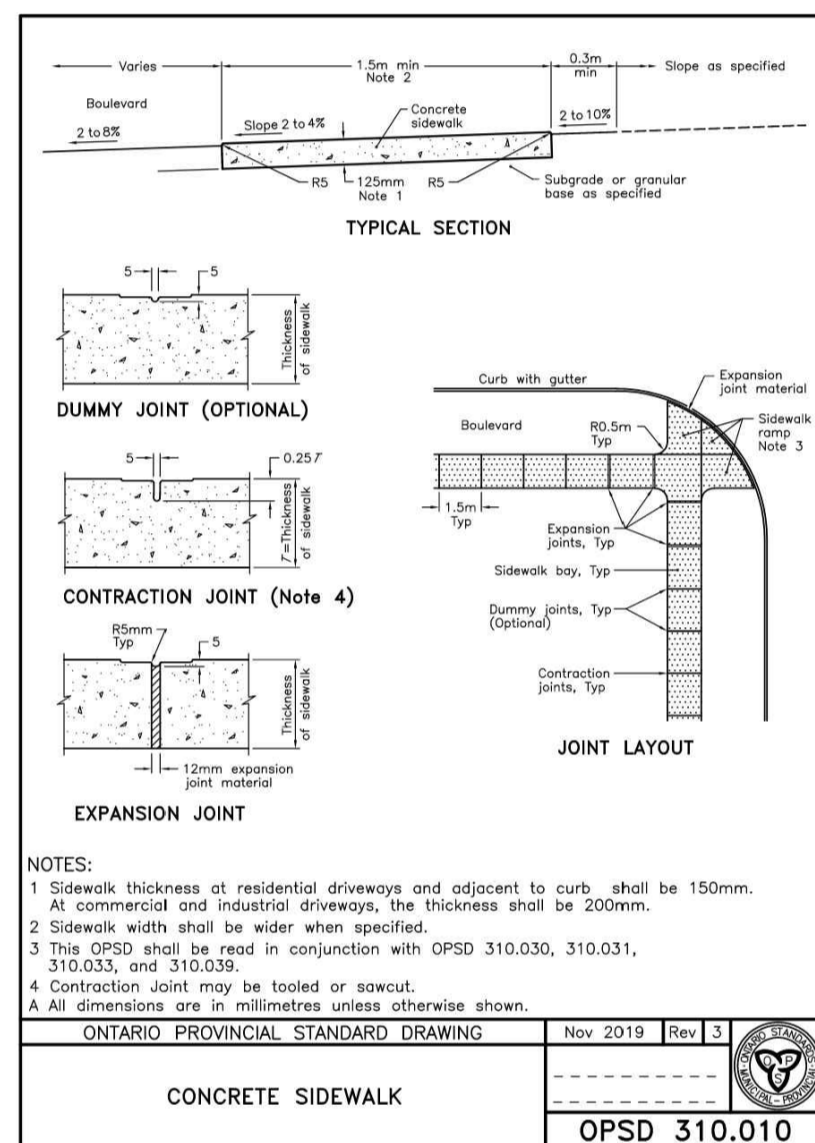
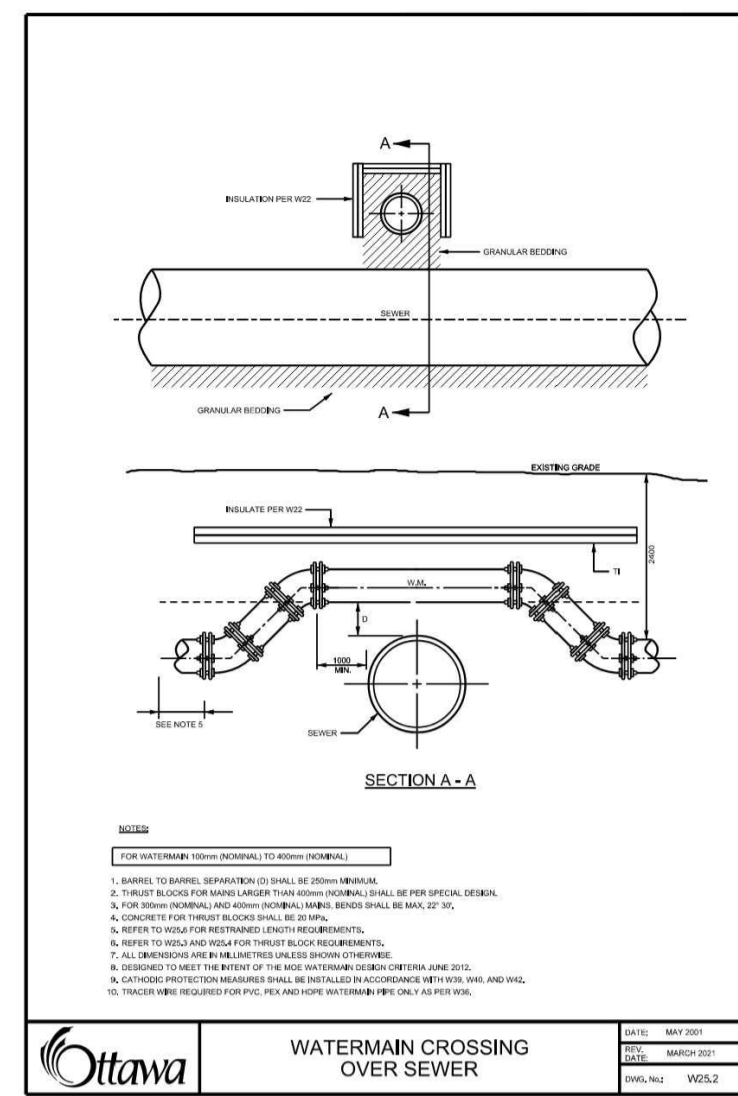
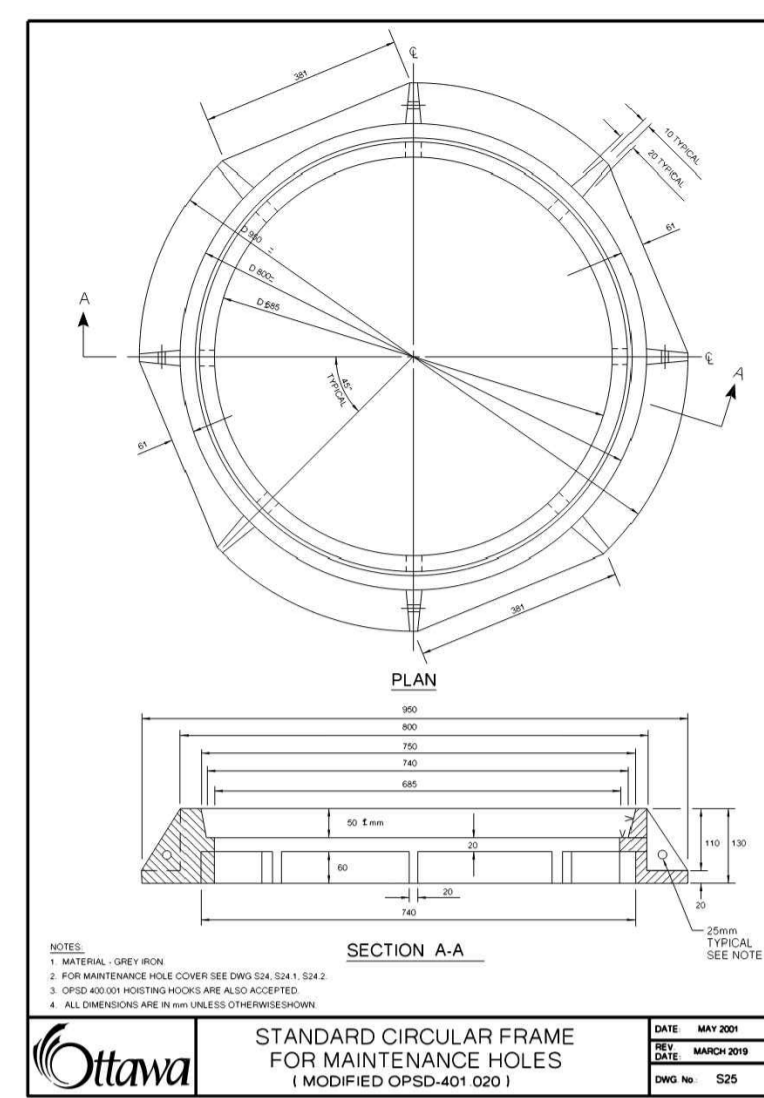
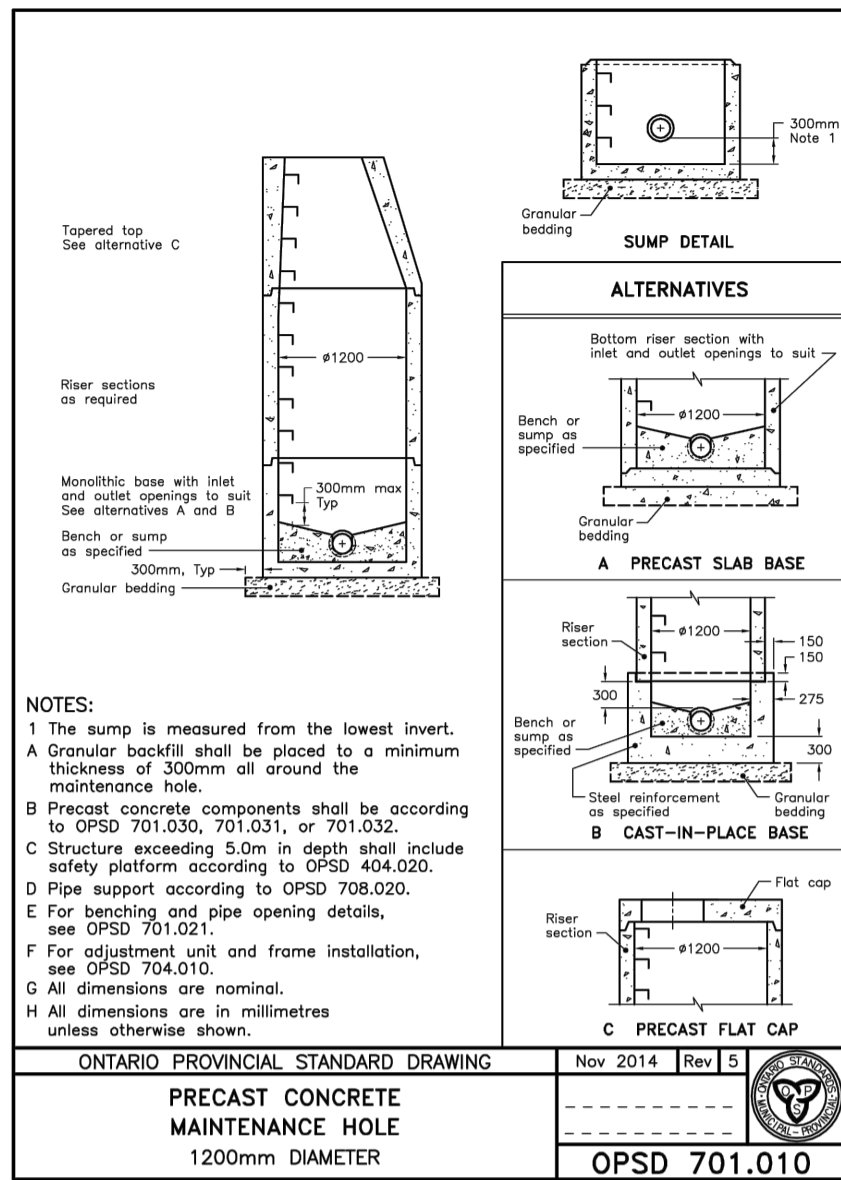
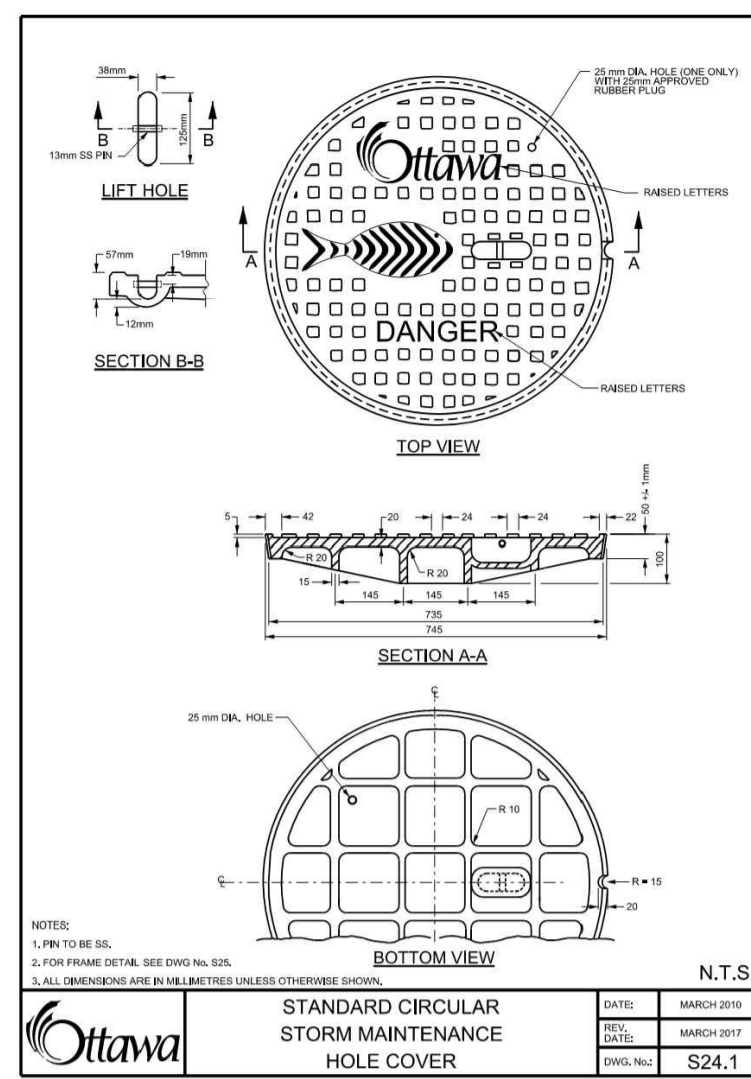
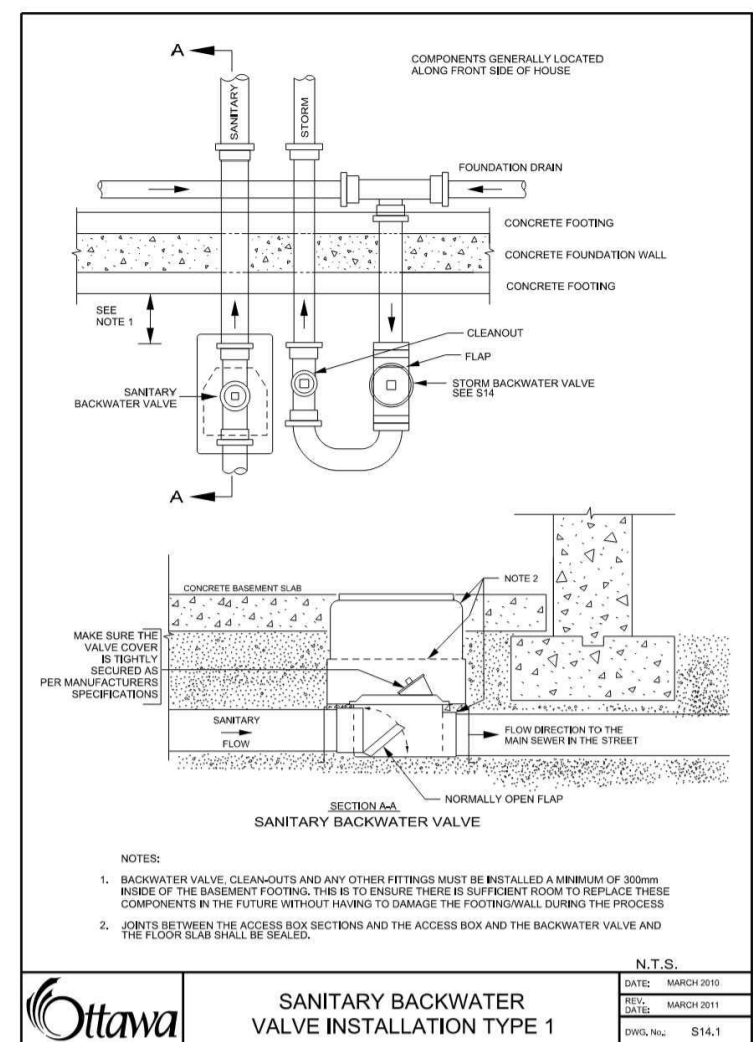
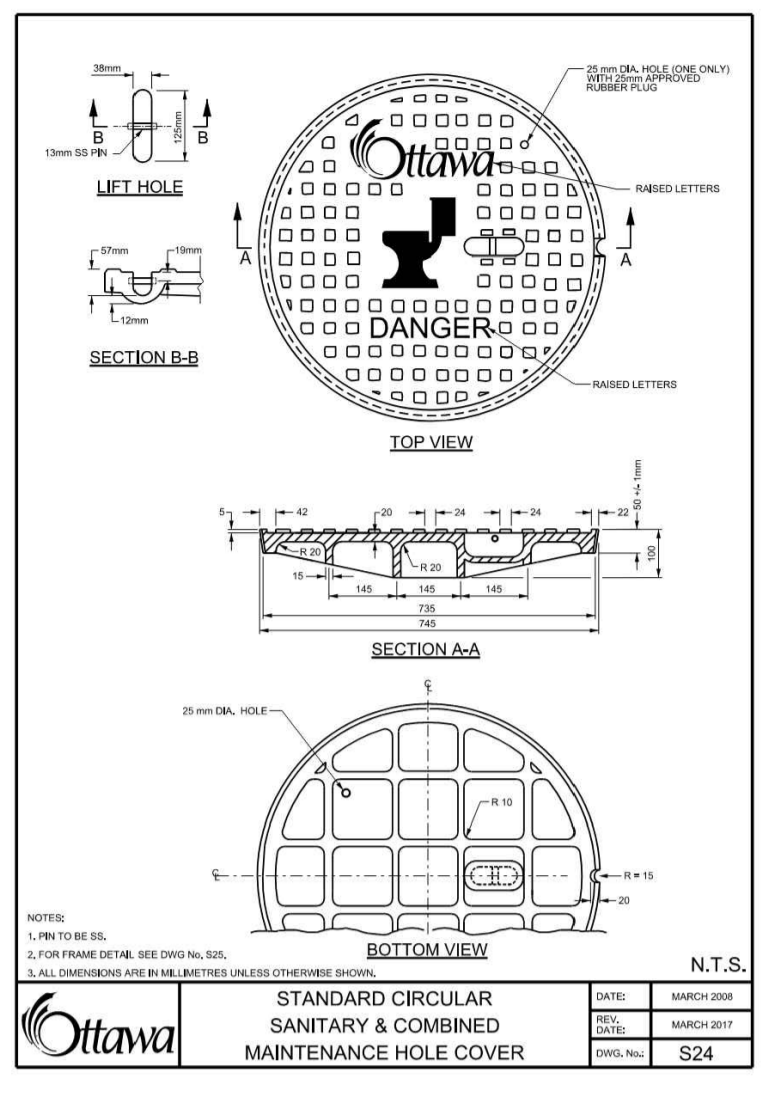
DRAWING TITLE  
**POST-DEVELOPMENT WATERSHED PLAN**

PROJECT NO.  
**210374**

DATE  
**OCTOBER, 2023**

**C702**





**USE AND INTERPRETATION OF DRAWINGS**

GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION ARE PART OF THE CONTRACT DOCUMENTS AND DESCRIBE USE AND INTENT OF THE DRAWINGS. THE CONTRACT DOCUMENTS INCLUDE NOT ONLY THE DRAWINGS, BUT ALSO THE SPECIFICATIONS, ADDENDA, AND MODIFICATIONS ISSUED AFTER EXECUTION OF THE CONTRACT. THESE CONTRACT DOCUMENTS ARE COMPLEMENTARY, AND WHAT IS REQUIRED BY ANY ONE SHALL BE BINDING AS IF REQUIRED BY ALL. WORK NOT COMPLETELY DELINEATED HEREON SHALL BE CONSTRUCTED OF THE SAME MATERIALS AND DETAILED SIMILARLY AS WORK SHOWN MORE COMPLETELY ELSEWHERE IN THE CONTRACT DOCUMENTS.

BY USE OF THE DRAWINGS FOR CONSTRUCTION OF THE PROJECT, THE OWNER CONFIRMS THAT HE HAS REVIEWED AND APPROVED THE DRAWINGS. THE CONTRACTOR CONFIRMS THAT HE HAS VISITED THE SITE, FAMILIARIZED HIMSELF WITH THE LOCAL CONDITIONS, VERIFIED FIELD DIMENSIONS AND CORRELATED HIS OBSERVATIONS WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS.

AS INSTRUMENTS OF SERVICE, ALL DRAWINGS, SPECIFICATIONS, CAD FILES OR OTHER ELECTRONIC MEDIA AND COPIES THEREOF FURNISHED BY THE ENGINEER ARE HIS PROPERTY. THEY ARE TO BE USED ONLY FOR THIS PROJECT AND ARE NOT TO BE USED ON ANY OTHER PROJECT, INCLUDING REPEATS OF THE PROJECT. CHANGES TO THE DRAWINGS MAY ONLY BE MADE BY THE ENGINEER.

UNLESS THE REVISION TITLE IS ISSUED FOR CONSTRUCTION, THESE DRAWINGS SHALL BE CONSIDERED PRELIMINARY AND SHALL NOT BE USED AS A CONSTRUCTION DOCUMENT.

THESE DRAWINGS ILLUSTRATE THE WORK TO BE DONE. THE ENGINEER IS NOT RESPONSIBLE FOR THE MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES USED TO DO THE WORK, OR THE SAFETY ASPECTS OF CONSTRUCTION, AND NOTHING ON THESE DRAWINGS EXPRESSED OR IMPLIED CHANGES THIS CONDITION. CONTRACTOR SHALL DETERMINE ALL CONDITIONS AT THE SITE AND SHALL BE RESPONSIBLE FOR KNOWING HOW THEY AFFECT THE WORK. SUBMITTAL OF A BID TO PERFORM THIS WORK IS ACKNOWLEDGEMENT OF THE RESPONSIBILITIES, AND THAT THEY HAVE BEEN FULLY CONSIDERED IN PLANNING OF THE WORK, AND THE BID PRICE. NO CLAIMS FOR EXTRA CHARGES DUE TO THESE CONDITIONS WILL BE FORTHCOMING.

UNAUTHORIZED CHANGES:

IN THE EVENT THE CLIENT, THE CLIENT'S CONTRACTORS OR SUBCONTRACTORS, OR ANYONE FOR WHOM THE CLIENT IS LEGALLY LIABLE MAKES OR PERMITS TO BE MADE ANY CHANGES TO ANY REPORTS, PLANS, SPECIFICATIONS OR OTHER CONTRACT DOCUMENTS PREPARED BY LRL ASSOCIATES LTD. (LRL) WITHOUT OBTAINING LRL'S PRIOR WRITTEN CONSENT, THE CLIENT SHALL ASSUME FULL RESPONSIBILITY FOR THE RESULTS OF SUCH CHANGES. THEREFORE THE CLIENT AGREES TO WAIVE ANY CLAIM AGAINST LRL AND TO RELEASE LRL FROM ANY LIABILITY ARISING DIRECTLY OR INDIRECTLY FROM SUCH UNAUTHORIZED CHANGES.

IN ADDITION, THE CLIENT AGREES, TO THE FULLEST EXTENT PERMITTED BY LAW, TO INDEMNIFY AND HOLD HARMLESS LRL FROM ANY DAMAGES, LIABILITIES OR COSTS, INCLUDING REASONABLE ATTORNEY'S FEES AND COST OF DEFENSE, ARISING FROM SUCH CHANGES.

GENERAL NOTES:

EXISTING SERVICES AND UTILITIES SHOWN ON THESE DRAWINGS ARE TAKEN FROM THE BEST AVAILABLE RECORDS, BUT MAY NOT BE COMPLETE OR TO DATE. CONTRACTOR SHALL VERIFY IN FIELD FOR LOCATION AND ELEVATION OF PIPES AND CHECK WITH THE UTILITY COMPANIES BEFORE DIGGING OR PERFORMING WORK.

CONTRACTOR IS ADVISED TO COLLECT INFORMATION ON SOIL CONDITIONS BEFORE START OF CONSTRUCTION.

THE ENGINEER WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS, SPECIFICATIONS AND NOTES. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR PROBLEMS WHICH ARISE FROM OTHERS' FAILURE TO OBTAIN AND/OR FOLLOW THE ENGINEER'S GUIDANCE OR FROM ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES OR CONFLICTS WHICH ARE ALLEGED.

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No. REVISIONS BY DATE

**LICENCED PROFESSIONAL ENGINEER**  
 M. BASNET  
 100501996  
 2023/10/23  
 PROVINCE OF ONTARIO

NOT AUTHENTIC UNLESS SIGNED AND DATED

**LRJ**  
 ENGINEERING | INGENIERIE  
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 www.lrl.ca | (613) 842-3434

CLIENT: LANDRIC HOMES INC.

DESIGNED BY: T.H. DRAWN BY: T.H. APPROVED BY: M.B.

PROJECT: PROPOSED 42 UNITS RESIDENTIAL DEVELOPMENTS 3040-3044 INNES RD, OTTAWA ON

DRAWING TITLE: CONSTRUCTION DETAIL PLAN

PROJECT NO: 210374  
 DATE: OCTOBER, 2023  
**C901**