

CONSULTANT - SUB-CONSULTANT:

SEAL:

CLIENT:



CLIENT REF. #:

PROJECT:

ÉCOLE ÉLÉMENTAIRE
BARRHAVEN-MANOTICK

KEY PLAN:

COPYRIGHT:

COPYRIGHT IN THIS ELECTRONIC DOCUMENT BELONGS TO ARCHITECTURE49 INC. THIS ELECTRONIC DOCUMENT MAY NOT BE FORWARDED TO OTHERS, TRANSMITTED, DOWNLOADED, OR REPRODUCED IN ANY FORMAT, WHETHER PRINT OR ELECTRONIC, WITHOUT THE EXPRESS WRITTEN PERMISSION OF THE COPYRIGHT OWNER.

DISCLAIMER:

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND UTILITY LOCATIONS AND REPORT ALL ERRORS AND OMISSIONS PRIOR TO COMMENCING WORK. THIS DRAWING IS NOT TO BE SCALED.

ISSUED FOR - REVISION:

IS.	RV.	DATE	DESCRIPTION
-	12	21 SEP 2022	REISSUED FOR SITE PLAN CONTROL
-	11	02 SEP 2022	UPDATED PER CITY COMMENTS
-	10	22 JUL 2022	REISSUED FOR SITE PLAN CONTROL
-	9	18 JUL 2022	REISSUED FOR SPA
-	8	14 JUL 2022	ISSUED FOR ADDENDUM #3
-	7	30 JUN 2022	ISSUED FOR ADDENDUM #3
-	6	21 MAR 2022	ISSUED FOR BID AND PERMIT
-	5	14 JAN 2022	99% CD REVIEW
-	4	19 NOV 2021	85% CD REVIEW
-	3	24 SEP 2021	60% CD REVIEW
-	2	27 AUG 2021	RE-ISSUED FOR 30% CD REVIEW
-	1	04 AUG 2021	30% CD REVIEW

PROJECT NO: 219-00014-00 DATE: MARCH 2022

ORIGINAL SCALE: - IF THIS BAR IS NOT 25 mm LONG, ADJUST YOUR PLOTTING SCALE.

DESIGNED BY: AH

DRAWN BY: SG

CHECKED BY: AH

DISCIPLINE: LANDSCAPE

TITLE: SITE PLAN

SHEET NUMBER: L100

ISSUE: - OF - REV. # 0

DATE OF: -

LEGEND:

- CONCRETE SIDEWALK
- UNIT PAVERS
- LIGHT DUTY ASPHALT PAVING
- HEAVY DUTY ASPHALT PAVING
- SODDED AREA
- PLANTING BED
- ENGINEERED WOOD FIBER
- PROPERTY LINE
- 1.8m HT WOODSCREEN FENCE
- 1.2m HT CHAINLINK FENCE
- CONTOUR LINE
- ENLARGEMENT BOUNDARY
- DECIDUOUS TREE
- CONIFEROUS TREE
- CONIFEROUS SHRUB
- PERENNIAL GRASS
- DETAIL CALLOUT
- PLANT KEY
- NUMBERED PLANTS
- PLANT SPECIES, REFER TO PLANT LIST
- SCOPE OF WORK LINE

SITE INFORMATION:

LEGAL DESCRIPTION:
BLOCK 261 REGISTERED PLAN
4M-1656, CITY OF OTTAWA

BEARINGS ARE GRID, DERIVED FROM REGISTERED PLAN 4M-1656 AND ARE REFERRED TO THE CENTRAL MERIDIAN OF MIN. ZONE 9 (79°00' WEST LONGITUDE) NAD-83 (ORIGINAL).

EASEMENTS:
NONE

MUNICIPAL ADDRESS:
989 KILBIRNIE DR

SITE AREA:
28,337m² (305,022.9 FT²)

BUILDING AREA:
3,303.07m² (40,935.99 FT²)

MAX. BUILDING HEIGHT:
18m (59'-4")

ZONING INFORMATION:

ZONING:
MINOR INSTITUTIONAL ZONE (I1B)

PROPOSED LOT COVERAGE:
NO REQUIREMENT

SETBACKS:
MIN. FRONT YARD: 6.50m (REQ. 6m)
MIN. REAR YARD: 9.75m (REQ. 7.5m)
MIN. CORNER SIDE YARD: 3.25m (REQ. 7.5m)
MIN. EXT. SIDE YARD: NO REQUIREMENT

MIN. LANDSCAPED OPEN SPACE:
NO REQUIREMENT

MIN. LANDSCAPED BUFFER FOR PARKING:
3m (REQ. 3m)

PARKING REQUIREMENTS:

1. SCHOOL, ELEMENTARY (SEC. 101, TABLE 1010, NB1):
1.5 PER CLASSROOM (INCLUDING PORTABLES, ADMIN, CHILDCARE) = 55 SPACES REQ. 61 PROVIDED

2. ACCESSIBLE PARKING REQ. (BY-LAW NO. 2017-301, SECTION 111):
= 1 TYPE A SPOT REQ. 2 PROVIDED

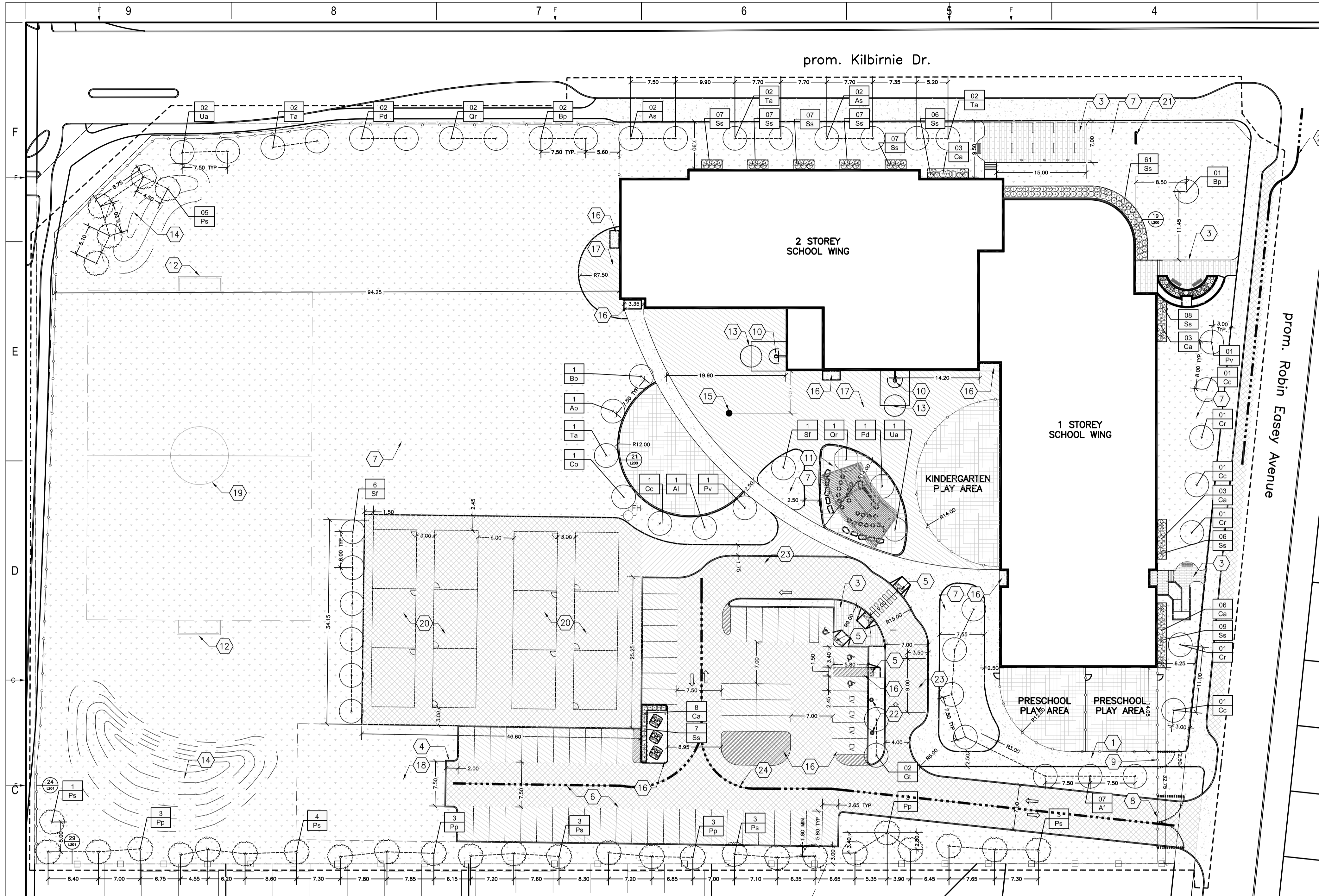
BICYCLE PARKING:
SCHOOL: 1 PER 100m² OF GROSS FLOOR AREA = 47.41 REQ. DAY CARE: 1 PER 250m² GFA = 1.3 REQ. = 48 SPACES REQ. 56 PROVIDED

LAYOUT NOTES:

1. CONTRACTOR TO CONFIRM ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO CONTRACTOR ADMINISTRATOR PRIOR TO CONSTRUCTION
2. LAYOUT TO BE APPROVED BY CONTRACT ADMINISTRATOR PRIOR TO ANY CONSTRUCTION OR REMOVALS
3. ALL DIMENSIONS ARE IN METRIC UNLESS OTHERWISE NOTED
4. CONTRACTOR IS RESPONSIBLE FOR ALL EXCAVATIONS, REMOVALS, DISPOSALS AND ROUGH GRADING AS REQUIRED TO CONSTRUCTION ALL WORKS AS SHOWN ON PLANS, DETAILS AND SPECIFICATIONS
5. LOCATION OF ALL UTILITIES SHOWN FOR ILLUSTRATION ONLY. CONTRACTOR MUST CONTACT ALL UTILITIES REGARDING RULES FOR WORKING IN THE AREA OF THE UTILITIES PRIOR TO COMMENCEMENT OF ANY WORK. CONTRACTOR MUST CONFIRM LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION
6. ALL EXISTING ROADS, SIDEWALKS, CURBS, FENCING, PAVING, SODDED RIGHT-OF-WAY AND APPROACHES, ETC. TO REMAIN TO BE PROTECTED DURING CONSTRUCTION TO THE CITY OF OTTAWA STANDARDS AT THE CONTRACTORS OWN COSTS.
7. ALL EXISTING TREES, SHRUB BEDS, MULCH BEDS, AND SOD TO REMAIN TO BE PROTECTED DURING CONSTRUCTION TO CITY OF OTTAWA AREAS DAMAGED DURING CONSTRUCTION TO BE REPAIRED TO CITY OF OTTAWA STANDARDS AT THE CONTRACTORS OWN COST.
8. CONTRACTOR TO LAYOUT PARKING AREAS TO ACHIEVE REQUIRED NUMBER OF STALLS IN EACH ROW. STALLS ARE 2650mm BY 5500mm DEEP (UNLESS OTHERWISE NOTED). CONTRACTOR TO REPORT ANY DISCREPANCIES TO CONTRACT ADMINISTRATOR PRIOR TO CONSTRUCTION.
9. PARKING LOT ROWS TO BE LAID OUT PARALLEL TO BUILDING FACE. CONTRACTOR TO STAKE OUT PARKING ROWS AND ISLANDS FOR REVIEW AND APPROVAL BY PROJECT LANDSCAPE ARCHITECT PRIOR TO EXCAVATION.
10. USE SPECIFIED BACKFILL IN ALL TRENCHES RUNNING BELOW ALL STRUCTURES, PAVING, WALKWAYS, ETC.
11. REFER TO PLANTING PLAN L103 FOR LAYOUT OF ALL SHRUB BEDS AND TREES.
12. ALL PAINTED PAVEMENT MARKING AND SIGNS SHOWN, WITHIN LIMIT OF WORK & AS NOTED ON PLANS, TO BE INCLUDED IN WORK UNDER THIS CONTRACT.

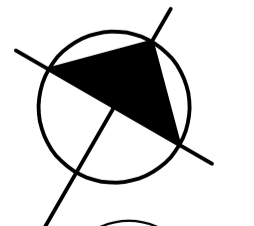
KEYNOTES:

1. CONCRETE SIDEWALK. REFER TO DETAIL 10/L200
2. ASPHALT SIDEWALK. REFER TO DETAIL 11/L200
3. UNIT PAVING ON CONCRETE BASE. REFER TO DETAIL 12/L200
4. 150mm HT CONCRETE CURB. REFER TO DETAIL 15/L200
5. SIDEWALK RAMP WITH TACTILE WARNING SURFACE INDICATOR (TWS) TO CITY OF OTTAWA CONSTRUCTION STANDARDS
6. ASPHALT PARKING LOT (61 STALLS, INCLUDING 2 TYPE A ACCESSIBLE STALLS)
7. SODDED AREA. REFER TO DETAIL 13/L200
8. NEW VEHICLE GATE. REFER TO DETAIL 28/L201
9. NEW PEDESTRIAN GATE. REFER TO DETAIL 25/L201
10. WALL MOUNTED BASKETBALL HOOP AND BACKBOARD. REFER TO DETAIL 27/L201
11. OUTDOOR CLASSROOM. REFER TO ENLARGEMENT 4, L104
12. NEW MINI-SOCCER GOALS
13. LINE PAINTING. REFER TO SPECIFICATIONS.
14. SODDED BERM. REFER TO CIVIL GRADING PLAN.
15. TRIPLE HOOP AND POST
16. STRUCTURAL CONCRETE PAD.
17. ASPHALT PAVING. REFER TO CIVIL GRADING PLAN.
18. FUTURE PARKING EXPANSION
19. SOCCER FIELD LINES FOR SPATIAL LAYOUT PURPOSES ONLY, NOT TO BE PAINTED
20. SPACING FOR FUTURE PORTABLE CLASSROOMS
21. EXTERIOR FREE STANDING SIGN
22. ELECTRIC VEHICLE CHARGING STATION
23. LOADING SPACE
24. FIRE ROUTE



PLANT LIST:

KEY	QTY	BOTANICAL NAME	COMMON NAME	SPACING (mm) (75%)	SIZE	COMMENTS
TREES - Deciduous						
As	4	<i>Acer saccharum</i> 'Endowment'	Endowment Sugar Maple	as shown	65mm Cal. B&B	TREES TO BE BALL & BURLAP. SOURCED IN SAME GROWING ZONE. ALL TREES SHOULD HAVE 5 TO 7 MAIN BRANCHES WITH DOMINANT LEADER BRANCH AND WITHOUT DEFECT. MIN ROOT ZONE VOLUME PER TREE: 30 CU. M.
Gt	2	<i>Gleditsia triacanthos</i> 'Draves'	Street Keeper Honeylocust	as shown	75mm Cal. B&B	
Al	7	<i>Acer x freemanii</i> 'Armstrong Gold'	Armstrong Gold Maple	as shown	75mm Cal. B&B	
Bp	4	<i>Betula pendula</i> 'Dalecarlia'	Cutebve Weeping Birch	as shown	75mm Cal. B&B	
Ta	7	<i>Tilia americana</i>	American Linden / Lime Tree	as shown	75mm Cal. B&B	
Ap	1	<i>Acer platanoides</i> 'Drummondii'	Halequon Norway Maple	as shown	75mm Cal. B&B	
Al	1	<i>Amelanchier laevis</i>	Amelanchier Serviceberry	as shown	50mm Cal. B&B	
Co	1	<i>Celtis occidentalis</i>	Common Hackberry	as shown	75mm Cal. B&B	
Qr	3	<i>Quercus rubra</i>	Red Oak	as shown	75mm Cal. B&B	
Ua	3	<i>Ulmus americana</i>	American Elm	as shown	75mm Cal. B&B	
Pv	2	<i>Malus 'Spring Snow'</i>	Spring Snow Flowering Crabapple	as shown	50mm Cal. B&B	
Pd	3	<i>Populus deltoides</i>	Plains Cottonwood	as shown	75mm Cal. B&B	
Sf	7	<i>Sorbus x hybrida</i> 'Fastigiata'	Columbar Oakleaf Mountain Ash	as shown	75mm Cal. B&B	
Cc	4	<i>Cercis canadensis</i>	Eastern Redbud	as shown	75mm Cal. B&B	
Cr	3	<i>Crataegus x mordenensis</i> 'Snowbird'	Snowbird Hawthorn	as shown	50mm Cal. B&B	
TREES - Coniferous						
Pp	12	<i>Picea pungens</i> 'Fastigiata'	Colorado Blue Spruce	as shown	180mm HT. B&B	TREES TO BE BALL & BURLAP. SOURCED IN SAME GROWING ZONE. ALL TREES SHOULD HAVE 5 TO 7 MAIN BRANCHES WITH DOMINANT LEADER BRANCH AND WITHOUT DEFECT. MIN ROOT ZONE VOLUME PER TREE: 30 CU. M.
Ps	19	<i>Pinus strobus</i>	White Pine	as shown	180mm HT. B&B	
SHRUBS - Coniferous						
Ss	119	<i>Juniperus sabina</i> 'Skandia'	Skandia Juniper	900	2 gal.	SHRUBS TO BE IN POTS. SOURCED IN SAME GROWING ZONE. ALL SHRUBS SHOULD HAVE DENSE GROWTH, WELL ROOTED AND WITHOUT DEFECT. MIN ROOT ZONE VOLUME PER SHRUB: 5 CU. M.
SHRUBS - Deciduous						
Ca	15	<i>Cornus alba</i> 'Little Rebel'	Little Rebel Dogwood	900	2 gal.	SHRUBS TO BE IN POTS. SOURCED IN SAME GROWING ZONE. ALL SHRUBS SHOULD HAVE DENSE GROWTH, WELL ROOTED AND WITHOUT DEFECT. MIN ROOT ZONE VOLUME PER SHRUB: 5 CU. M.
PERENNIALS						
Ep	13	<i>Echinacea purpurea</i> 'PowWow White'	PowWow White Coneflower	450	2 gal.	PERENNIALS TO BE IN POTS. SOURCED IN SAME GROWING ZONE. ALL PERENNIALS SHOULD HAVE DENSE GROWTH, WELL ROOTED AND WITHOUT DEFECT. MIN ROOT ZONE VOLUME PER SHRUB: 5 CU. M.
Am	14	<i>Achillea millefolium</i> 'Crispe Queen'	Crispe Queen Yarrow	450	2 gal.	
Rg	27	<i>Rudbeckia 'Goldquelle'</i>	Goldquelle Coneflower	300	2 gal.	
Ab	21	<i>Armeria maritima</i> 'Bloodstone'	Armeria maritima 'Bloodstone'	300	2 gal.	
Pb	12	<i>Hemerocallis 'Prairie Belle'</i>	Prairie Belle Daylily	750	2 gal.	



1 SITE PLAN
L100 1:400

LEGEND:

- CONCRETE SIDEWALK
- UNIT PAVERS
- LIGHT DUTY ASPHALT PAVING
- HEAVY DUTY ASPHALT PAVING
- SODDED AREA
- PLANTING BED
- ENGINEERED WOOD FIBER SAFETY SURFACE
- PROPERTY LINE
- 1.8m HT WOODSCREEN FENCE
- 1.2m HT CHAINLINK FENCE
- CONTOUR LINE
- ENLARGEMENT BOUNDARY
- DECIDUOUS TREE
- CONIFEROUS TREE
- CONIFEROUS SHRUB
- PERENNIAL GRASS
- DETAIL CALLOUT

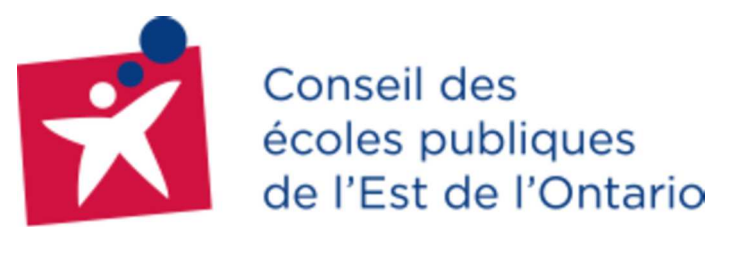
LAYOUT NOTES:

1. CONTRACTOR TO CONFIRM ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO CONTRACT ADMINISTRATOR PRIOR TO CONSTRUCTION.
2. LAYOUT TO BE APPROVED BY CONTRACT ADMINISTRATOR PRIOR TO ANY CONSTRUCTION OR REMOVALS.
3. ALL DIMENSIONS ARE IN METRIC UNLESS OTHERWISE NOTED.
4. CONTRACTOR IS RESPONSIBLE FOR ALL EXCAVATIONS, REMOVALS, DISPOSALS AND ROUGH GRADING AS REQUIRED TO CONSTRUCT. ALL WORKS AS SHOWN ON ALL PLANS, DETAILS AND SPECIFICATIONS.
5. LOCATION OF ALL UTILITIES SHOWN FOR ILLUSTRATION ONLY. CONTRACTOR MUST CONTACT ALL UTILITIES REGARDING TIES FOR WORKING IN THE AREA OF THE UTILITIES PRIOR TO ANY WORK. CONTRACTOR MUST CONFIRM LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.
6. ALL EXISTING ROADS, SIDEWALKS, CURBS, FENCING, PAVING, SODDED RIGHT-OF-WAY, AND APPROACHES, ETC. TO REMAIN TO BE PROTECTED DURING CONSTRUCTION TO THE CITY OF OTTAWA STANDARDS AT THE CONTRACTOR'S OWN COSTS.
7. ALL EXISTING TREES, SHRUB BEDS, MULCH BEDS, AND SOO TO REMAIN TO BE PROTECTED DURING CONSTRUCTION TO CITY OF OTTAWA STANDARDS AT THE CONTRACTOR'S OWN COST.
8. CONTRACTOR TO LAYOUT PARKING AREAS TO ACHIEVE REQUIRED NUMBER OF STALLS IN EACH ROW. STALLS ARE 2650mm BY 5620mm DEEP (UNLESS OTHERWISE NOTED). CONTRACTOR TO REPORT ANY DISCREPANCIES TO CONTRACT ADMINISTRATOR PRIOR TO CONSTRUCTION.
9. PARKING LOT ROWS TO BE LAID OUT PARALLEL TO BUILDING FACE. CONTRACTOR TO STAKE OUT PARKING ROWS AND SPACES FOR REVIEW AND APPROVAL BY PROJECT LANDSCAPE ARCHITECT PRIOR TO EXCAVATION.
10. USE SPECIFIED BACKFILL IN ALL TRENCHES INCLUDING BELOW ALL STRUCTURES, PAVING, WALKWAYS, ETC.
11. REFER TO PLANTING PLAN L103 FOR LAYOUT OF ALL SHRUB BEDS AND TREES.
12. ALL PAINTED PAVEMENT MARKING AND SIGNS SHOWN WITHIN LIMIT OF WORK & AS NOTED ON PLANS, TO BE INCLUDED IN WORK UNDER THIS CONTRACT.

KEYNOTES:

1. CONCRETE SIDEWALK. REFER TO DETAIL 10/L200
2. ASPHALT SIDEWALK. REFER TO DETAIL 11/L200
3. UNIT PAVING ON CONCRETE BASE. REFER TO DETAIL 12/L200
4. 150mm HT CONCRETE CURB. REFER TO DETAIL 15/L200
5. SIDEWALK RAMP WITH TACTILE WARNING SURFACE INDICATOR (TWO) TO CITY OF OTTAWA CONSTRUCTION STANDARDS
6. ASPHALT PARKING LOT (61 STALLS, INCLUDING 2 TYPE A ACCESSIBLE STALLS)
7. SODDED AREA. REFER TO DETAIL 13/L200
8. NEW VEHICLE GATE. REFER TO DETAIL 28/L201
9. NEW PEDESTRIAN GATE. REFER TO DETAIL 29/L201
10. WALL MOUNTED BASKETBALL HOOP AND BACKBOARD. REFER TO DETAIL 27/L201
11. OUTDOOR CLASSROOM. REFER TO ENLARGEMENT 4, L104
12. NEW MINI-SOCCER GOALS
13. LINE PAINTING. REFER TO SPECIFICATIONS.
14. SODDED BERM. REFER TO CIVIL GRADING PLAN.
15. TRUNK HOOP AND POST
16. STRUCTURAL CONCRETE PAD.
17. ASPHALT PAVING. REFER TO CIVIL.
18. FUTURE PARKING EXPANSION
19. SOCCER FIELD LINES FOR SPATIAL LAYOUT PURPOSES ONLY, NOT TO BE PAINTED
20. SPACING FOR FUTURE PORTABLE CLASSROOMS
21. EXTERIOR FREE STANDING SIGN
22. ELECTRIC VEHICLE CHARGING STATION
23. LOADING SPACE
24. FIRE ROUTE

CLIENT REF: # --
PROJECT: --
DATE: --



ÉCOLE ÉLÉMENTAIRE BARRHAVEN-MANOTICK

KEY PLAN

NO.	DATE	DESCRIPTION
11	21 SEP 2022	REISSUED FOR SITE PLAN CONTROL
10	02 SEP 2022	UPDATED PER CITY COMMENTS
9	23 JUL 2022	REISSUED FOR SITE PLAN CONTROL
8	14 JUL 2022	ISSUED FOR ADDENDUM #6
7	30 JUN 2022	ISSUED FOR ADDENDUM #5
6	21 MAR 2022	ISSUED FOR BID AND PERMIT
5	14 JAN 2022	99% CD REVIEW
4	19 NOV 2021	85% CD REVIEW
3	24 SEP 2021	63% CD REVIEW
2	27 AUG 2021	RE-ISSUED FOR 30% CD REVIEW
1	04 AUG 2021	30% CD REVIEW

COPYRIGHT: THIS ELECTRONIC DOCUMENT BELONGS TO ARCHITECTURE49 INC. THE ELECTRONIC DOCUMENT IS HEREBY FORWARDED TO YOU WITHOUT WARRANTIES OR CONDITIONS OF ANY KIND, EITHER PRINT OR ELECTRONIC, WITHOUT THE EXPRESS WRITTEN PERMISSION OF THE COPYRIGHT OWNER.

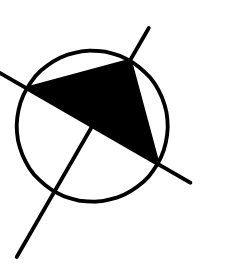
DISCLAIMER: THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND UTILITY LOCATIONS AND REPORT ALL ERRORS AND OMISSIONS PRIOR TO COMMENCING WORK. THE ENGINEER IS NOT TO BE LIABLE.

ISSUED FOR: REVISION

NO.	DATE	DESCRIPTION
11	21 SEP 2022	REISSUED FOR SITE PLAN CONTROL
10	02 SEP 2022	UPDATED PER CITY COMMENTS
9	23 JUL 2022	REISSUED FOR SITE PLAN CONTROL
8	14 JUL 2022	ISSUED FOR ADDENDUM #6
7	30 JUN 2022	ISSUED FOR ADDENDUM #5
6	21 MAR 2022	ISSUED FOR BID AND PERMIT
5	14 JAN 2022	99% CD REVIEW
4	19 NOV 2021	85% CD REVIEW
3	24 SEP 2021	63% CD REVIEW
2	27 AUG 2021	RE-ISSUED FOR 30% CD REVIEW
1	04 AUG 2021	30% CD REVIEW

PROJECT NO.	DATE
219-0010401	MARCH 2022

DESIGNED BY:	AH	IF THIS DRAWING IS NOT TO BE USED, PLEASE PRINT THE ORIGINAL DRAWING.
DRAWN BY:	SG	
CHECKED BY:	AH	
DISCIPLINE:	LANDSCAPE	
TITLE:	MATERIALS PLAN	
SHEET NUMBER:	L101	
SHEET #	01	
DATE OF --	0	



1 MATERIALS PLAN
L101 1:300

PLANTING NOTES:

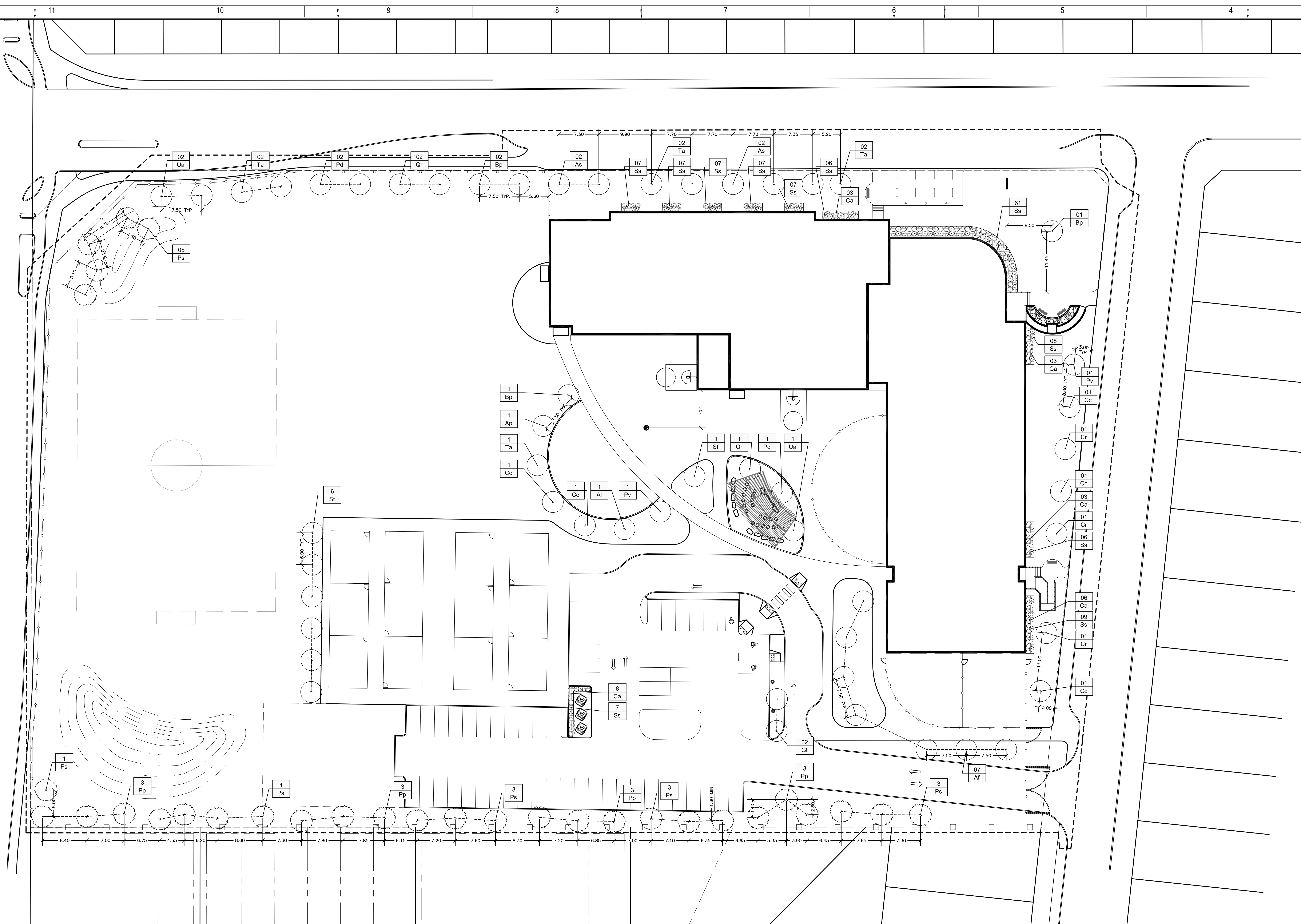
1. LOCATION OF ALL PLANTS MATERIAL TO BE MARKED OUT ON SITE AND APPROVED BY CONTRACT ADMINISTRATOR PRIOR TO PLANTING
2. TREE SPACING, UNLESS OTHERWISE NOTED:
• DECIDUOUS TREES: 6.0m MIN.
• CONIFEROUS TREES: 3.0m MIN.
3. SHRUB SPACING, UNLESS OTHERWISE NOTED:
• SMALL DECIDUOUS: 600mm O.C.
• LARGE DECIDUOUS: 900mm O.C.
• CONIFEROUS: 750mm O.C.
• GRASSES: 450mm O.C.
4. ALL PLANT MATERIAL TO BE BEST QUALITY, REVIEWED ON SITE BY LANDSCAPE ARCHITECT PRIOR TO PLANTING. UNACCEPTABLE PLANTS TO BE REPLACED AND NEW PLANTS APPROVED PRIOR TO PLANTING. REPLACEMENTS ARE AT CONTRACTOR'S OWN COST
5. ALL PLANTING EXCAVATIONS ARE TO BE REVIEWED AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PLACEMENT OF DRAINAGE COURSE, FILTER FABRIC AND/OR SOIL.
6. LANDSCAPE ARCHITECT IN ALL REFERENCES REFERS TO PROJECT LANDSCAPE ARCHITECT (ARCHITECTURE 49)

KEYNOTES:

1. REFER TO 6/1105 ENLARGEMENT FOR PLANTING WITHIN ACCESSIBILITY RAMP

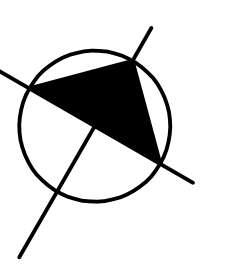
LEGEND:

- ⊕ DECIDUOUS TREE
 - ⊕ CONIFEROUS TREE
 - ⊙ CONIFEROUS SHRUB
 - PERENNIAL GRASS
- PLANT KEY
 - NUMBER PLANTS
 - PLANT SPECIES, REFER TO PLANT LIST



PLANT LIST:

KEY	QTY	BOTANICAL NAME	COMMON NAME	SPACING (mm) (75%)	SIZE	COMMENTS
TREES - Deciduous						
As	4	<i>Acer saccharum</i> 'Endowment'	Endowment Sugar Maple	as shown	65mm Cal. B&B	TREES TO BE BALL & BURLAP. SOURCED IN SAME GROWING ZONE. ALL TREES SHOULD HAVE 5 TO 7 MAIN BRANCHES WITH DOMINANT LEADER BRANCH AND WITHOUT DEFECT. MIN ROOT ZONE VOLUME PER TREE: 30 CU. M.
Gt	2	<i>Gleditsia tricanthos</i> 'Draves'	Street Keeper Honeylocust	as shown	75mm Cal. B&B	
Af	7	<i>Acer x freemanii</i> 'Armstrong Gold'	Armstrong Gold Maple	as shown	75mm Cal. B&B	
Bp	4	<i>Betula pendula</i> 'Dalecarlica'	Cutleaf Weeping Birch	as shown	75mm Cal. B&B	
Ta	7	<i>Tilia americana</i>	American Linden / Lime Tree	as shown	75mm Cal. B&B	
Ap	1	<i>Acer platanoides</i> 'Drummondii'	Harlequin Norway Maple	as shown	75mm Cal. B&B	
Al	1	<i>Amelanchier laevis</i>	Amelanchier Serviceberry	as shown	50mm Cal. B&B	
Co	1	<i>Celtis occidentalis</i>	Common Hackberry	as shown	75mm Cal. B&B	
Qr	3	<i>Quercus rubra</i>	Red Oak	as shown	75mm Cal. B&B	
Ua	3	<i>Ulmus americana</i>	American Elm	as shown	75mm Cal. B&B	
Pv	2	<i>Malus</i> 'Spring Snow'	Spring Snow Flowering Crabapple	as shown	50mm Cal. B&B	
Pd	3	<i>Populus deltoides</i>	Plains Cottonwood	as shown	75mm Cal. B&B	
Sf	7	<i>Sorbus x hybrida</i> 'Fastigiata'	Columnar Oakleaf Mountain Ash	as shown	75mm Cal. B&B	
Cc	4	<i>Cercis canadensis</i>	Eastern Redbud	as shown	75mm Cal. B&B	
Cr	3	<i>Crataegus x mordenensis</i> 'Snowbird'	Snowbird Hawthorn	as shown	50mm Cal. B&B	
TREES - Coniferous						
Pp	12	<i>Picea pungens</i> 'Fastigiata'	Colorado Blue Spruce	as shown	180mm HT. B&B	TREES TO BE BALL & BURLAP. SOURCED IN SAME GROWING ZONE. ALL TREES SHOULD HAVE 5 TO 7 MAIN BRANCHES WITH DOMINANT LEADER BRANCH AND WITHOUT DEFECT. MIN ROOT ZONE VOLUME PER TREE: 30 CU. M.
Ps	19	<i>Pinus strobus</i>	White Pine	as shown	180mm HT. B&B	
SHRUBS - Coniferous						
Ss	119	<i>Juniperus sabinia</i> 'Skandia'	Skandia Juniper	900	2 gal.	SHRUBS TO BE IN POTS. SOURCED IN SAME GROWING ZONE. ALL SHRUBS SHOULD HAVE DENSE GROWTH, WELL ROOTED AND WITHOUT DEFECT. MIN ROOT ZONE VOLUME PER SHRUB: 5 CU. M.
SHRUBS - Deciduous						
Ca	15	<i>Cornus alba</i> 'Little Rebel'	Little Rebel Dogwood	900	2 gal.	SHRUBS TO BE IN POTS. SOURCED IN SAME GROWING ZONE. ALL SHRUBS SHOULD HAVE DENSE GROWTH, WELL ROOTED AND WITHOUT DEFECT. MIN ROOT ZONE VOLUME PER SHRUB: 5 CU. M.
PERENNIALS						
Ep	13	<i>Echinacea purpurea</i> 'PowWow White'	PowWow White Coneflower	450	2 gal.	PERENNIALS TO BE IN POTS. SOURCED IN SAME GROWING ZONE. ALL PERENNIALS SHOULD HAVE DENSE GROWTH, WELL ROOTED AND WITHOUT DEFECT. MIN ROOT ZONE VOLUME PER SHRUB: 5 CU. M.
Am	14	<i>Achillea millefolium</i> 'Cerise Queen'	Cerise Queen Yarrow	450	2 gal.	
Rg	27	<i>Rudbeckia</i> 'Goldquelle'	Goldquelle Coneflower	300	2 gal.	
Ab	21	<i>Armeria maritima</i> 'Bloodstone'	Armeria maritima 'Bloodstone'	300	2 gal.	
Pb	12	<i>Hemerocallis</i> 'Prairie Belle'	Prairie Belle Daylily	750	2 gal.	



3 PLANTING PLAN
L103 1:300



ÉCOLE ÉLÉMENTAIRE
BARRHAVEN-MANOTICK

COPYRIGHT IN THIS ELECTRONIC DOCUMENT BELONGS TO ARCHITECTURE 49 INC. THE ELECTRONIC DOCUMENT MAY BE PRINTED OR REPRODUCED IN ANY MANNER WITHOUT THE EXPRESS WRITTEN PERMISSION OF ARCHITECTURE 49 INC.

DISCLAIMER:
THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND UTILITY LOCATIONS AND REPORT ALL ERRORS AND OMISSIONS PRIOR TO COMMENCING WORK.
THE DIMENSIONS ARE TO BE SAVED.

ISSUED FOR REVIEW:

NO.	DATE	DESCRIPTION
11	21 SEP 2022	REISSUED FOR SITE PLAN CONTROL
10	02 SEP 2022	UPDATED PER CITY COMMENTS
9	22 JUL 2022	REISSUED FOR SITE PLAN CONTROL
8	14 JUL 2022	ISSUED FOR ADDENDUM #6
7	30 JUN 2022	ISSUED FOR ADDENDUM #3
6	21 MAR 2022	ISSUED FOR BID AND PERMIT
5	14 JAN 2022	95% CD REVIEW
4	19 NOV 2021	85% CD REVIEW
3	24 SEP 2021	60% CD REVIEW
2	27 AUG 2021	RE-ISSUED FOR 30% CD REVIEW
1	04 AUG 2021	30% CD REVIEW

NO.	DATE	DESCRIPTION
11	21 SEP 2022	REISSUED FOR SITE PLAN CONTROL
10	02 SEP 2022	UPDATED PER CITY COMMENTS
9	22 JUL 2022	REISSUED FOR SITE PLAN CONTROL
8	14 JUL 2022	ISSUED FOR ADDENDUM #6
7	30 JUN 2022	ISSUED FOR ADDENDUM #3
6	21 MAR 2022	ISSUED FOR BID AND PERMIT
5	14 JAN 2022	95% CD REVIEW
4	19 NOV 2021	85% CD REVIEW
3	24 SEP 2021	60% CD REVIEW
2	27 AUG 2021	RE-ISSUED FOR 30% CD REVIEW
1	04 AUG 2021	30% CD REVIEW

NO.	DATE	DESCRIPTION
11	21 SEP 2022	REISSUED FOR SITE PLAN CONTROL
10	02 SEP 2022	UPDATED PER CITY COMMENTS
9	22 JUL 2022	REISSUED FOR SITE PLAN CONTROL
8	14 JUL 2022	ISSUED FOR ADDENDUM #6
7	30 JUN 2022	ISSUED FOR ADDENDUM #3
6	21 MAR 2022	ISSUED FOR BID AND PERMIT
5	14 JAN 2022	95% CD REVIEW
4	19 NOV 2021	85% CD REVIEW
3	24 SEP 2021	60% CD REVIEW
2	27 AUG 2021	RE-ISSUED FOR 30% CD REVIEW
1	04 AUG 2021	30% CD REVIEW

SHEET NUMBER: L103
 DATE OF: 0

