

PROJECT INFORMATION	
ZONING BY-LAW 2008-250	TM (272) S444
SITE AREA	2,610.7 sq. m. 28,102 sq. ft.
TM - ZONING REQUIREMENT	9 STOREYS & 31 m.
BUILDING HEIGHT	9 STOREYS & 31 m.
AMENITY AREA - 6m ² PER UNIT (141 units)	846 sq. m.
FRONT YARD SETBACK	1.4 m.
FRONT YARD SETBACK - ABOVE 15m HT. or 4th Storey	+ 2.0 m.
INTERIOR YARD SETBACK - ABUTTING R ZONE	6.0 m.
CORNER YARD SETBACK	3.0 m.
CORNER YARD SETBACK - ABOVE 15m HT.	+ 2.0 m.
REAR YARD SETBACK	7.5 m.
PARKING - PER UNIT (AFTER 12)	0.5
VISITOR PARKING - PER UNIT (AFTER 12)	0.1
BICYCLE PARKING - RESIDENTIAL - PER UNIT	0.5
BICYCLE PARKING - COMMERCIAL	1 PER 250m ² GFA

PROJECT STATISTICS	
GRADE (GEODETIC ELEVATION)	67.30 m. aasl
BUILDING HEIGHT	31.0 m.
AMENITY LEVEL - BUILDING HEIGHT	5.0 m.
FRONT YARD SETBACK - LOWER	1.5 m.
FRONT YARD SETBACK - ABOVE 16m HT. or 4th Storey	3.5 m.
INTERIOR YARD SETBACK - ABUTTING TM	0.0 m.
INTERIOR YARD SETBACK - ABUTTING R3	6.0 m.
CORNER YARD SETBACK - LOWER	3.0 m.
CORNER YARD SETBACK - ABOVE 16m HT. or 4th Storey	5.0 m.
REAR YARD SETBACK - LOWER	7.5 m.
REAR YARD SETBACK - UPPER	16.6 m.
STANDARD PARKING SPACE	2.6m X 5.2m
SMALL CAR PARKING SPACE	2.4m X 4.6m
DRIVEWAY & AISLE	6.7m
BICYCLE AISLE	1.1m

GROSS BUILDING FLOOR AREA	
(OTTAWA ZONING DEFINITION)	000 sq. ft.
LUG PARKING LEVELS	000 sq. ft.
GROUND FLOOR	769.0 sq. ft.
MEZZANINE	371.9 sq. ft.
2nd - 4th FLOOR	3 x 1,301.4 sq. ft. 3 x (14,088) sq. ft. = 42,024 sq. ft.
5th to 7th FLOOR	3 x 992.5 sq. ft. 3 x (10,663) sq. ft. = 32,049 sq. ft.
8th FLOOR	610.0 sq. ft.
9th FLOOR	821.9 sq. ft.
AMENITY / MECHANICAL FLOOR	0.0 sq. ft.
TOTAL AREA ABOVE GRADE	9,666.3 sq. ft.
	104,047 sq. ft.

UNIT STATISTICS	
1 BEDROOM UNIT	21
2 BEDROOM UNIT	70
3 BEDROOM + UNIT	25
3 BEDROOM UNIT	16
3 BEDROOM + UNIT	4
TOTAL	141
COMMERCIAL RETAIL UNIT	494.4 sq. ft. 5,214 sq. ft.

CAR PARKING	
REQUIRED	
RESIDENCE	-0.5 PER UNIT AFTER 12 UNITS 65
VISITOR	-0.1 PER UNIT AFTER 12 UNITS 13
COMMERCIAL	- UNDER 500m ² NON REQUIRED 0
TOTAL	78
MAXIMUM PARKING AS PER TABLE 103 = 1.75 PER UNIT	247
PROVIDED	
RESIDENCE	-0.58 PER UNIT (141 UNITS) 93
VISITOR	-0.1 PER UNIT (141 UNITS) 16
COMMERCIAL	- UNDER 500m ² NON REQUIRED 0
TOTAL	109

BICYCLE PARKING	
REQUIRED	
RESIDENCE	-0.5 PER UNIT (141 UNITS) 71
COMMERCIAL RETAIL	-1.0 PER 250m ² OF G.F.A. 2
TOTAL	73
PROVIDED	
BELOW GRADE LEVEL	140
EXTERIOR	16
TOTAL	156

AMENITY SPACE	
AT GRADE EXTERIOR COMMUNAL	200.0 sq. m.
AT GRADE EXTERIOR PRIVATE YARDS	200.0 sq. m.
2nd FLOOR - PRIVATE EXTERIOR	25.0 sq. m.
5th FLOOR - PRIVATE EXTERIOR	290.0 sq. m.
8th FLOOR - COMMUNAL EXTERIOR	135.0 sq. m.
AMENITY LEVEL - COMMUNAL INTERIOR	405.0 sq. m.
AMENITY LEVEL - COMMUNAL EXTERIOR	290.0 sq. m.
TOTAL	1,545.0 sq. m.
TOTAL COMMUNAL	1,030.0 sq. m.
REQUIRED - 6.9M ² PER UNIT (141)	846 sq. m.
REQUIRED COMMUNAL @ 95%	433 sq. m.

LOT COVERAGE	
PAVED SURFACE	439.2 sq. m. 16.8%
BUILDING FOOTPRINT	1,402.3 sq. m. 53.7%
LANDSCAPE OPEN SPACE	769.2 sq. m. 29.5%
TOTAL	2,610.7 sq. m. 100.0%

REFUGE REQUIREMENT (141 UNITS)	
GARBAGE	-0.11 PER UNIT 16 YARDS
RECYCLING GMP	-0.019 PER UNIT 3 YARDS
RECYCLING FIBER	-0.038 PER UNIT 5 YARDS
COMPOST	-240L PER 50 UNITS 3

IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND TO REPORT ALL ERRORS AND/OR OMISSIONS TO THE ARCHITECT.

ALL CONTRACTORS MUST COMPLY WITH ALL PERTINENT CODES AND BY-LAWS.

THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION UNTIL SIGNED BY THE ARCHITECT.

DO NOT SCALE DRAWINGS.

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NOTATION SYMBOLS:

① INDICATES DRAWING NOTES, LISTED ON EACH SHEET.

Ⓜ INDICATES ASSEMBLY TYPE; REFER TO TYPICAL ASSEMBLIES SCHEDULED.

Ⓜ INDICATES WINDOW TYPE; REFER TO WINDOW ELEVATIONS AND DETAILS ON A300 SERIES.

Ⓜ INDICATES DOOR TYPE; REFER TO DOOR SCHEDULE AND DETAILS ON A300 SERIES.

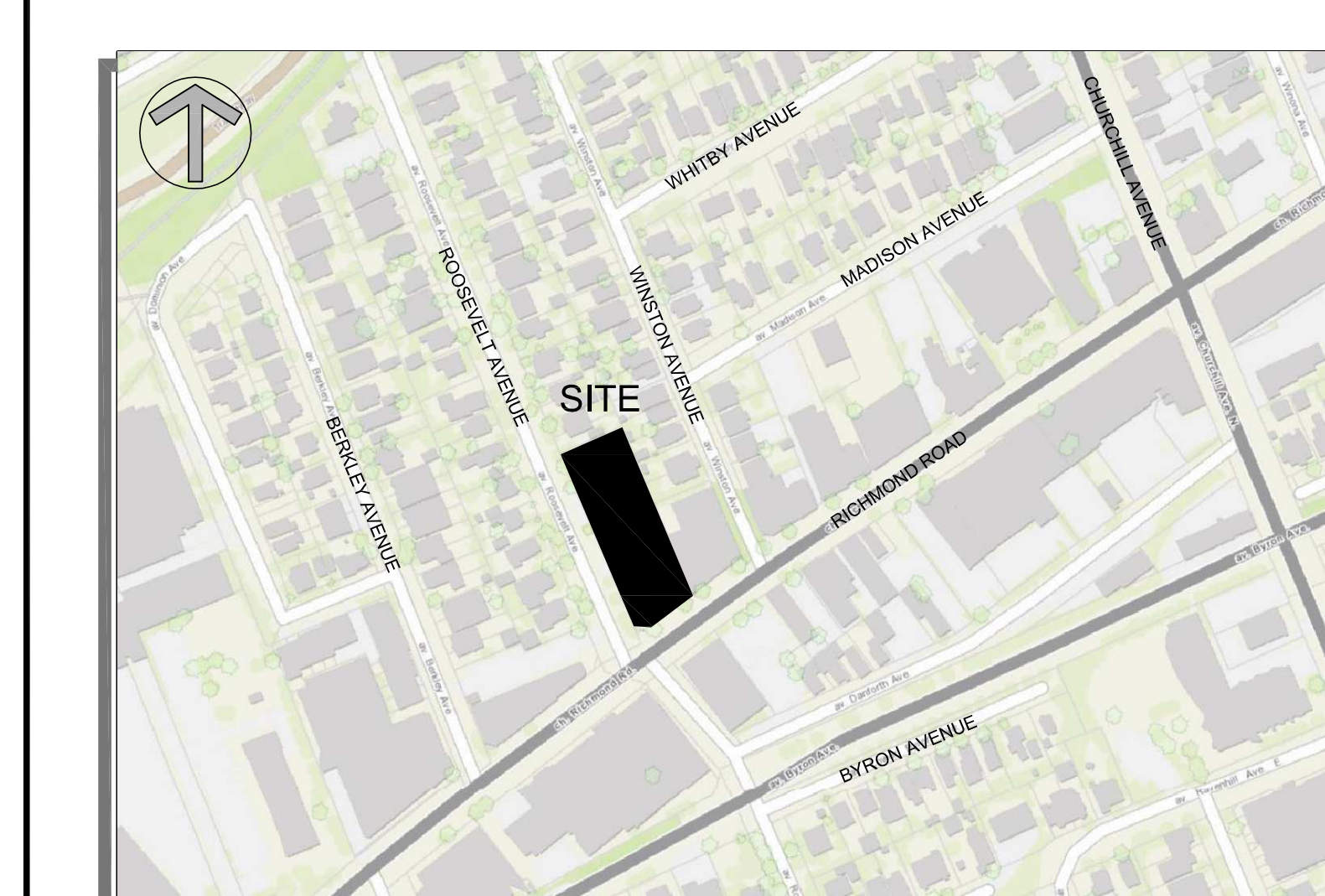
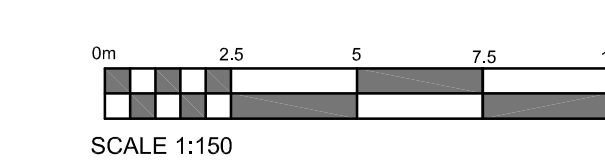
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○ DETAIL REFERENCE PAGE

○ DETAIL CROSS REFERENCE PAGE

1 SITE PLAN
SP-1
SCALE 1:150



KEY MAP

DRAWING NOTES	
1	PROPERTY LINE
2	BUILDING SETBACKS AT GRADE - SEE SCHEDULE S444
3	CORNER SITE TRIANGLE, TO BE CONFIRMED
4	HARD SURFACE PAVING, SEE LANDSCAPE PLAN
5	CONTINUOUS DEPRESSED SIDEWALK THROUGH DRIVE
6	EXISTING DEPRESSED SIDEWALK TO BE REPLACED WITH BARRIER CURB AND WALK
7	SOFT LANDSCAPING, SEE LANDSCAPE PLAN
8	6.0m WIDE GARAGE ENTRY RAMP WITH TRENCH DRAIN
9	OUTLINE OF BELOW GRADE PARKING GARAGE
10	OUTLINE OF UPPER FLOORS
11	OUTLINE OF AMENITY / MECHANICAL LEVEL
12	OUTLINE OF PRIVATE TERRACE ABOVE
13	RETAINING WALL WITH GUARD RAIL AS REQUIRED
14	PRIVATE WALKWAY TO GROUND FLOOR UNIT
15	EXISTING TREE TO REMAIN, PROTECT AS REQUIRED
16	EXISTING FIRE HYDRANT
17	VENTILATION GRILL
18	SIAMSESE CONNECTION
19	ENTRANCE DRIVEWAY WITH BARRIER CURB
20	EXISTING TREE TO BE REMOVED
21	EXISTING BUILDING TO BE REMOVED
22	EXISTING CITY SIDEWALK
23	PRIVACY SCREEN
24	PROPOSED SERVICES
25	GAS EQUIPMENT LOCATION
26	EXISTING STREET LIGHT / TRAFFIC POLE
27	SEAT WALL, SEE LANDSCAPE FOR DETAILS
28	BICYCLE PARKING SPACE WITH RACK
29	EXISTING CITY PAVERS, RE-INSTATE AS REQUIRED
30	CITY OWNED BOLLARD BICYCLE RACKS
31	SHORT TERM PARKING SURFACE PARKING SPACE
32	150mm WIDE BARRIER CURB, DEPRESSED AT ENTRY

SITE PLAN SYMBOLS	
Ⓜ	CITY BOULEVARD PAVERS
Ⓜ	CONCRETE / ASPHALT DRIVING SURFACE
Ⓜ	CONCRETE SIDEWALK / WALK
Ⓜ	UNIT PAVERS AT PRIVATE TERRACE
Ⓜ	SOFT LANDSCAPING
---	PROPERTY LINE
---	BUILDING SETBACK LINE
---	1.2m HT. METAL PICKET FENCE
Ⓜ	BIKE RACK
Ⓜ	ENTRANCE / EXIT DOOR
Ⓜ	FIRE HYDRANT
Ⓜ	VEHICULAR DIRECTION
Ⓜ	EXISTING TREES
Ⓜ	SIAMSESE CONNECTION
Ⓜ	SITE LIGHTING

NOTE: SEE LANDSCAPE FOR ALL SURFACE MATERIAL AND PATTERN

SURVEYOR	
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PROPERTY OWNER	
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GEOTECHNICAL ENGINEER	
Paterson Group	154 Colonnade Road South Ottawa, Ontario, K2E 7J5 Tel: (613) 226-7381 Fax: (613) 226-6344 Email: carlosd@patersongroup.ca

URBAN PLANNER	
FoTenn Consultants Inc.	396 Cooper Street, Suite 300, Ottawa, ON Canada, K2P 2H7 Tel: (613) 730-5709 Fax: (613) 730-1136 E-Mail: mcelligott@fotenn.com

WIND / NOISE ENGINEER	
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CIVIL ENGINEER	
CIMA Engineering Ltd.	110-240 Catherine Street, Ottawa, ON K2P 2G8 Tel: (613) 860-2462 Fax: (613) 860-1870 Email: Tim.Kennedy@cima.ca

LEGAL DESCRIPTION	
PART 1 Plan of LOTS 7, 9, 11 AND 13 PART OF LOTS 3 AND 4 REGISTERED PLAN 114 CITY OF OTTAWA Surveyed by Annis, O'Sullivan, Vollebakk Ltd.	

LANDSCAPE ARCHITECT	
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TRANSPORTATION ENGINEER	
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