

ANDREW MCCREIGHT
 MANAGER (A), DEVELOPMENT REVIEW CENTRAL
 PLANNING, REAL ESTATE & ECONOMIC DEVELOPMENT
 DEPARTMENT, CITY OF OTTAWA

APPROVED
 By Andrew McCreight at 1:17 pm, Mar 02, 2023

**PROPOSED 9 STOREY
 MIXED USE BUILDING**

2 Large Native Street
 Trees - Variety TBD in
 Coordination with Forestry,
 40 Square Metres Roofing
 AREA In Soil Cell Below.

Bicycle Parking

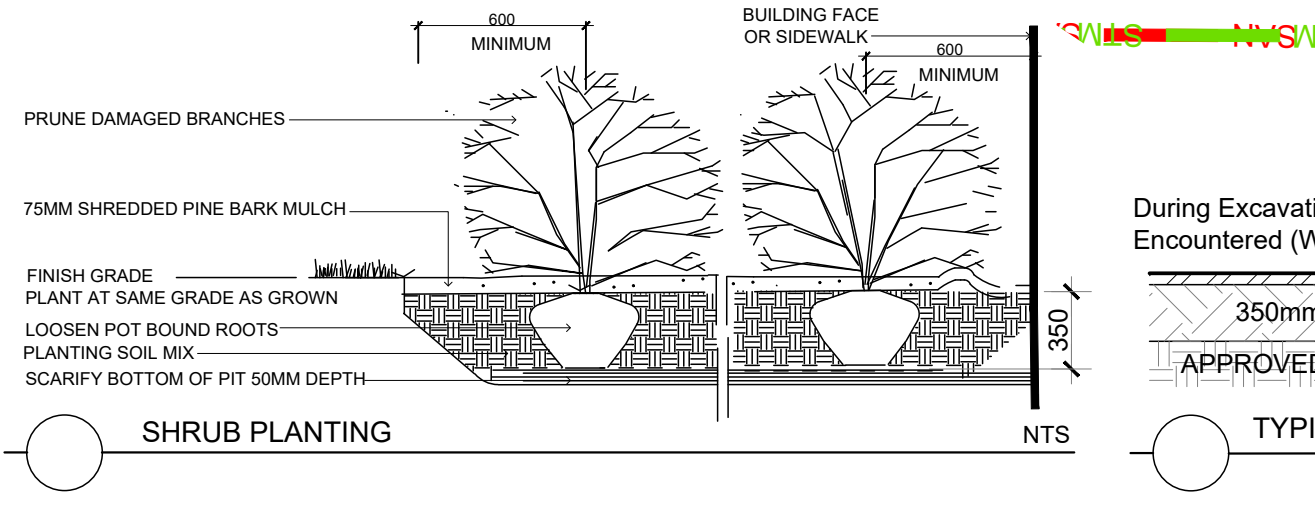
Parking
 Garage Below

Concrete Seat
 Walls - Typical

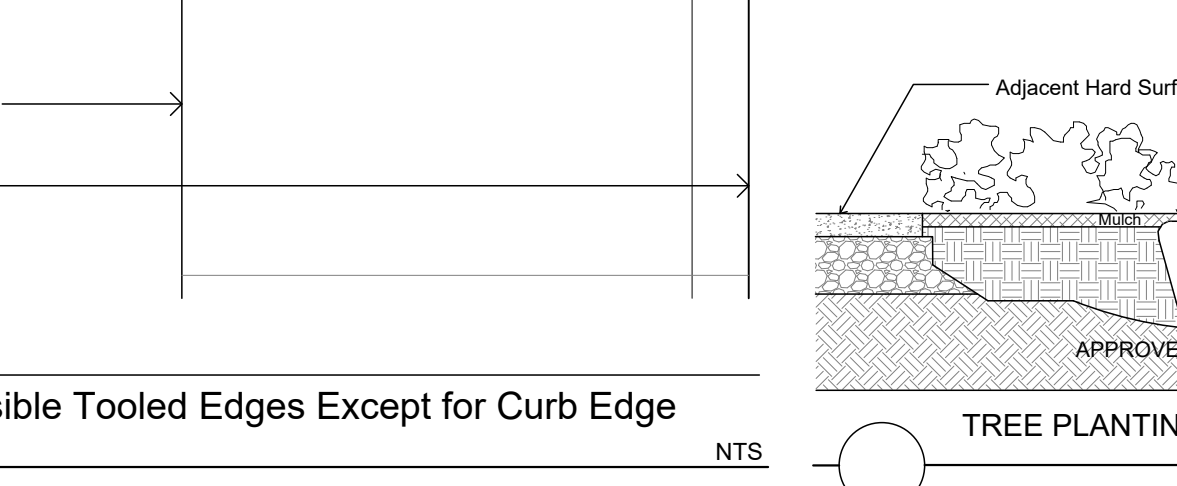
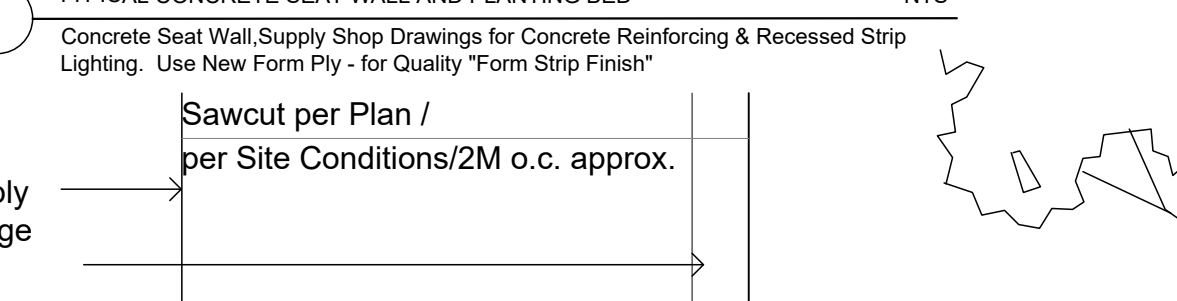
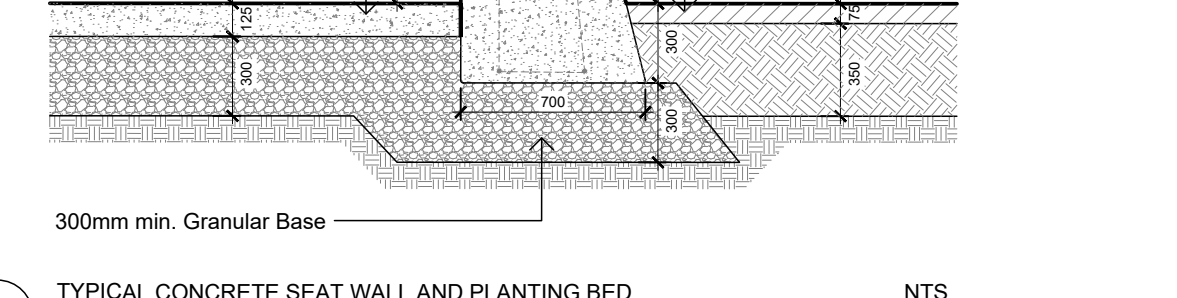
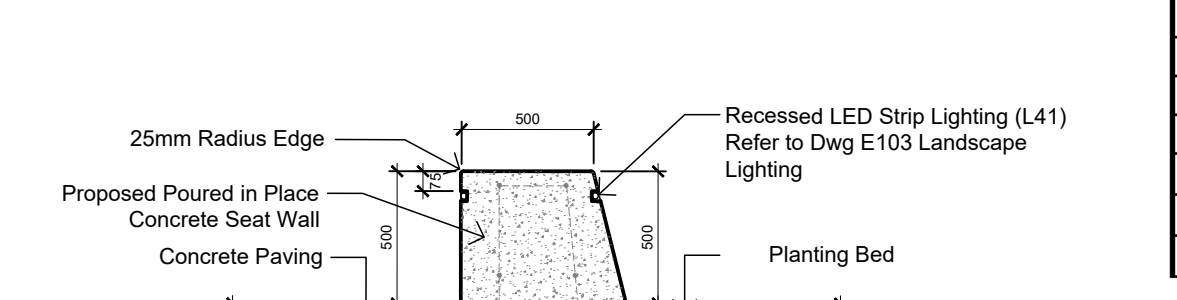
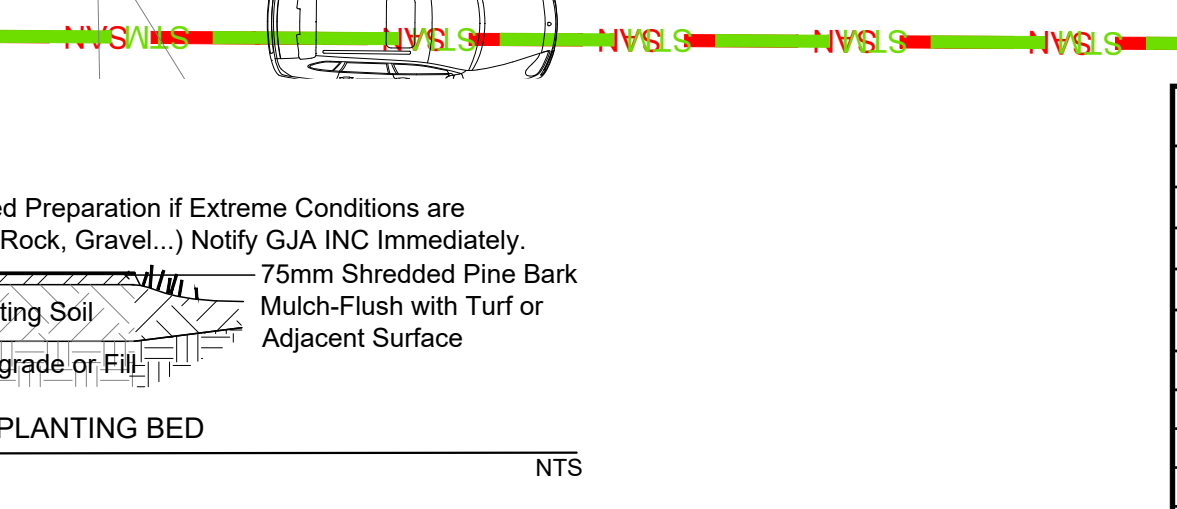
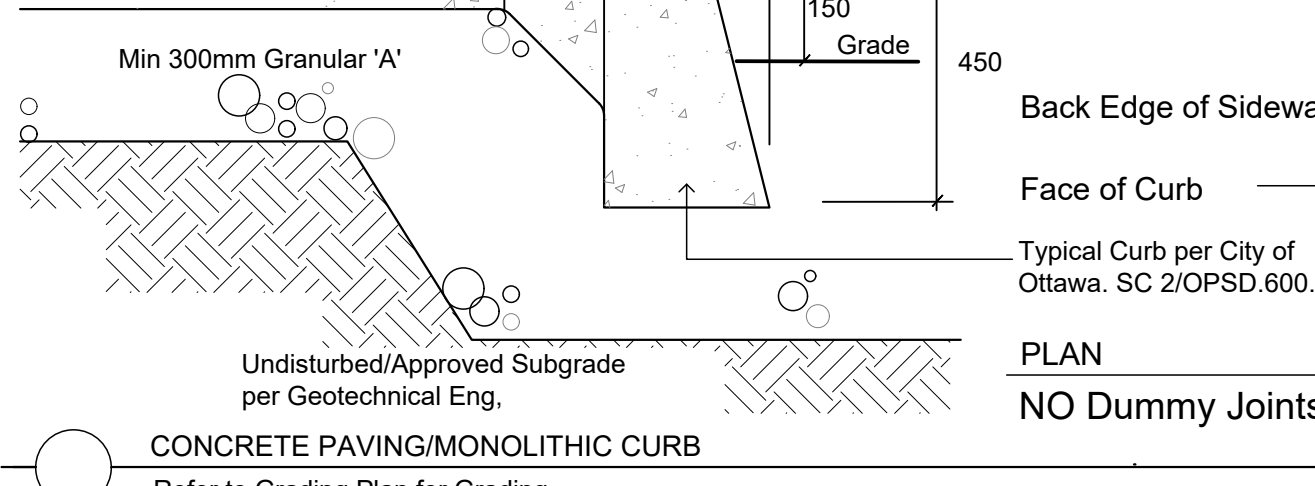
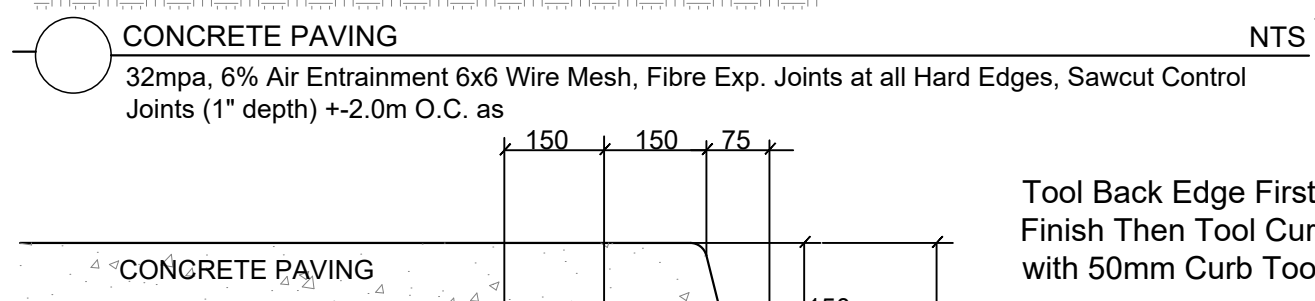
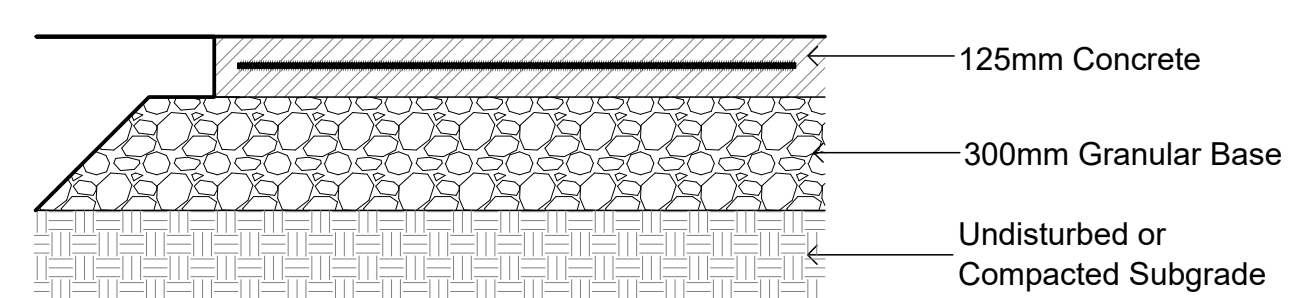
Existing Masonry
 Wall (Edge of
 CRZ) To Be
 Removed.

ROOSEVELT AVENUE

RICHMOND ROAD



CONCRETE - FINISH LIGHT BROOM, WOOD FLOAT MAGNESIUM FLOAT.
 ALL CONCRETE FINISHES TO BE APPROVED BY GJA LANDSCAPE ARCHITECT.
 SAWCUT LAYOUT FOR ALL AREAS TO BE MARKED ON SITE IN RED CHALK, REVIEWED, ADJUSTED AND APPROVED BY GJA LANDSCAPE ARCHITECT PRIOR TO ANY CUTTING.
 EXPANSION JOINT LAYOUT FOR ALL AREAS TO BE LAID OUT ON SITE, REVIEWED, ADJUSTED AND APPROVED BY GJA LANDSCAPE ARCHITECT PRIOR TO ANY CONCRETE POURING.
 PROVIDE COLD JOINT DETAIL at End of Previous Pour/Beginning of New Pour, C/W REBAR DOWELS 500mm O.C.
 FINISH: TOOL EDGE FIRST, THEN WIPE OFF TOOL MARKS WHILE APPLYING FINISH.



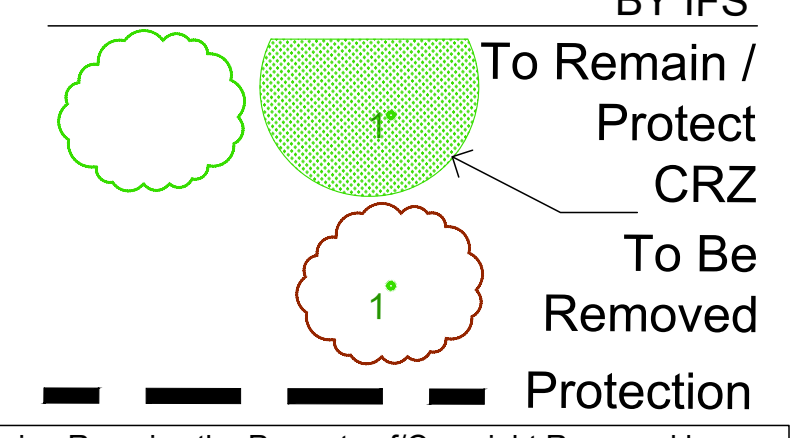
TREES 403 RICHMOND ROAD 398 ROOSEVELT AVENUE					
Code	Qty.	Botanical Name	Common Name	Size	Condition
AG	1	Aesculus glabra	Ohio Buckeye	60mm cal	B + B specimen
AR	1	Acer rubrum	Red Maple	60mm cal	B + B specimen
AS	1	Acer saccharum	Sugar Maple	60mm cal	B + B specimen
CO	1	Celtis occidentalis	Common Hackberry	60mm cal	B + B specimen
CC	1	Crataegus crus-galli 'inermis'	Thornless Cockspur Hawthth	60mm cal	B + B specimen
GB	1	Ginkgo biloba	Maidenhair Tree	70mm cal	B + B specimen
QM	3	Quercus macrocarpa	Bur Oak	60mm cal	B + B specimen
JV	3	Juniperus virginiana	Eastern Red Cedar	1.5m Ht.	B + B specimen

SHRUBS 403 RICHMOND ROAD 398 ROOSEVELT AVENUE					
Code	Qty.	Botanical Name	Common Name	Size	Condition
HK	295	Hypericum kalmianum	St. John's Wort	30cm Ht.	Pot
HP	200	Hypericum prolificum	Shrubby St. John's Wort	50cm Ht.	Pot
SA	75	Spiraea alba	Meadowsweet	60cm Ht.	Pot

LANDSCAPE LEGEND - PROPOSED

- Coniferous Tree
- Deciduous Tree
- Planting Bed
- Existing Melville Classic Pavers - Red
- Large Format Grey Sandblasted Paver to Match Existing ROW Accent Paver at Intersection
- Proposed Melville Pavers Scandina Grey
- Below Grade Soil/Root Cel Planting Area
- Concrete Seat Wall
- Decorative Steel Fence
- Parking Garage Below
- Bike Rack Anchor to Concrete
- Fire Hydrant
- FD Siamese Connection
- Light Standard Base
- U/G Water Service
- U/G Storm Service
- U/G Sanitary Service
- U/G Gas Service
- U/G TelCo Service
- U/G Hydro Service

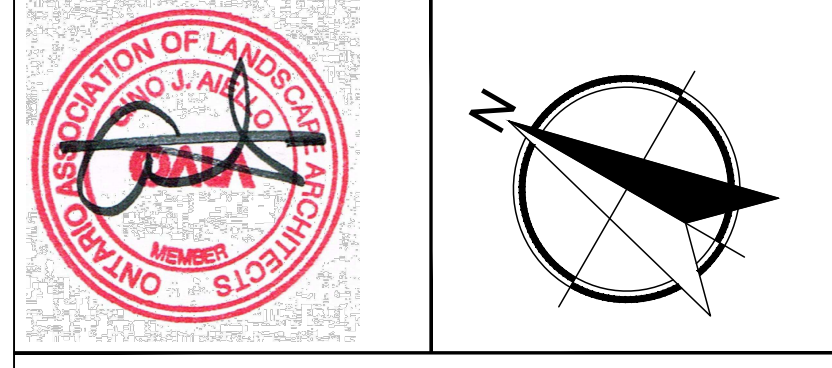
EXISTING TREES - REFER TO TCR BY IFS



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TURF AREAS TO BE SOD C/W 150MM DEPTH TOPSOIL ON APPROVED SUBGRADE | SOD TO BE #1 GRADE TURFGRASS NURSERY SOD per NSGA - Fine Fescue/Kentucky Bluegrass Sod | PLANTING MIX TO BE APPROVED BY LANDSCAPE ARCHITECT | PLANT MATERIAL TO MEET CNLA STANDARDS/BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PLANTING | ALL MATERIALS & WORK TO BE MAINTAINED UNTIL FINAL ACCEPTANCE, (MOWING TURF, WEEDING BEDS, WATERING TURF & PLANTS) & INCLUDE 1 YEAR WARRANTY FROM DATE OF FINAL ACCEPTANCE | PROVIDE WATERING OF ALL PLANT MATERIAL AS REQUIRED FOR PROPER ESTABLISHMENT UNTIL END OF WARRANTY PERIOD | REFER TO CIVIL ENGINEER'S DRAWING FOR ELEVATIONS / GRADING | The Landscape Plan is to be read in conjunction with the grading, servicing, site and survey plan | Bare root material to be planted in season only | All plant material locations to be staked on site by the landscape contractor and checked by the landscape architect prior to planting | All trees to be preserved on or directly adjacent to the site will be protected | Plant material are to be installed a minimum of: 3.0m away from any part of any hydro transformer, 3.0m corridor between a fire hydrant and the curb, a 2.5m radius beside or behind a fire hydrant, 2.0m from any servicing/utility line or structure |

#	Revision	Date
3	SITE PLAN CONTROL SUBMISSION 3	JANUARY 25 2023
2	SITE PLAN CONTROL SUBMISSION 2	AUGUST 25 2022
1	SITE PLAN CONTROL SUBMISSION 1	APRIL 8 2022
0	REVIEW/COORDINATION	MARCH 2022



Property Owner **STARWOOD GROUP**
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Project **PROPOSED 9 STOREY MIXED USE BUILDING**
 403 RICHMOND ROAD / 389 ROOSEVELT AVENUE

Scale: 1:125
 City of Ottawa
 Dwg #18861
 Sheet Number **L1**
 D07-12-22-0067