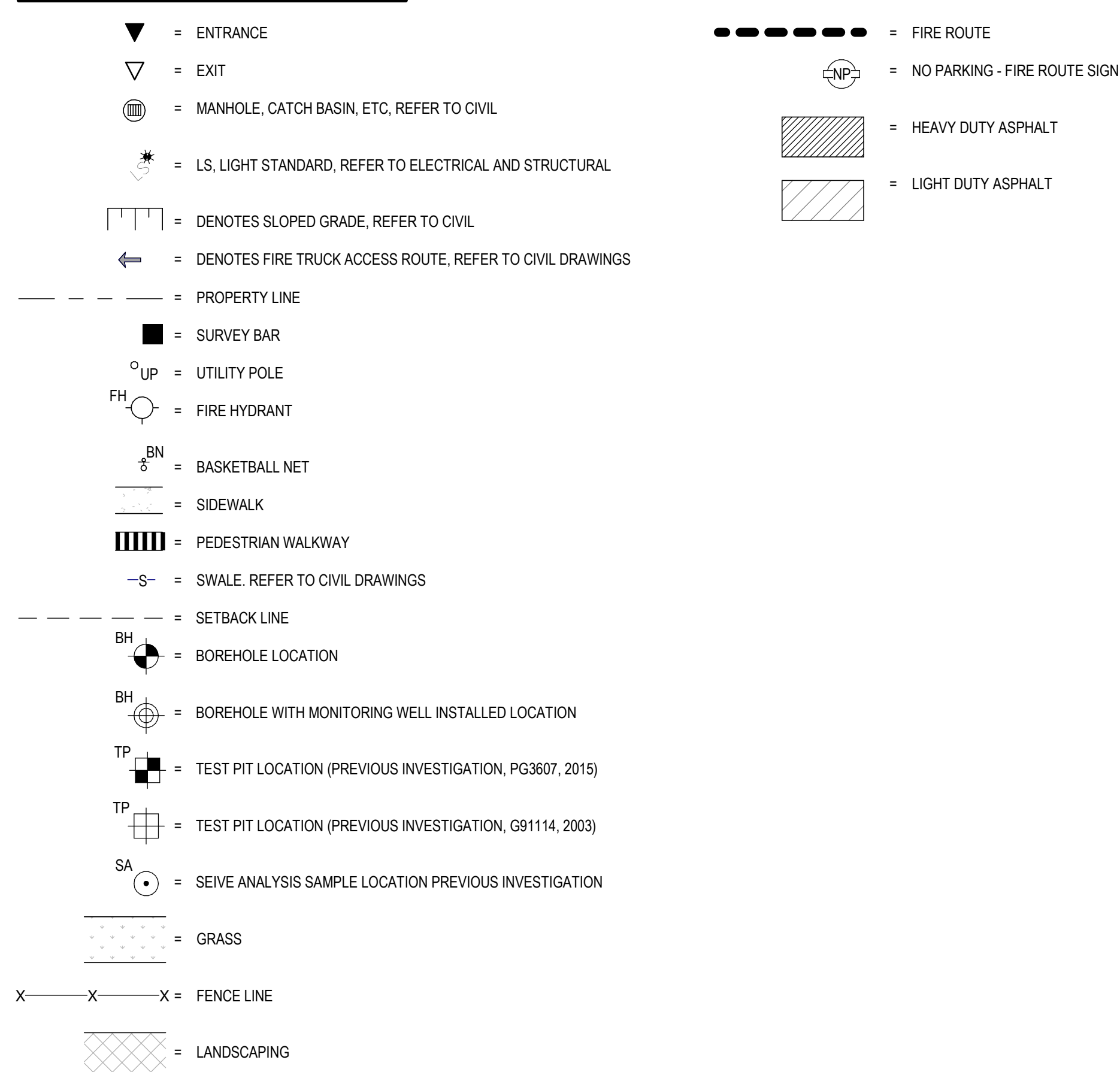


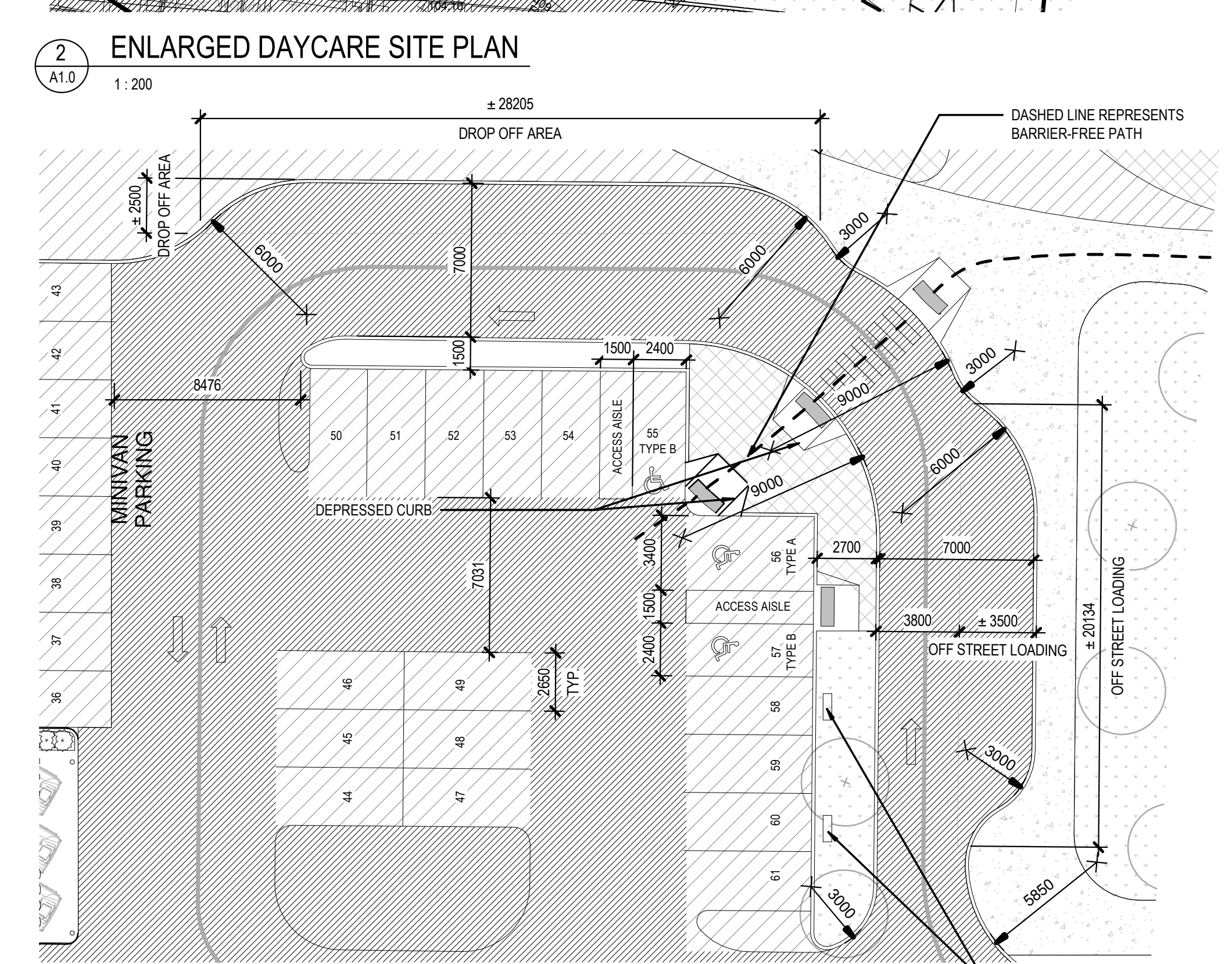
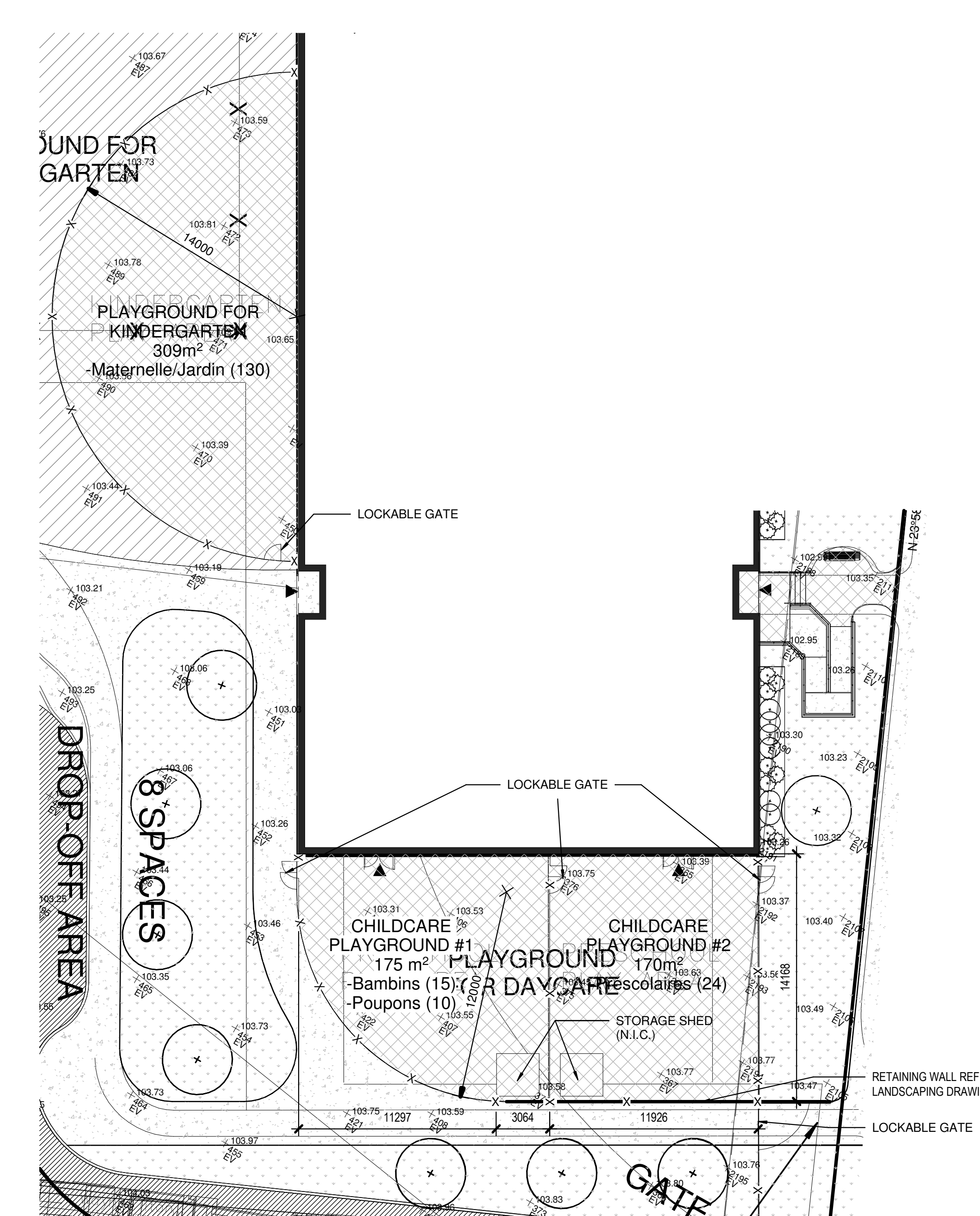
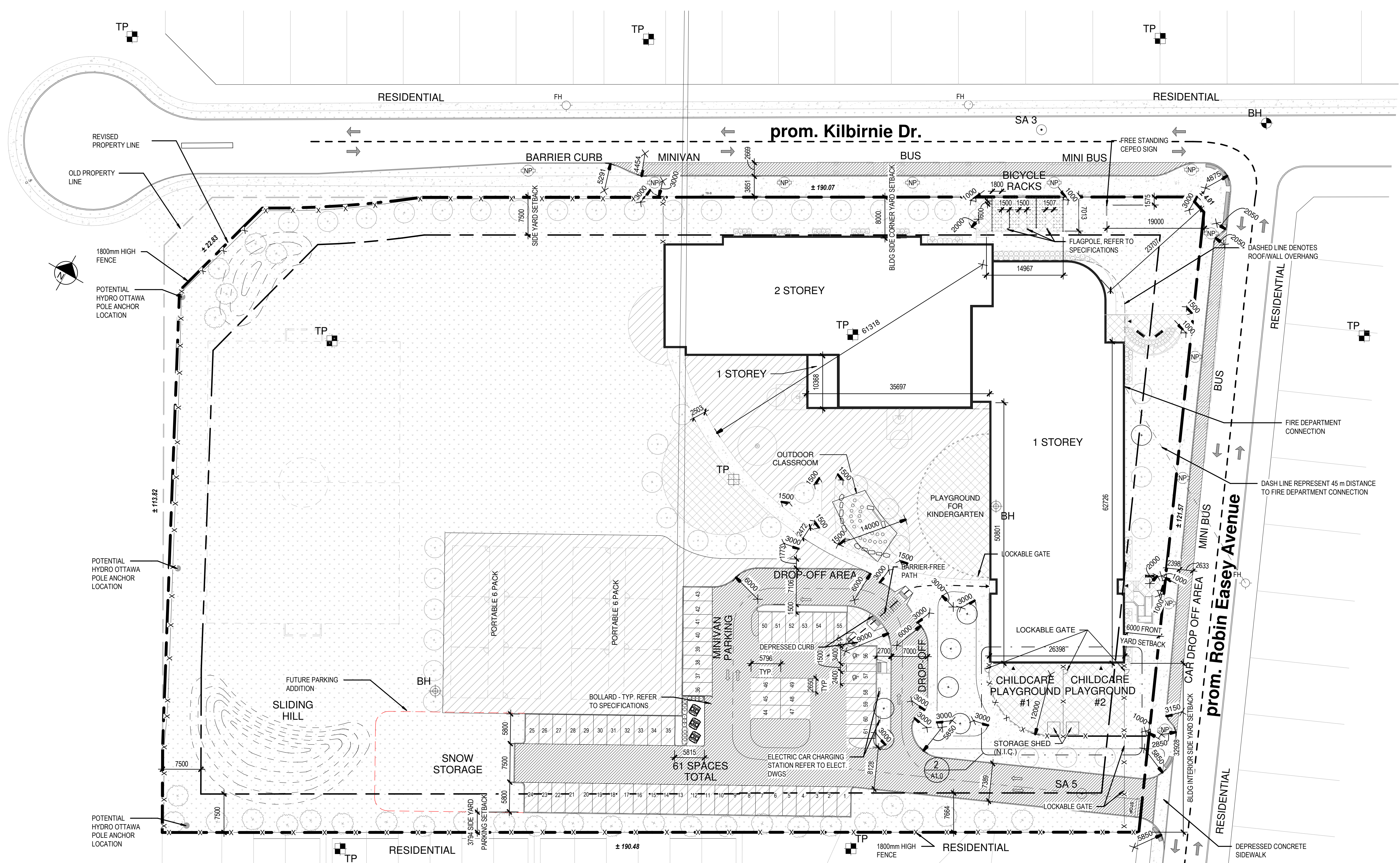
**SITE PLAN SYMBOLS LEGEND**



**GENERAL SITE PLAN NOTES**

- 0BC 3.2.5.5 (1) LOCATION OF ACCESS ROUTES  
ACCESS ROUTES REQUIRED BY ARTICLE 3.2.5.4 SHALL BE LOCATED SO THAT THE PRINCIPLE ENTRANCE AND EVERY ACCESS OPENING REQUIRED BY ARTICLE 3.2.5.1 AND 3.2.5.2 ARE LOCATED NOT LESS THAN 3M AND NOT MORE THAN 15M FROM THE CLOSEST PORTION OF THE ACCESS ROUTE REQUIRED FOR FIRE DEPARTMENT USE, MEASURED HORIZONTALLY FROM THE FACE OF THE BUILDING.
- 0BC 3.2.5.6 (1) ACCESS ROUTE DESIGN  
A PORTION OF A ROADWAY OR YARD PROVIDED AS A REQUIRED ACCESS ROUTE FOR FIRE DEPARTMENT USE SHALL: (a) HAVE A CLEAR WIDTH OF NOT LESS THAN 3M, UNLESS IT CAN BE SHOWN THAT LESSER WIDTHS ARE SATISFACTORY; (b) HAVE A CENTERLINE RADIUS NOT LESS THAN 12M; (c) HAVE AN OVERHEAD CLEARANCE OF NOT LESS THAN 5M; (d) HAVE A CHANGE OF GRADIENT NOT MORE THAN 1 IN 12.5 OVER A MINIMUM DISTANCE OF 15M; (e) BE DESIGNED TO SUPPORT THE EXPECTED LOADS IMPOSED BY FIRE FIGHTING EQUIPMENT AND BE SURFACED WITH CONCRETE, ASPHALT OR OTHER MATERIAL DESIGNED TO PERMIT ACCESSIBILITY UNDER ALL CLIMATIC CONDITIONS.
- PROVIDE 75mm THK H40 UNDER ALL EXTERIOR CONCRETE SIDEWALKS AT ALL ENTRANCES/EXITS. EXTEND RIGID INSULATION MIN 120 PAST THE EDGE OF CONCRETE SIDEWALKS.
- FOR CONCRETE SIDEWALK EXPANSION AND CONTRACTION JOINTS, REFER TO CIVIL DETAIL AND SPECIFICATIONS.
- REFER TO LANDSCAPING PLAN AND CIVIL PLANS FOR LOCATION OF SOIL. ALL REMAINING AREAS NOT SLATED FOR SOIL TO RECEIVE TOPSOIL AND SEED.
- REFER TO CIVIL DRAWINGS FOR LOCATIONS OF FIRE ROUTE SIGNAGE.
- REFER TO CIVIL DRAWINGS FOR TACTILE INDICATORS.
- ALL CURBS ADJACENT TO PARKING AREAS AND CURBS FORMING PART OF SIDEWALKS ADJACENT TO PARKING AREAS TO BE PAINTED YELLOW.
- ENSURE FINAL PLACEMENT OF FIRE DEPARTMENT CONNECTION IS NOT MORE THAN 45m FROM THE NEAREST FIRE HYDRANT AS PER OBC 3.2.5.16 (2).
- LEGAL SURVEY BOUNDARIES AND TOPOGRAPHICAL INFORMATION TAKEN FROM TOPOGRAPHICAL PLAN OF SURVEY, BLOCK 261, REGISTERED PLAN 48-1858, DATED JULY 16, 2021, FROM THE OFFICE OF ANNS, O'SULLIVAN, VOLLEBEK LTD. (O.S.), JOB NO. 21607-21.

TYPE OF BUILDING OR USE		SITE AND PARKING INFORMATION		PARKING CALCULATION	
SCHOOL (GROUP A-2 OCCUPANCY)				20 CLASSROOMS X 1.5 = 30 2 PER 100m² OF DAYCARE GROSS FLOOR AREA (300m²) = 12 PORTABLES X 1.5 = 18 TOTAL PARKING PROVIDED = 55 TOTAL PARKING REQUIRED = 58 BARRIER-FREE PARKING SPACES REQUIRED = 3 BARRIER-FREE PARKING SPACES PROVIDED = 3 TOTAL PARKING PROVIDED = 61	
ZONING = I1A / R3YY - MINOR INSTITUTIONAL, SUBZONE A / RESIDENTIAL THIRD DENSITY, SUBZONE YY	REQUIREMENT	PROPOSED	FIRE TRUCK ACCESS ROUTE IS FROM COUNTY ROAD KILBIRNIE DRIVE AND SHALL CONFORM TO OBC 2012 - 3.2.5.4, 3.2.5.5 AND 3.2.5.6		
MINIMUM LOT AREA, SEC. 170, TABLE 170A (a)	400m²	24,309m²	THE GFA FOR THE SCHOOL IS AS FOLLOWS: FIRST FLOOR = 3,329 m² (EXCLUDING DAYCARE) DAYCARE = 300 m² TOTAL BUILDING FOOTPRINT = 3,689 m² + SECOND FLOOR = 1,092 m² TOTAL AREA = 4,781 m²		
MINIMUM LOT FRONTAGE, SEC. 170, TABLE 170A (a)	15.0m	± 121.57m	SITE AREA = 24,333m²		
MINIMUM FRONT YARD, R3YY(25/7) IN ACCORDANCE WITH SECTION 269(a))	3.75m	6.0m	PARCEL IDENTIFICATION NUMBER		
MINIMUM REAR YARD, SEC. 170, TABLE 170A (d)	7.5m	± 97.62m	PIN 0492-2105.853m³		
MINIMUM EXTERIOR SIDE YARD:	NO REQUIREMENT	-	BUILDING AREA		
MINIMUM INTERIOR SIDE YARD, SEC. 170, TABLE 170A (e)	7.5m	32.75m	SITE AREA = 24,333m²		
MINIMUM CORNER SIDE YARD, SEC. 170, TABLE 170A (f)	4.5m	8.01m	PARCEL IDENTIFICATION NUMBER		
MINIMUM LANDSCAPED OPEN SPACE	NO REQUIREMENT	50% WITH PARKING LOT	PIN 0492-2105.853m³		
MAXIMUM LOT COVERAGE	NO REQUIREMENT	152% LOT COVERAGE	BUILDING AREA		
PERCENTAGE OF TOTAL SITE OCCUPIED BY VEGETATION AND LANDSCAPING	NO REQUIREMENT	76% SITE OCCUPIED	SITE AREA = 24,333m²		
MAXIMUM BUILDING HEIGHT, SEC. 170, TABLE 170A (g)	15.0m	8.7m	PARCEL IDENTIFICATION NUMBER		
MINIMUM REQUIRED PARKING, SEC. 101, TABLE 101	1.5 PER CLASSROOM (w/ PORTABLES); DAYCARE - 2 PER 100 m² OF GFA = 58	58	PIN 0492-2105.853m³		
MINIMUM REQ. WIDTH OF A LANDSCAPED BUFFER FOR PARKING LOT, SEC. 110, TABLE 110(a)	3.0m	3.1m	BUILDING AREA		
MINIMUM NUMBER OF BARRIER-FREE PARKING SPACES, BY-LAW NO. 2017-301, SECTION 111	NO. OF REGULAR PARKING SPACES - MIN NO. OF ACCESSIBLE PARKING SPACES - 3 51 - 75 SPACES - 3	3, INCLUDING: 1 TYPE A SPACE 2 TYPE B SPACES SEE CALCULATION ABOVE	SITE AREA = 24,333m²		
MINIMUM NUMBER OF BICYCLE PARKING SPACES, SEC. 111, TABLE 111A (d)	SCHOOL: 1 PER 100m² OF GFA OFFICE: 4421 / 100 = 44.21 ROUNDED TO 45 DAY CARE: 1 PER 250m² OF GFA = 30 250 = 1.44 ROUNDED TO 2 TOTAL: 47	50	PARCEL IDENTIFICATION NUMBER		
BICYCLE PARKING DIMENSIONS, SEC. 111, TABLE 111B	HORIZONTAL: 0.6m by 1.8m	HORIZONTAL: 0.6m by 1.8m	PIN 0492-2105.853m³		



**1 GENERAL SITE PLAN**  
1:400

**2 ENLARGED DAYCARE SITE PLAN**  
1:200

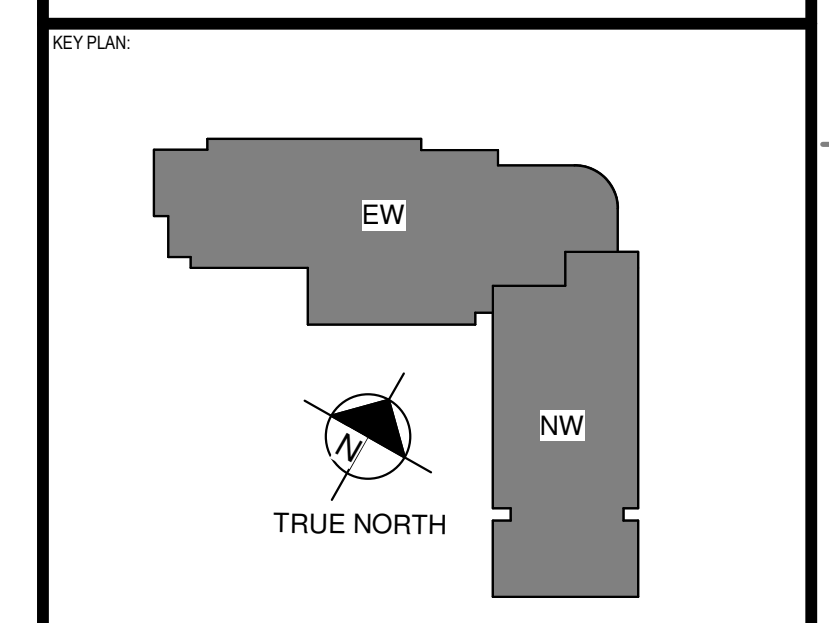
**3 ENLARGED DROP OFF PLAN**  
1:200

1345 ROSEMOUNT AVENUE  
CORNWALL, ONTARIO, CANADA, K6J 5E5  
PHONE: (613) 933-0044 | FAX: (613) 936-0335 | WWW.ARCHITECTURE49.COM

300-2611 QUEENSWAY DRIVE  
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Conseil des écoles publiques de l'Est de l'Ontario

**CENTRE ÉDUCATIF DE BARRHAVEN-MANOTICK**  
1045 ROBIN EASEY AVENUE,  
NEPEAN, ON, K2J 6S3



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DIMENSIONS NOT TO SCALE.

NO.	DATE	DESCRIPTION
13	02 SEP 2022	UPDATED PER CITY COMMENTS
12	22 JUL 2022	SITE PLAN CONTROL
10	07 JUL 2022	ISSUED FOR SITE PLAN CONTROL
9	16 JUN 2022	A49 ADDENDUM 1
8	31 MAR 2022	ISSUED FOR SITE PLAN CONTROL
7	21 MAR 2022	ISSUED FOR BID AND PERMIT
6	14 JAN 2022	ISSUED FOR 99% CD REVIEW
5	18 NOV 2021	ISSUED FOR 65% CD REVIEW
3	24 SEP 2021	ISSUED FOR 60% CD REVIEW
2	27 AUG 2021	RE-ISSUED FOR 30% CD REVIEW
1	04 AUG 2021	30% CD REVIEW

PROJECT NO: 219-00014-01  
DATE: SEP 2022  
FORMAL SCALE: As indicated  
DESIGNED BY: JC  
DRAWN BY: NMJ/SD/AS  
CHECKED BY: HMG  
DISCIPLINE: ARCHITECTURAL  
TITLE: GENERAL SITE PLAN  
SHEET NUMBER: A1.0  
SHEET: 13  
DATE OF: 2 SEP 2022

**D07-12-22-0060**  
**Plan #18739**